

*Andrew McCreight*  
**ANDREW MCCREIGHT**  
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
 DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Andrew McCreight at 4:11 pm, Nov 16, 2023

**70 Richmond Road**  
 SUMMARY  
 2023-06-12

UNIT SUMMARY	STUDIO	1B2	1B2 +	2 B2	2B2 +	3B2	TOWN	TOWN	TOTAL
TWN TOTAL	2	3	5	3	1	-	-	-	8
2 TOTAL	3	3	5	3	1	-	-	-	15
3 TOTAL	3	3	5	3	1	-	-	-	15
4 TOTAL	1	4	2	4	1	-	-	-	14
5 TOTAL	1	6	2	4	1	-	-	-	14
6 TOTAL	-	3	1	4	1	-	-	-	11
7 TOTAL	-	3	4	3	1	-	-	-	11
8 TOTAL	-	2	2	2	1	-	-	-	8
9 TOTAL	-	2	2	3	1	-	-	-	7
TOTAL	-	-	-	-	-	-	-	-	103

TOTAL	STUDIO	1B2	1B2 +	2 B2	2B2 +	3B2	TOWN	TOWN	TOTAL
RATIO	%	25%	22%	27%	8%	1%	5%	3%	TRUE
AVERAGE SQ.FT.									771 sq.m.

BARRIER-FREE UNITS SUMMARY	STUDIO	1B2	1B2 +	2 B2	2B2 +	TOWN	3B2	TOWN	TOTAL
TWN TOTAL	2	3	5	3	1	-	-	-	15
3 TOTAL	1	2	1	-	-	-	-	-	4
4 TOTAL	-	3	1	-	-	-	-	-	4
5 TOTAL	-	-	-	3	-	-	-	-	3
6 TOTAL	-	-	-	-	-	-	-	-	1
7 TOTAL	-	-	-	-	-	-	-	-	1
8 TOTAL	-	-	-	-	-	-	-	-	1
9 TOTAL	-	-	-	-	-	-	-	-	1
TOTAL	1	3	4	7	-	-	-	-	16

BARRIER-FREE UNITS REQUIREMENT BREAKDOWN	STUDIO	1B2	1B2 +	2 B2	2B2 +	TOWN	3B2	TOWN	TOTAL
TOTAL	9	26	23	28	8	5	1	3	103
TOTAL PER UNIT TYPE	9	41	(1 B2, 1B2 +)	41	(2 B2, 2B2 +)	4	(3 B2)	3	
IF CITY HEAVY TRAFFIC	1.35	7.35		6.15		0.60			
IF CITY HEAVY (REMOVED)	1	7		4		1			15

SITE PLAN APPLICATION REVISION No.: D07-12-19-0043

SURVEY INFORMATION TAKEN FROM:

PART OF LOT 33 CONCESSION 3 (OTTAWA FRONT)  
 (SECTION 11C TOWNSHIP OF NEPEAN)  
 LOT 33 REGISTERED PLAN 449  
 CITY OF OTTAWA

SITE SUMMARY:

PROPERTY ADDRESS: 70 RICHMOND RD., OTTAWA, ONTARIO  
 SITE AREA (SURVEY): 1,587m<sup>2</sup>  
 PROPOSED USE: MIXED USE RESIDENTIAL MIDRISE APARTMENT BUILDING (9 FLOORS + ROOFTOP AMENITY)

BUILDING FOOTPRINT: 1,122m<sup>2</sup>  
 TOTAL GROSS FLOOR PLAN: 12,442m<sup>2</sup>  
 TOTAL FLOORS: 9  
 TOTAL RESIDENTIAL UNITS: 103 UNITS

TOTAL GROSS BUILDING AREA (ABOVE GRADE): 9,800m<sup>2</sup>  
 TOTAL GROSS BUILDING AREA (INCLUDING BELOW GRADE LEVELS): 12,442m<sup>2</sup>  
 TOTAL GROSS FLOOR AREA (ZONING BY-LAW DEFINITION): 6,889m<sup>2</sup>  
 TOTAL RETAIL GFA (ZONING BY-LAW DEFINITION): 87m<sup>2</sup>

ZONING SUMMARY:

Zoning TM(2792) 9461 - SUBJECT TO ZBLA 02-02-02-0102

	REQUIRED	PROVIDED
RICHMOND ROAD (FRONT)	0 m	0 m
ISLAND PARK DRIVE (CORNER SIDE)	0 m	0 m
LANEWAY (CORNER SIDE)	0 m	0 m
SIDE YARD (REAR YARD)	3.90 m	3.90 m
MIN. WIDTH OF LANDSCAPE ADJACENT TO RESIDENTIAL ZONE	3 m	3 m
TRANSPARENT WINDOWS & ACTIVE ENTRANCES	50% OF GROUND FLOOR MEASURED TO 4.5 m HIGH	> 50%

VEHICULAR PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING	0.5/UNIT	0.65/UNIT
103 UNITS (1,12 UNITS)	46 SPACES	59 SPACES (INCLUDE 3 SMALL SPACES)
VISITOR PARKING	0.1/UNIT	0.1/UNIT
103 UNITS (1,12 UNITS)	9 SPACES	9 SPACES
TOTAL	55 SPACES	68 SPACES
PARKING DISTRIBUTION		
LEVEL P1		31 SPACES
LEVEL P2		37 SPACES
TOTAL		68 SPACES

BICYCLE PARKING	REQUIRED	PROVIDED
BICYCLE PARKING	0.5/UNIT	0.65/UNIT
103 UNITS	52 SPACES (50% TO BE HORIZONTAL)	70 SPACES (INCLUDE 28 HORIZ.)
TOTAL		70 SPACES
BICYCLE PARKING DISTRIBUTION		
LEVEL P1		31 SPACES
LEVEL P2		36 SPACES
TOTAL		67 SPACES

AMENITY	REQUIRED	PROVIDED
MINIMUM AMENITY SPACE	615m <sup>2</sup>	1382m <sup>2</sup>
67 UNIT (103 UNITS x 6 m <sup>2</sup> )		
PRIVATE AMENITY (MIN. OF 50% OF REQUIRED)	309m <sup>2</sup>	962m <sup>2</sup>
COMMON AMENITY SUMMARY		
GROUND FLOOR RESIDENTIAL LOBBY/Lounge		600m <sup>2</sup>
ROOF AMENITY (INDOOR)		155m <sup>2</sup>
ROOF AMENITY (OUTDOOR)		200m <sup>2</sup>
TOTAL COMMON AMENITY (50% OF REQUIRED)	309m <sup>2</sup>	415m <sup>2</sup>
TOTAL AMENITY (PRIVATE + COMMON)	615m <sup>2</sup>	1382m <sup>2</sup>

BUILDING SUMMARY	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
LEVEL 10 (Mech & Roof amenity)	-	-
LEVEL 9	481.5m <sup>2</sup>	7
LEVEL 8	561m <sup>2</sup>	8
LEVEL 7	701.5m <sup>2</sup>	11
LEVEL 6	746m <sup>2</sup>	11
LEVEL 5	802.5m <sup>2</sup>	14
LEVEL 4	802.5m <sup>2</sup>	14
LEVEL 3	849m <sup>2</sup>	15
LEVEL 2	823m <sup>2</sup>	15
LEVEL 1A (MEZZANINE)	584m <sup>2</sup>	8
LEVEL 1 (RES+RETAIL)	547.2+87+634.2m <sup>2</sup>	8
TOTAL	6,889m <sup>2</sup>	103
LEVEL P1	-	-
LEVEL P2	-	-

LOCATION PLAN



PROJECT TEAM

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 613.677.5732

1	23-10-11	Re-issued for 75% VE
2	23-01-11	Re-issued for SFA
3	23-09-27	Re-issued for SFA
4	23-08-09	Issued for Building Permits
5	23-07-10	Re-issued for Excavation and shoring Permits
6	23-07-10	Issued for 75% Review
7	23-06-21	Re-issued for SFA
8	23-04-19	Issued for Excavation and shoring Permits
9	23-04-04	Issued for 50% Review
10	22-11-11	Re-issued for SFA
11	22-10-03	Re-issued for SFA
12	22-05-13	Issued for SFA

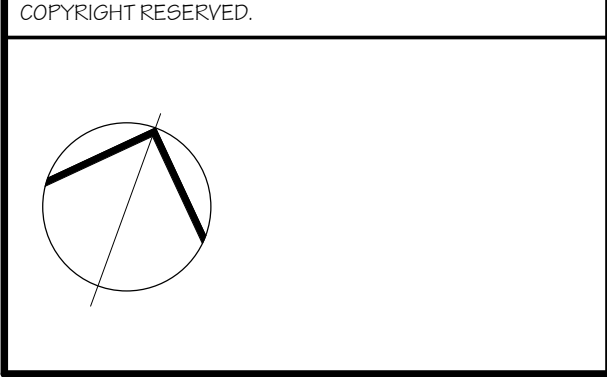
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PROJECT  
 70 RICHMOND

DRAWING TITLE  
 SITE PLAN

DRAWN	DATE	SCALE
Author	XXXXXXXX	As Indicated
PROJECT	1909	
DRAWING NO.	A1.00	
REVISION NO.	F	

A1.00- RF- SITE PLAN

**ROOF LEVEL (PH):**

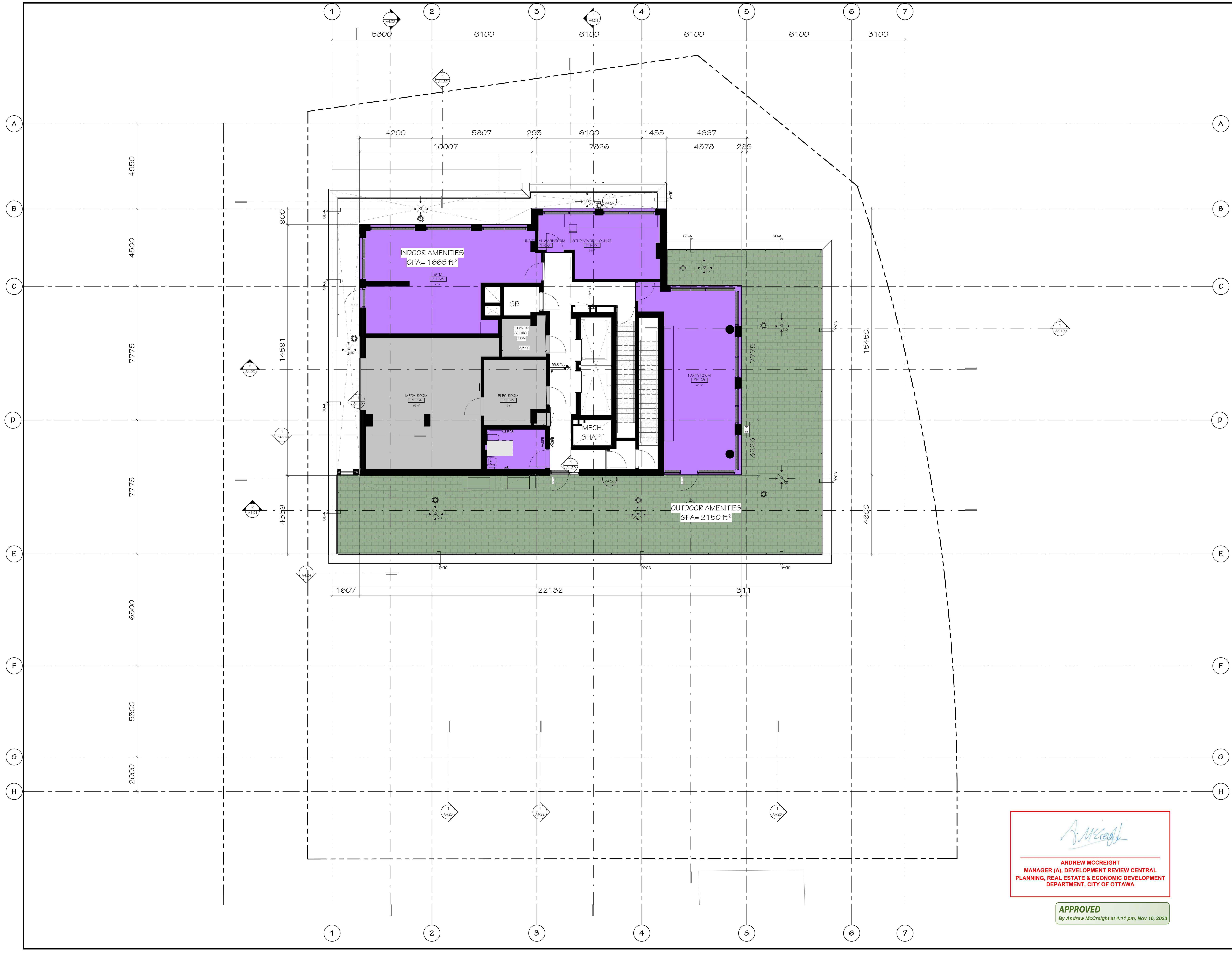
GFA = 3,400 ft<sup>2</sup>

**ROOF AMENITIES NET AREA BREAKDOWN:**

INDOOR AMENITIES = 1,665 ft<sup>2</sup>

OUTDOOR AMENITIES = 2,150 ft<sup>2</sup>

TOTAL ROOF AMENITIES = 3,815 ft<sup>2</sup>



NO.	DATE	REVISION
1	220513	Issued for SPA
2	221003	Re-issued for SPA
3	221111	Re-issued for SPA
4	230424	Re-issued for SPA
9	230821	Re-issued for SPA
A	231011	Re-issued for SPA

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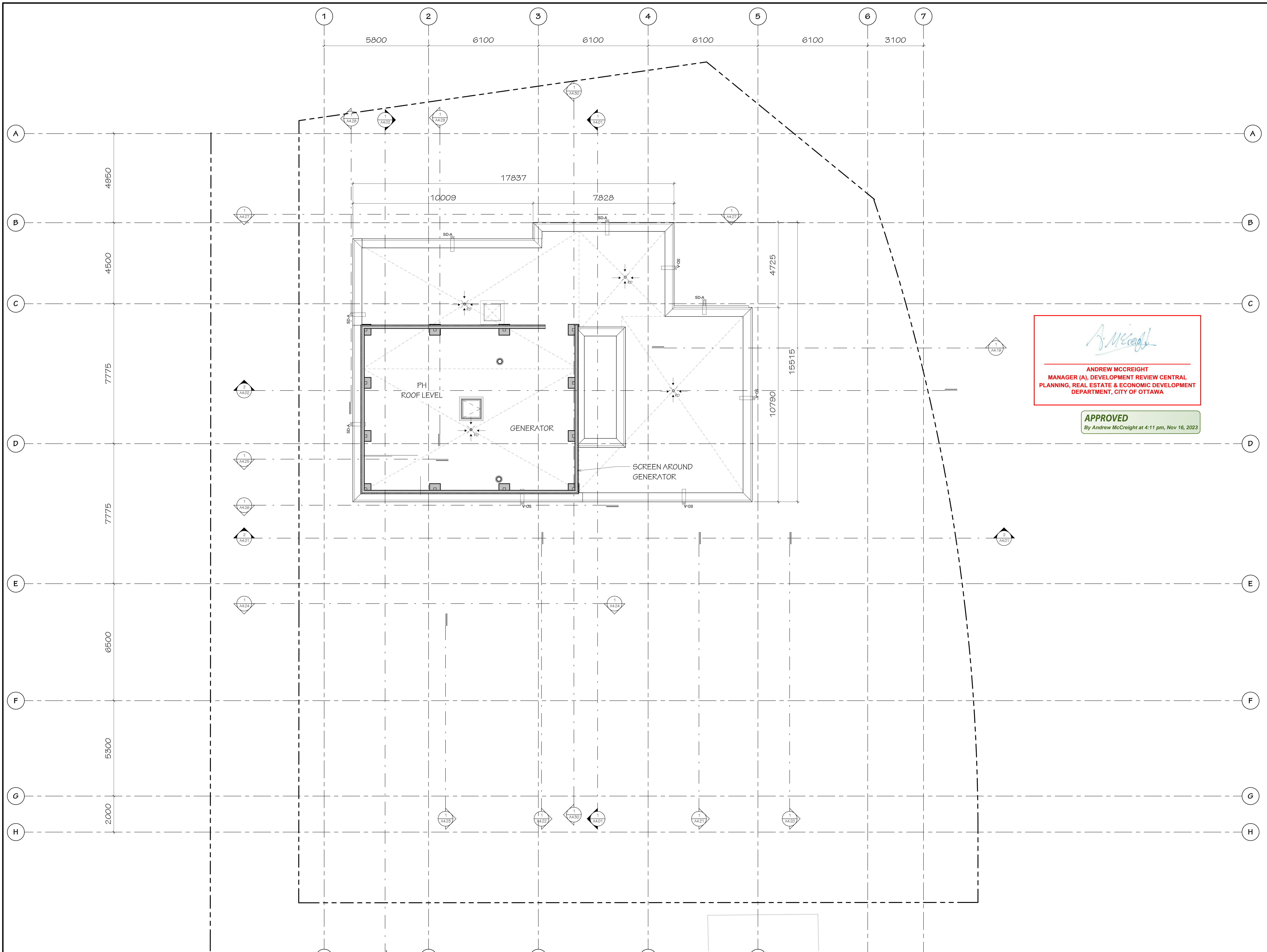
**APPROVED**  
 By Andrew McCreight at 4:11 pm, Nov 16, 2023

**70 RICHMOND**  
 70 RICHMOND RD & 376 ISLAND PARK DR.

**ROOF PLAN - PH**

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT: 1909  
 DRAWING NO.: SPA13  
 REVISION NO.: A



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PROJECT  
**70 RICHMOND**  
 70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE  
**MECHANICAL ROOF**

DRAWN Author	DATE 05/02/23	SCALE 1:75
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PROJECT  
 1909

DRAWING NO.  
**SPA14**

REVISION NO. A

**1 FLOOR PLAN-MECH. ROOF**  
 SPA14 SCALE: 1:75

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**MATERIAL TAG LEGEND**

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD CW ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/VALUERS FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
MPS-1	METAL PANEL SIDING
MS-1	METAL SIDING
SM-1	STONE MASONRY - LIMESTONE
ALM-1	ALUMINUM LOUVER (PRE-FINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPECS
PMC	PRE-FINISHED METAL CAP FLASHING
PMF	PRE-FINISHED METAL FLASHING
SPANDREL	SPANDREL GLASS - REFER TO SPEC FINISH
OPW	OPERABLE WINDOW BASH- OUT SWINGING AWNING

LF	LIGHT FIXTURE
CJ	CONSTRUCTION JOINTS 'CJ'
SA	SHELF ANGLE 'SA'
SSA	SUSPENDED SHELF ANGLE 'SSA'
CJ	BRICK CONTROL JOINT

D	231011	Re-issued for SFA
C	230809	Issued for Building Permits
S	230710	Issued for 75% Review
E	230621	Re-issued for SFA
T	230424	Re-issued for SFA
A	230404	Issued for 50% Review

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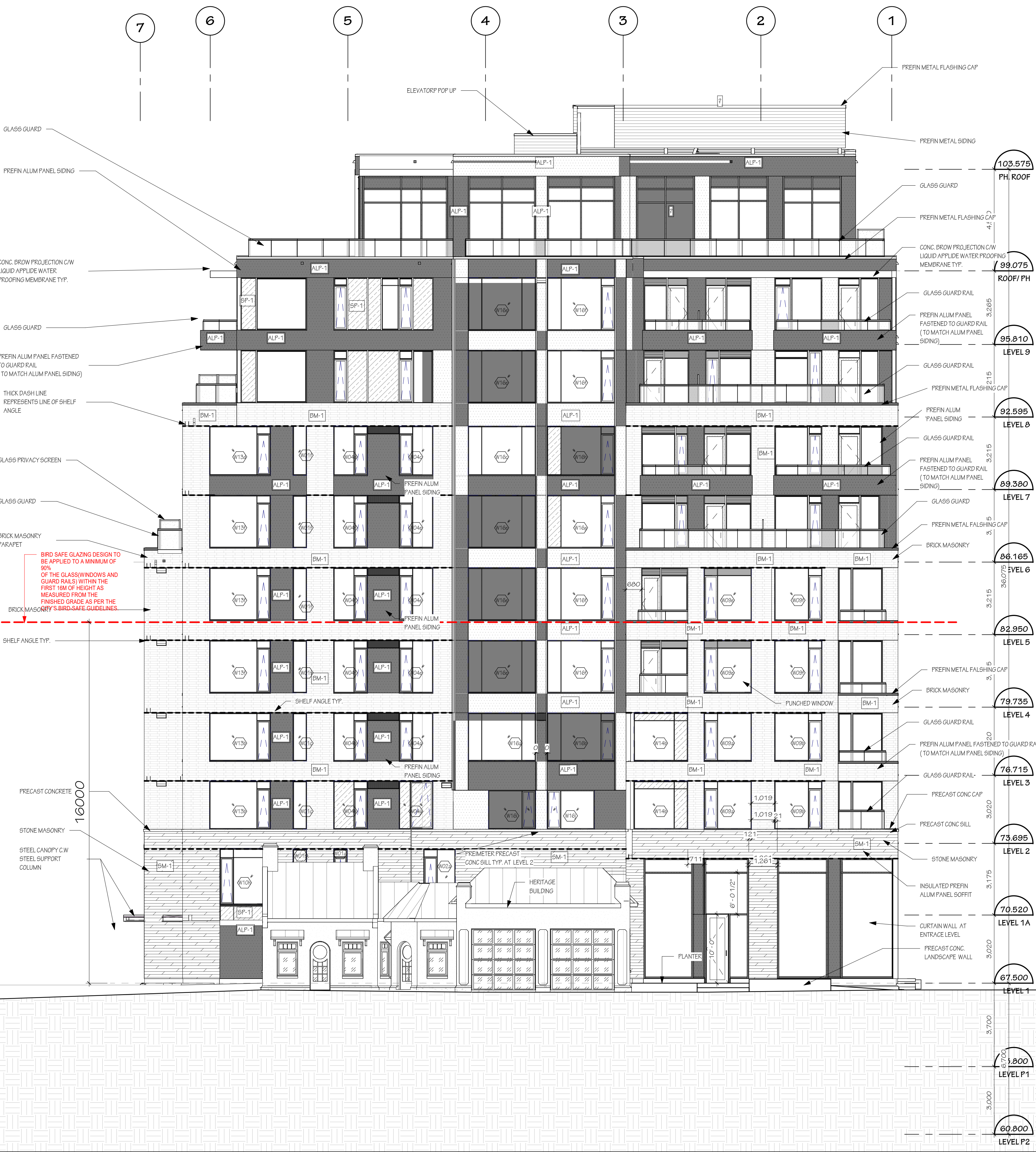
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**PROJECT**  
 70 RICHMOND  
 70 RICHMOND RD & 376 ISLAND PARK DR.

**DRAWING TITLE**  
 ELEVATIONS

Drawn	DATE	SCALE
Author	00/00/0000	As Indicated
PROJECT	1909	
DRAWING NO.	A3.02	
REVISION NO.	D	

A3.02- RD- ELEVATIONS

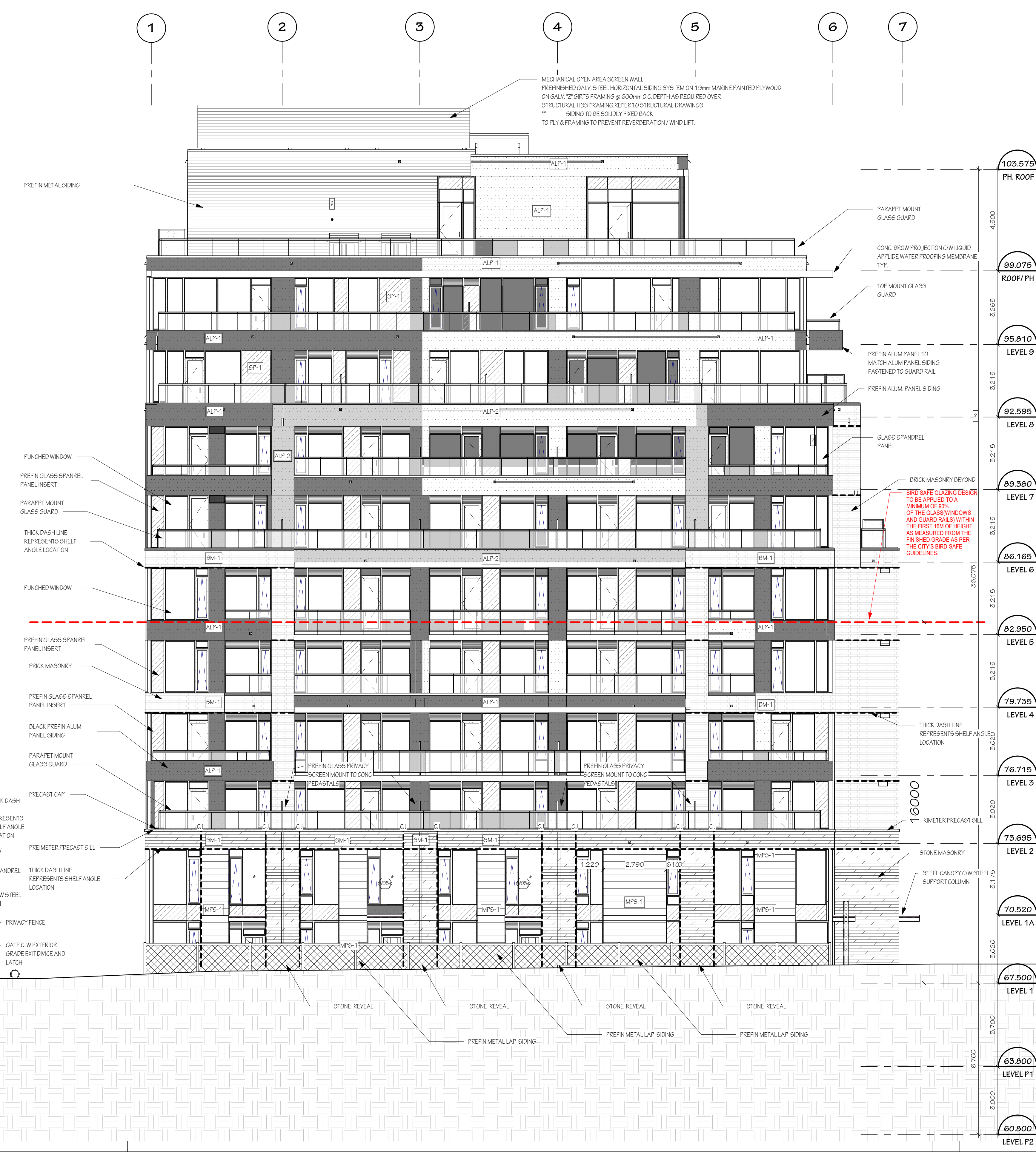
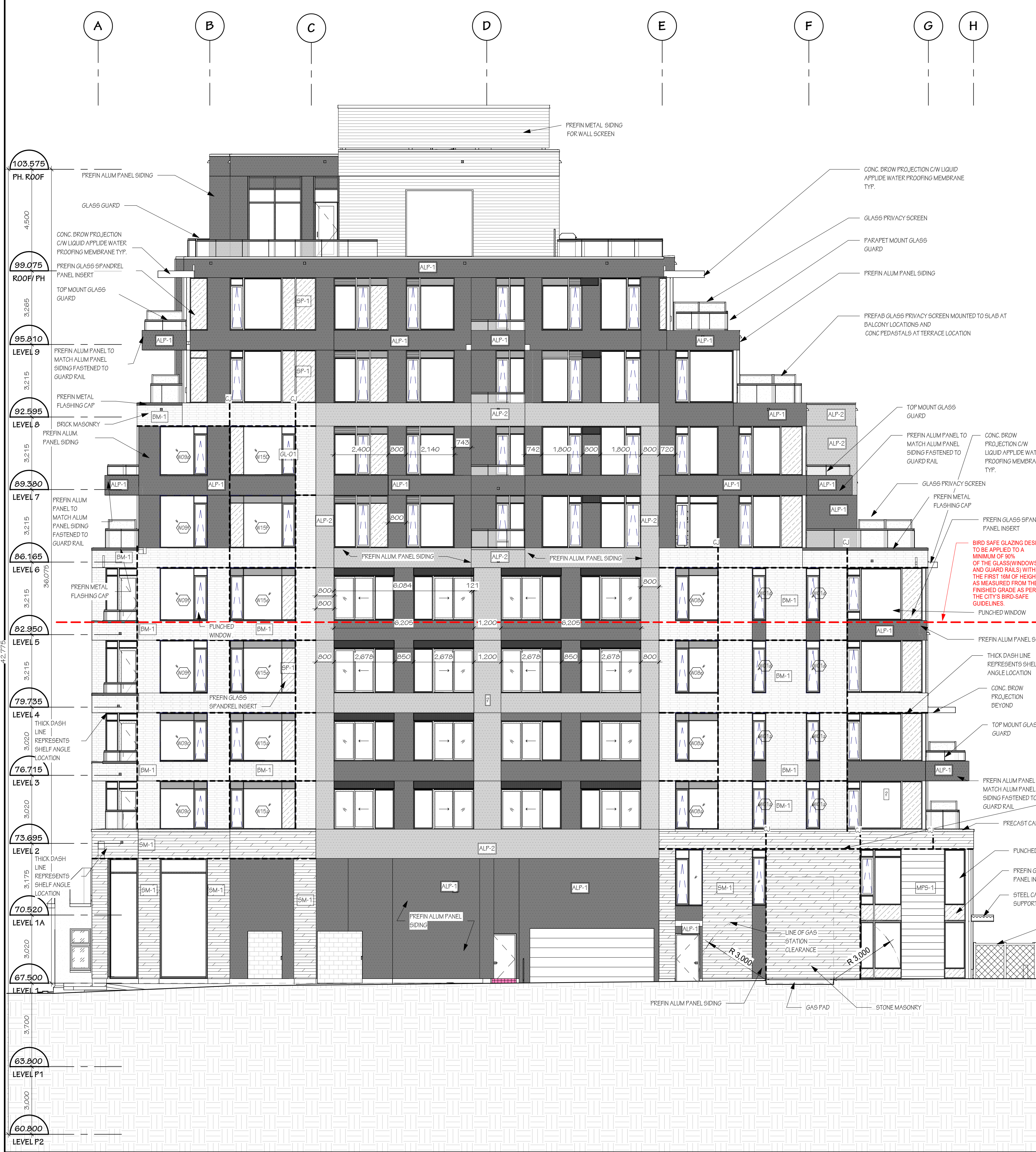


**2 ELEVATION-EAST**  
 A3.02 SCALE: 1:100

**1 ELEVATION-NORTH**  
 A3.02 SCALE: 1:100

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**MATERIAL TAG LEGEND**

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD C/W ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/AS/06 FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
MPS-1	METAL PANEL SIDING
MS-1	METAL SIDING
SM-1	STONE MASONRY - LIMESTONE
ALV	ALUMINUM LOUVER (PREFINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPECS
PMC	PREFINISHED METAL CAP FLASHING
PMF	PREFINISHED METAL FLASHING
SPANDREL GLASS	REFER TO SPEC FINISH
OPW	OPERABLE WINDOW BASH- OUT SWINGING WINNING

**CONSTRUCTION NOTES**

LF	LIGHT FIXTURE
CJ	CONSTRUCTION JOINTS 'CJ'
SA	SHelf ANGLE 'SA'
SSA	SUSPENDED SHelf ANGLE 'SSA'
CJ	BRICK CONTROL JOINT

**REVISIONS**

NO.	DATE	DESCRIPTION
1	23/04/24	Issued for SFA Review
2	23/06/21	Re-issued for SFA
3	23/07/10	Issued for 75% Review
4	23/08/09	Issued for Building Permits
5	23/10/11	Re-issued for SFA

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**PROJECT**  
70 RICHMOND  
70 RICHMOND RD & 376 ISLAND PARK DR.

**DRAWING TITLE**  
ELEVATIONS

DRAWN	DATE	SCALE
Author	00/00/0000	As Indicated

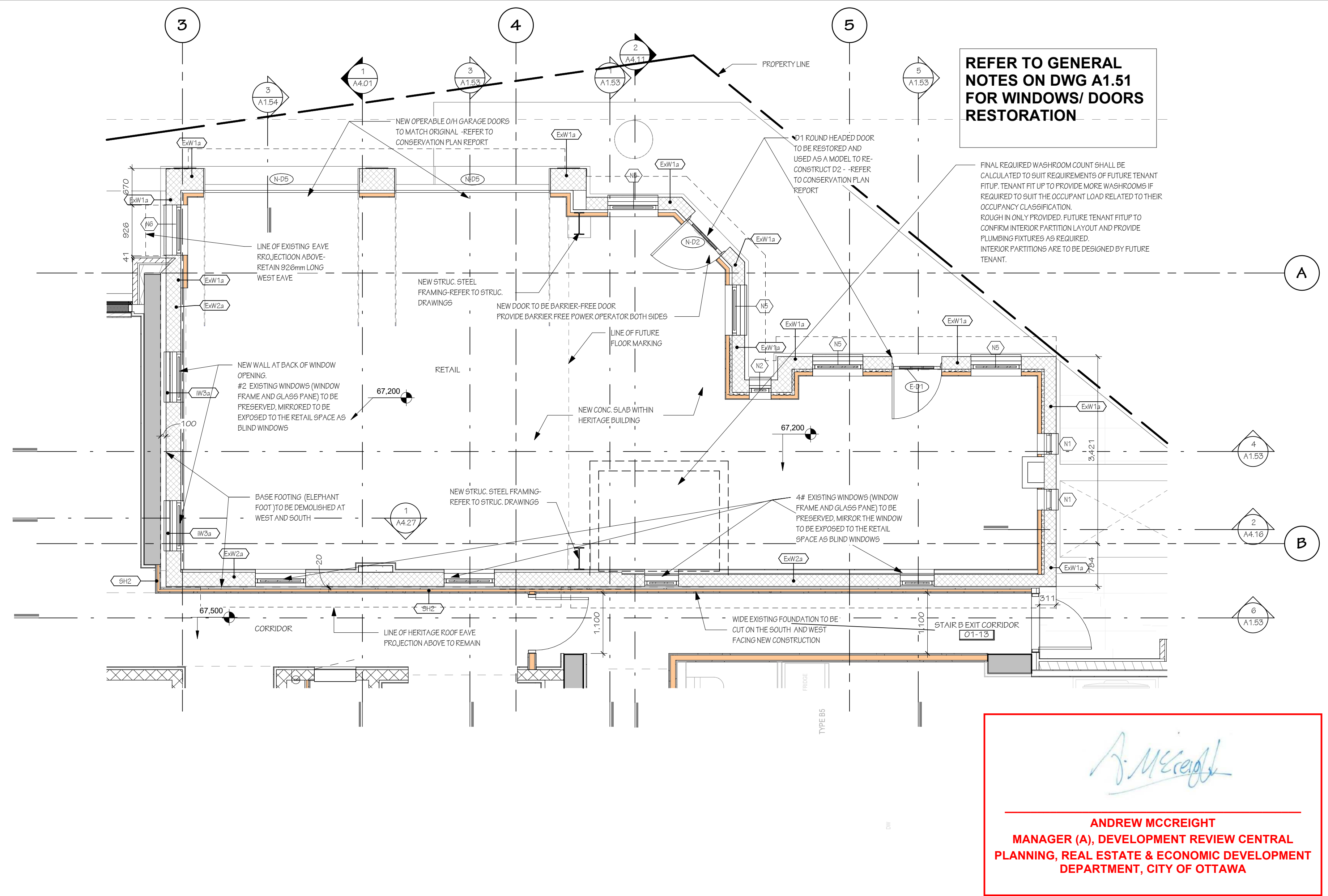
**PROJECT** 1909  
**DRAWING NO.** A3.01  
**REVISION NO.** D

**2 ELEVATION-WEST**  
A3.01 SCALE: 1:100

**1 ELEVATION-SOUTH**  
A3.01 SCALE: 1:100

**REFER TO GENERAL NOTES ON DWG A1.51 FOR WINDOWS/ DOORS RESTORATION**

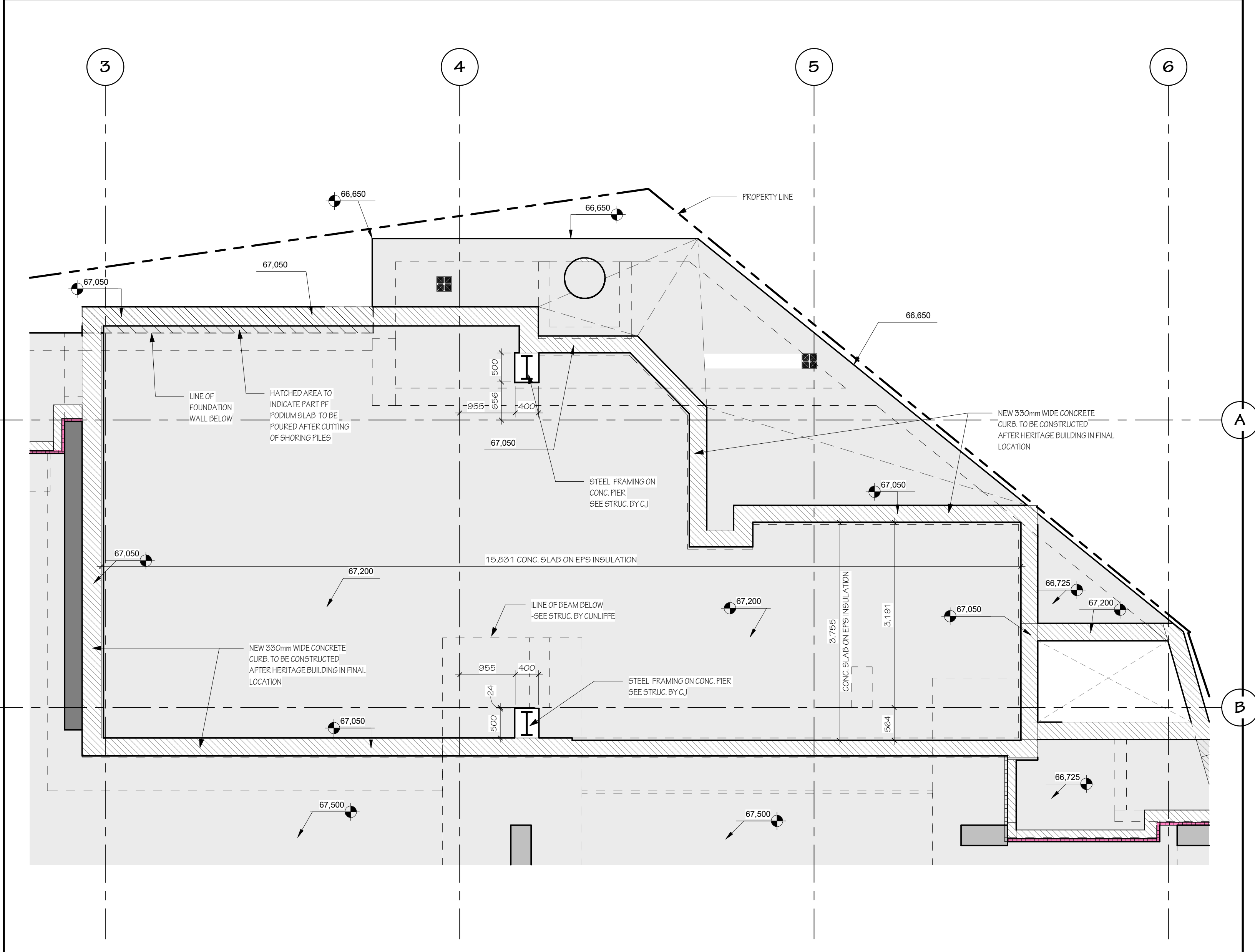
FINAL REQUIRED WASHROOM COUNT SHALL BE CALCULATED TO SUIT REQUIREMENTS OF FUTURE TENANT FIT-UP. TENANT FIT-UP TO PROVIDE MORE WASHROOMS IF REQUIRED TO SUIT THE OCCUPANT LOAD RELATED TO THEIR OCCUPANCY CLASSIFICATION. ROOMS ONLY PROVIDED FUTURE TENANT FIT-UP TO CONFIRM INTERIOR PARTITION LAYOUT AND PROVIDE PLUMBING FIXTURES AS REQUIRED. INTERIOR PARTITIONS ARE TO BE DESIGNED BY FUTURE TENANT.



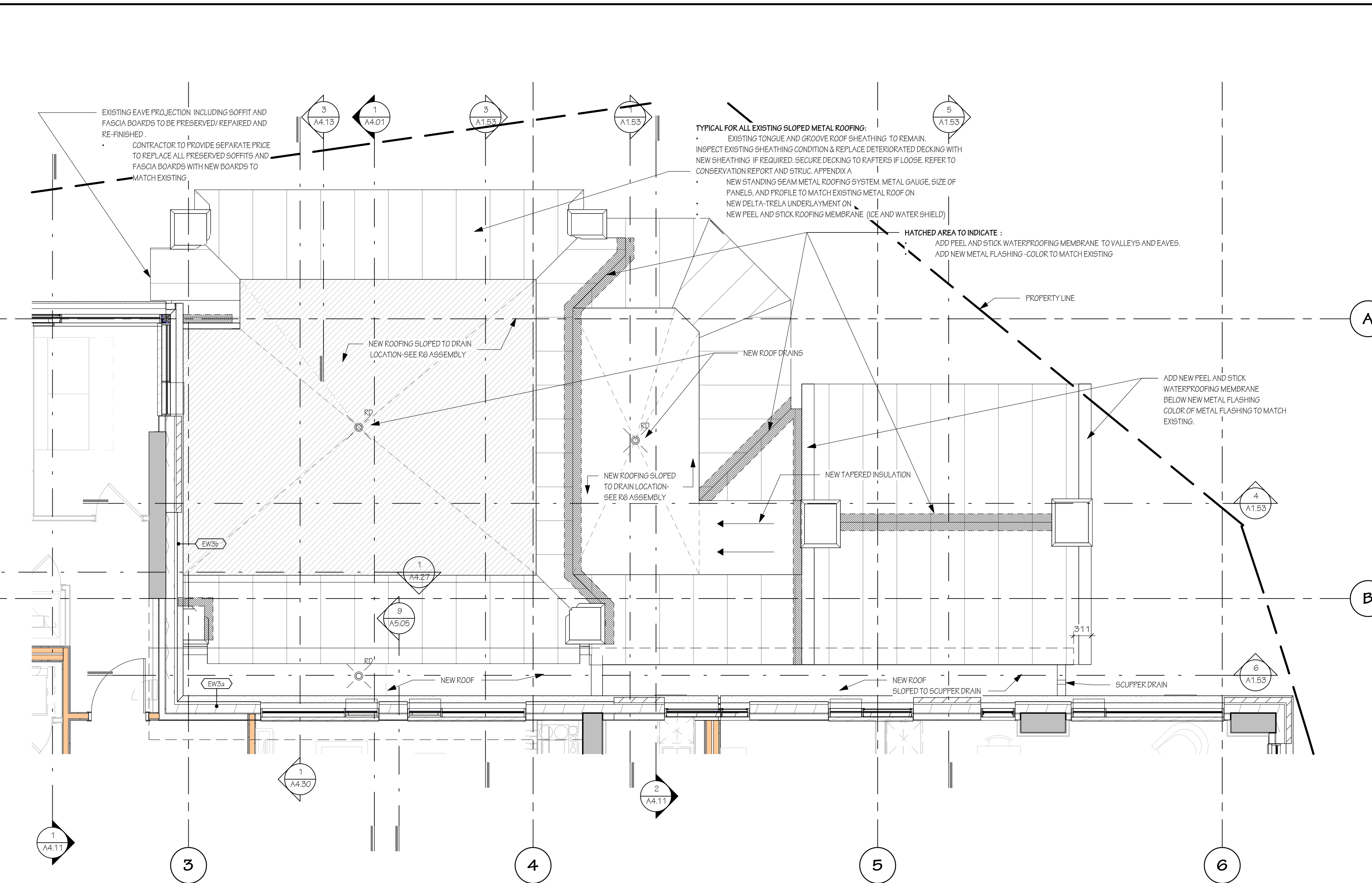
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 DEPARTMENT, CITY OF OTTAWA

**1** 01-LEVEL 1-HERITAGE FLOOR PLAN  
 A1.52 SCALE: 1:50

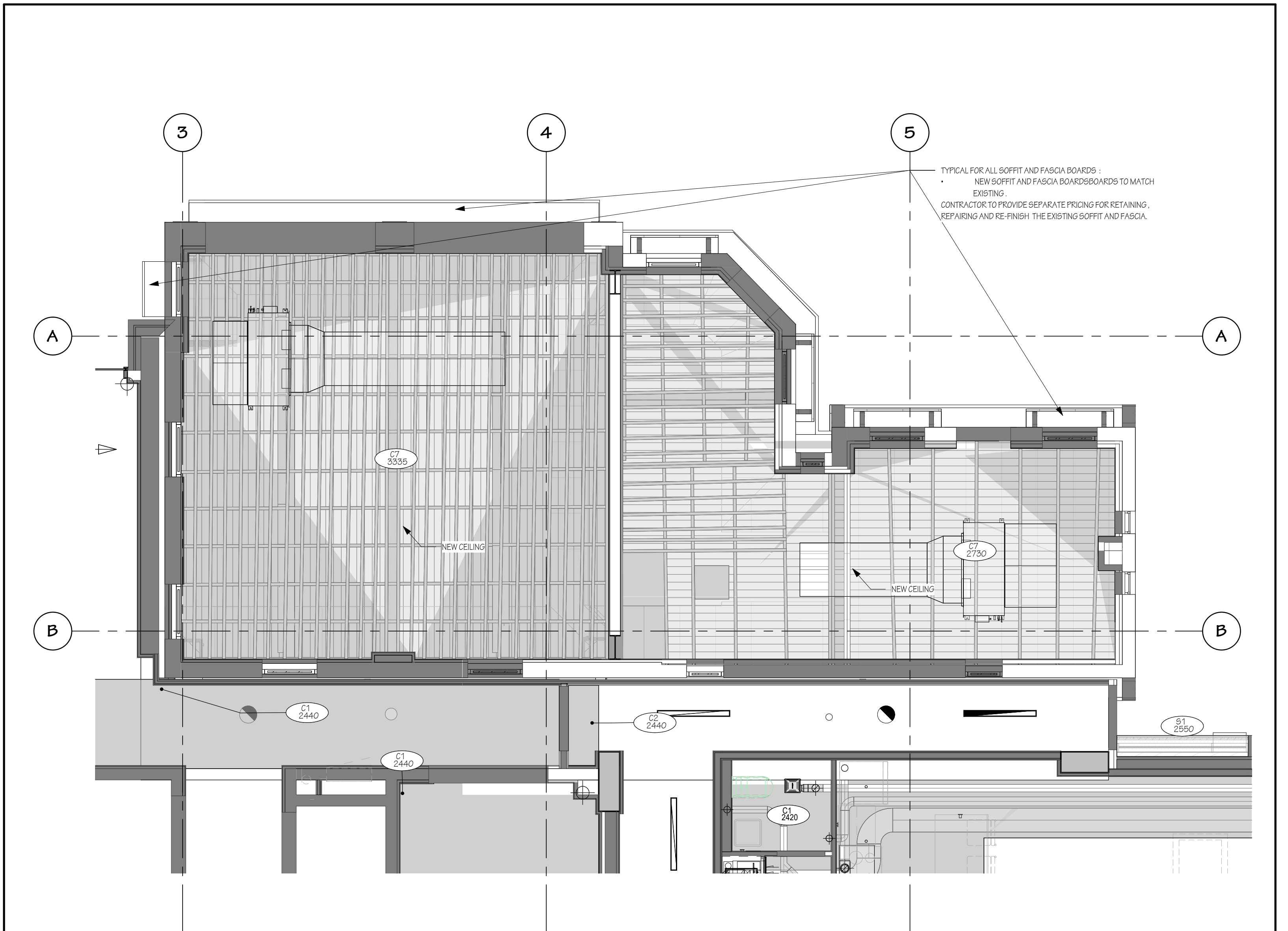
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 By Andrew McCreight at 4:11 pm, Nov 16, 2023



**3** 01-SLAB EDGE-LEVEL 1 - HERITAGE BLDG  
 A1.52 SCALE: 1:50



**2** 02-LEVEL 2-HERITAGE ROOF PLAN  
 A1.52 SCALE: 1:50



**4** 01-RCP-Level 1 - Existing Heritage Building  
 A1.52 SCALE: 1:50

0	231011	Re-issued for SFA
1	230710	Issued for Building Permits
2	230621	Re-issued for SFA
3	230424	Re-issued for SFA
4	230404	Issued for SFA Review

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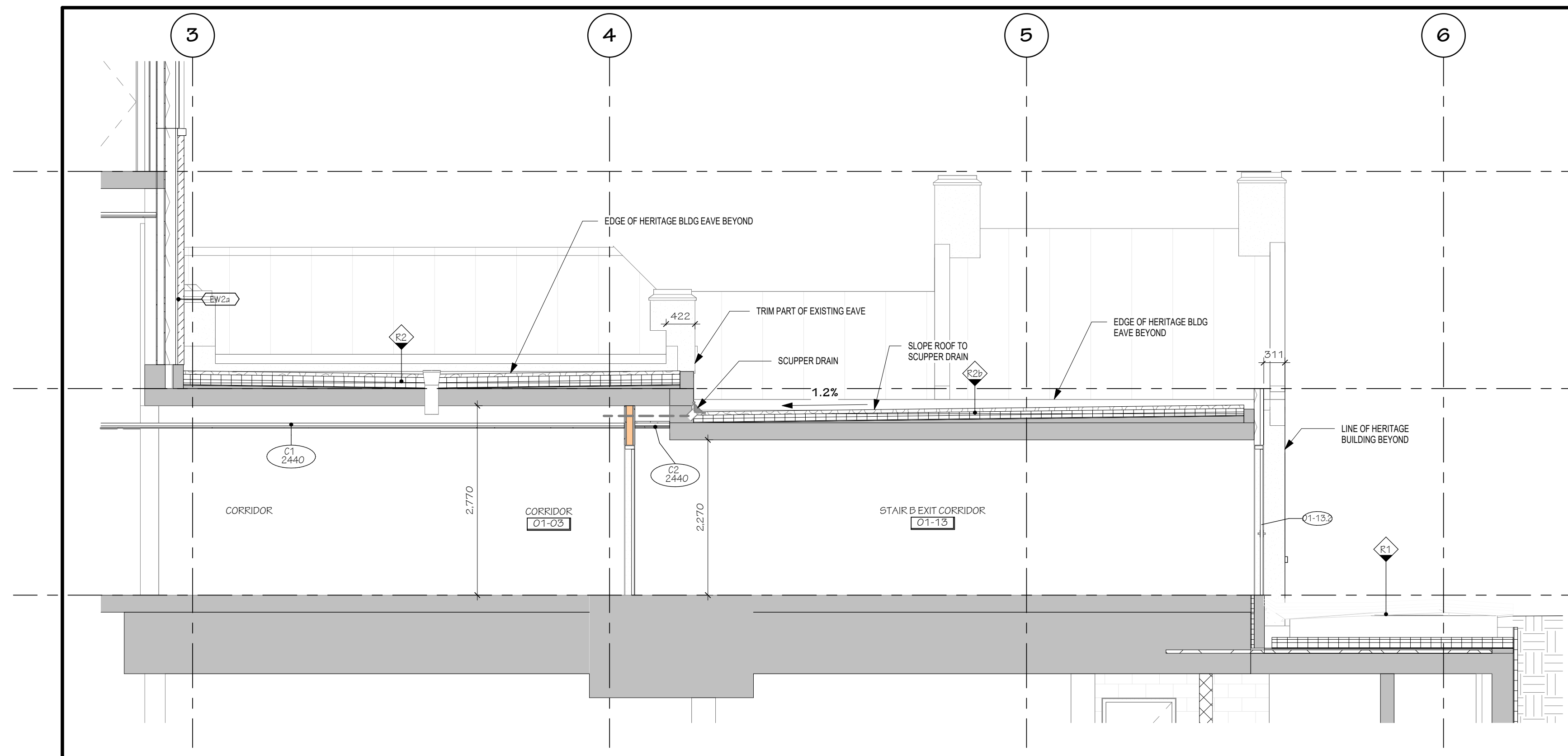
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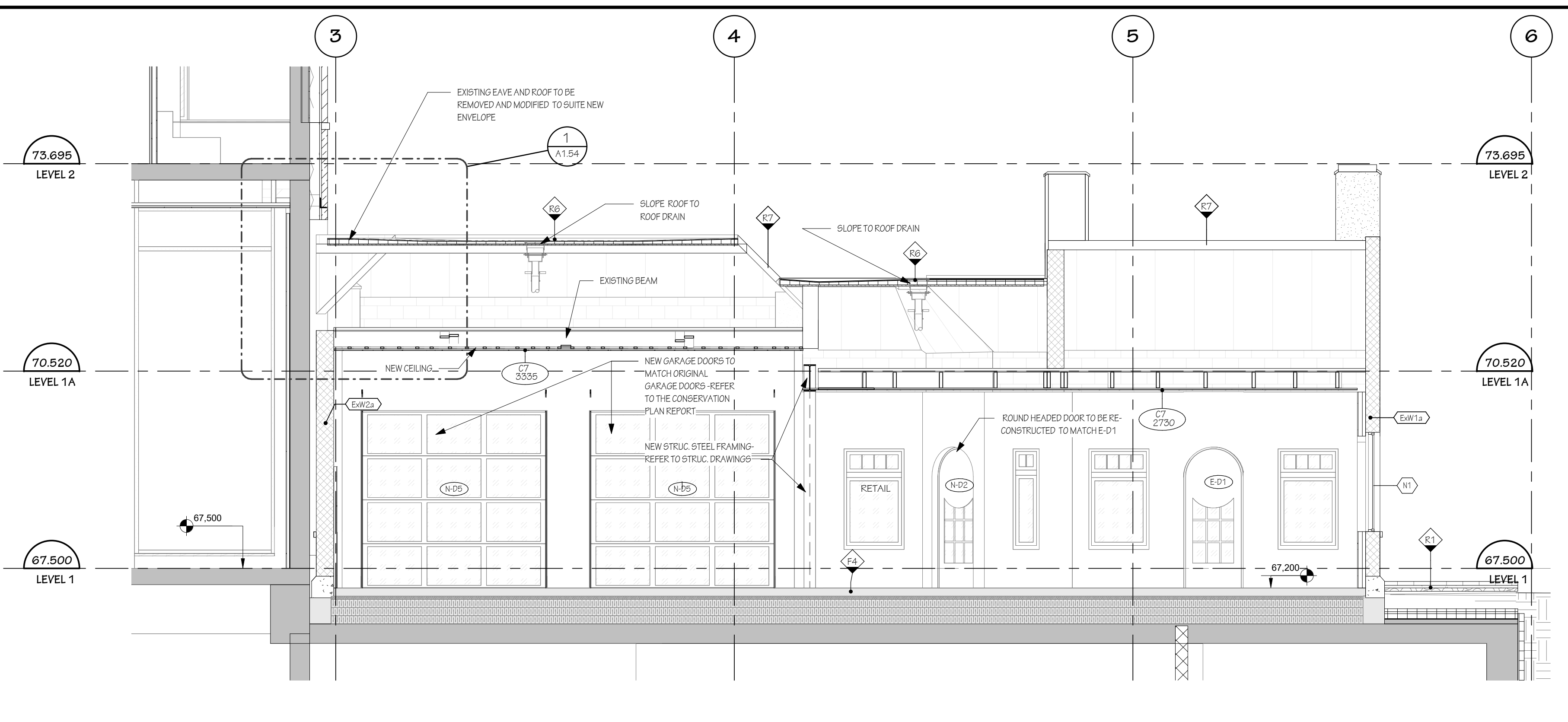
**PROJECT**  
 70 RICHMOND  
 70 RICHMOND RD & 376 ISLAND PARK DR.

**DRAWING TITLE**  
 HERITAGE PLANS-NEW LOCATION

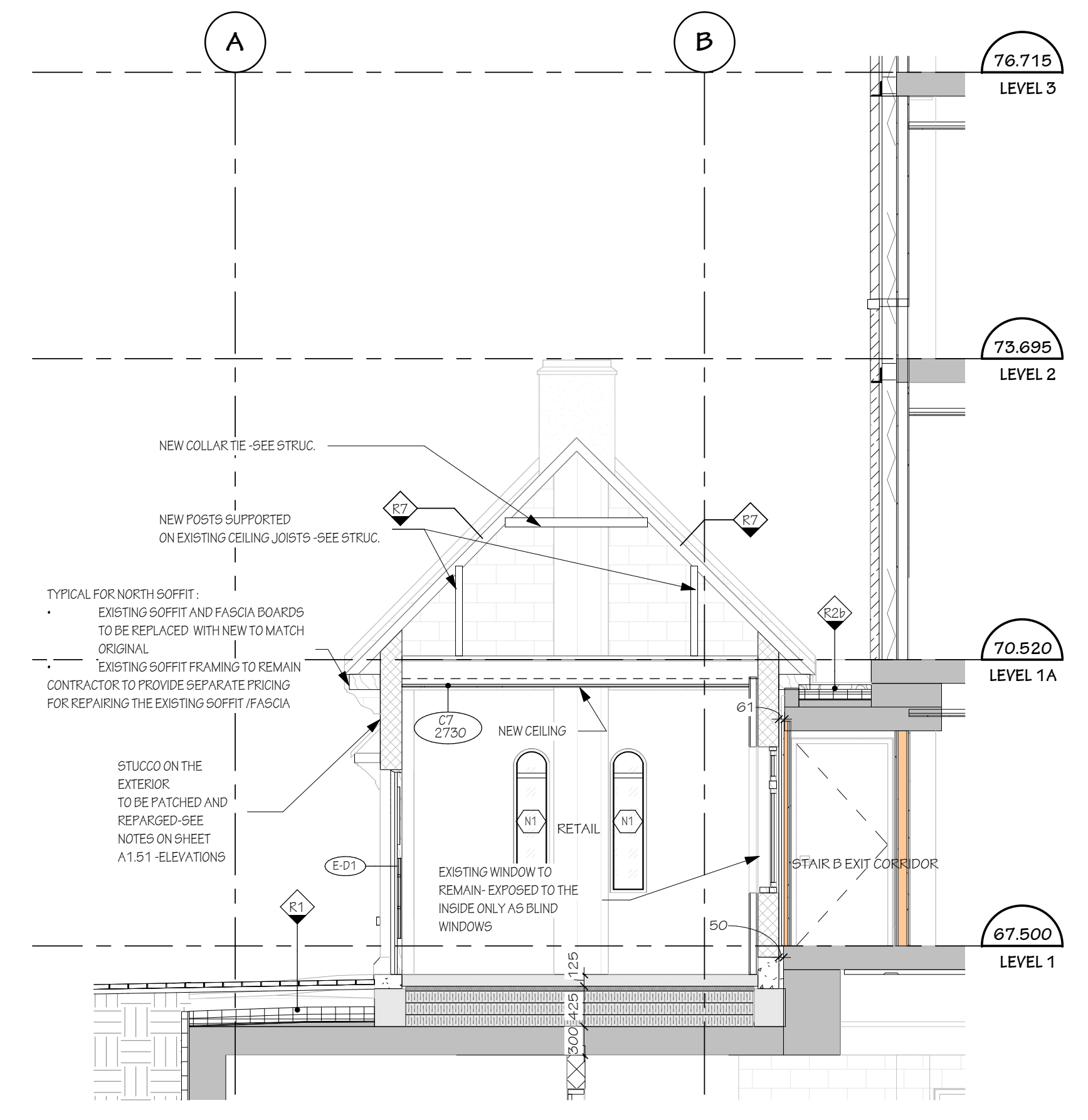
DRAWN	DATE	SCALE
Author	01/27/23	1:50
PROJECT	1909	
DRAWING NO.	A1.52	
REVISION NO.	D	



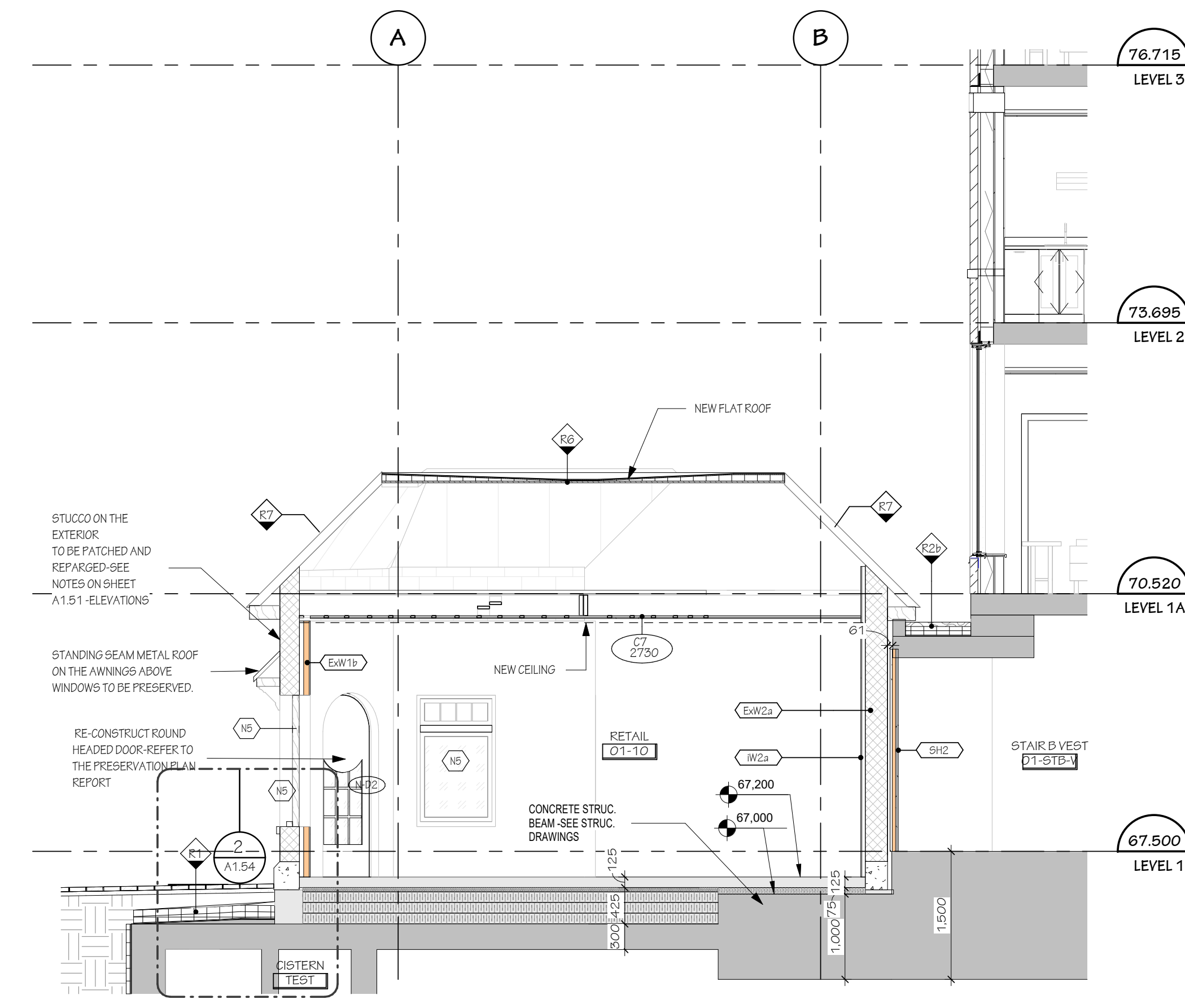
**6 BUILDING SECTION 5-LOOKING NORTH**  
A1.53 SCALE: 1:50



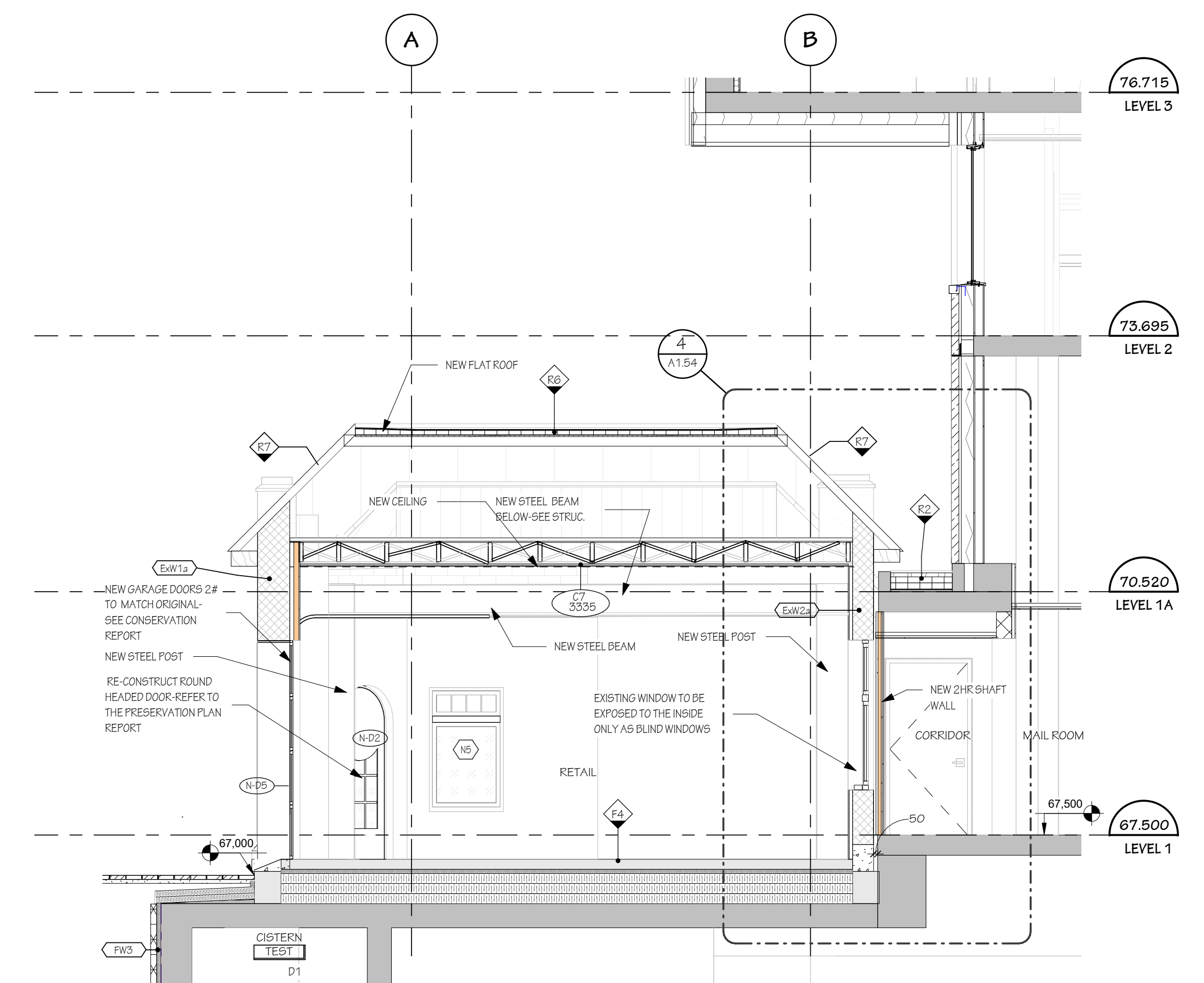
**4 HERITAGE SECTION 2-LOOKING NORTH**  
A1.53 SCALE: 1:50



**5 HERITAGE SECTION 2-LOOKING EAST2**  
A1.53 SCALE: 1:50



**1 HERITAGE SECTION 2-LOOKING EAST1**  
A1.53 SCALE: 1:50



**3 HERITAGE SECTION 2-LOOKING EAST**  
A1.53 SCALE: 1:50

D	23/10/11	Re-issued for SFA
C	23/08/09	Issued for Building Permits
B	23/07/10	Issued for 75% Review
E	23/06/21	Re-issued for SFA
I	23/04/24	Re-issued for SFA
A	23/04/04	Issued for 50% Review

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
DO NOT SCALE DRAWINGS.  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.  
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**APPROVED**  
By Andrew McCreight at 4:11 pm, Nov 16, 2023

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PROJECT <b>70 RICHMOND</b>		
70 RICHMOND RD & 376 ISLAND PARK DR.		
DRAWING TITLE <b>HERITAGE SECTIONS-NEW LOCATION</b>		
DRAWN	DATE	SCALE
Author	01/27/23	1:50
PROJECT		1909
DRAWING NO.		<b>A1.53</b>
REVISION NO.		D