

70 Richmond Road
 SUMMARY
 2023-06-12

UNIT SUMMARY

LEV.	STUDIO	1BED	1BED + 2BED	2BED	2BED + 3BED	TOWN	TOWN	TOTAL
TWN TOTAL								8
2 TOTAL	3	3	5	3	1	-	-	15
3 TOTAL	3	3	5	3	1	-	-	15
4 TOTAL	1	4	2	4	1	-	-	14
5 TOTAL	1	4	2	4	1	-	-	14
6 TOTAL	-	3	1	4	1	-	-	11
7 TOTAL	-	3	4	3	1	-	-	11
8 TOTAL	-	2	2	2	1	1	-	8
9 TOTAL	-	-	-	-	-	-	-	7
TOTAL	9	26	23	28	8	1	5	103

TOTAL RESIDENTIAL UNITS

STUDIO	1BED	1BED + 2BED	2BED	2BED + 3BED	TOWN	TOWN	TOTAL	
9	26	23	28	8	1	5	103	
RATIO	9%	25%	22%	27%	8%	1%	100%	
AVERAGE SQ.FT.								771 SQ.FT.

BARRIER-FREE UNITS SUMMARY

LEV.	STUDIO	1BED	1BED + 2BED	2BED	2BED + 3BED	TOWN	TOWN	TOTAL
2 TOTAL	3	3	5	3	1	-	-	15
3 TOTAL	3	3	5	3	1	-	-	15
4 TOTAL	1	4	2	4	1	-	-	14
5 TOTAL	1	4	2	4	1	-	-	14
6 TOTAL	-	3	1	4	1	-	-	11
7 TOTAL	-	3	4	3	1	-	-	11
8 TOTAL	-	2	2	2	1	1	-	8
9 TOTAL	-	-	-	-	-	-	-	7
TOTAL	1	3	4	7	-	1	-	16

BARRIER-FREE UNITS REQUIREMENT BREAKDOWN

TOTAL	STUDIO	1BED	1BED + 2BED	2BED	2BED + 3BED	TOWN	TOWN	TOTAL
9	26	23	28	8	1	5	103	
TOTAL PER UNIT TYPE	9	40	185	180	41	0	285	4
IF CITY MINIMUM	1.35	7.35	6.15	6.15	0.60	-	-	15
IF CITY MINIMUM (REMOVED)	1	7	4	4	1	-	-	15

SITE PLAN APPLICATION REVISION No. D07-12-19-0043

SURVEY INFORMATION TAKEN FROM:
 PART OF LOT 33 CONCESSION 3 (OTTAWA FRONT)
 (SECTION 11C TOWNSHIP OF NEPEAN)
 LOT 35 REGISTERED PLAN 449
 CITY OF OTTAWA

PROPERTY ADDRESS: 70 RICHMOND RD., OTTAWA, ONTARIO
SITE AREA (SURVEY): 1,587m²
PROPOSED USE: MIXED USE RESIDENTIAL MIDRISE APARTMENT BUILDING (9 FLOORS + ROOFTOP AMENITY)

BUILDING FOOTPRINT: 1,122m²
TOTAL FLOORS: 9
TOTAL RESIDENTIAL UNITS: 103 UNITS
TOTAL GROSS BUILDING AREA (ABOVE GRADE): 9,278 m²
TOTAL GROSS BUILDING AREA (INCLUDING BELOW GRADE LEVELS): 12,236 m²
TOTAL GROSS FLOOR AREA (ZONING BY-LAW DEFINITION): 6,889 m²
TOTAL RETAIL GFA (ZONING BY-LAW DEFINITION): 87 m²

ZONING SUMMARY:
 Zoning: MTR [2792] 9461 - SUBJECT TO ZBLA 02-02-20-0102

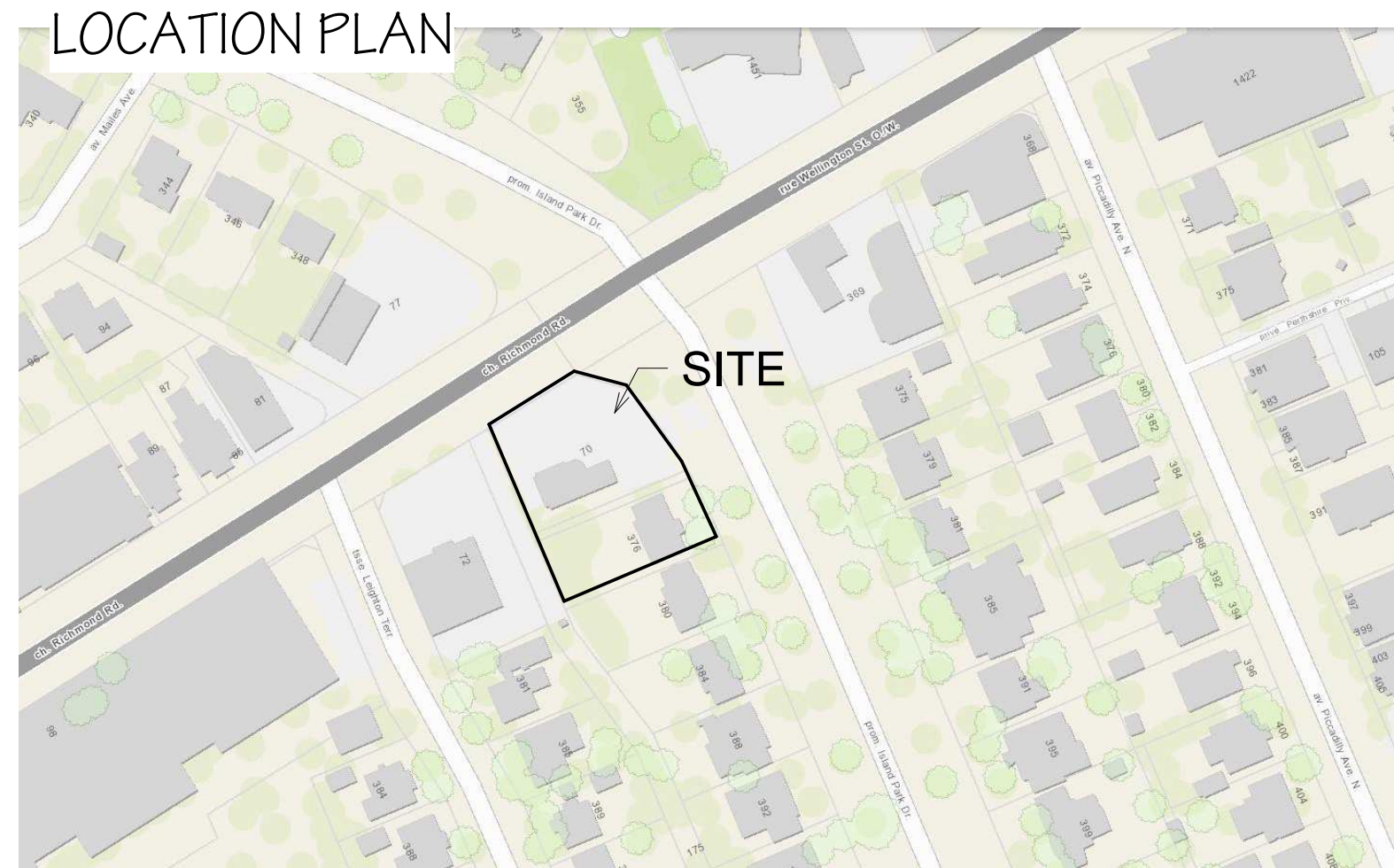
	REQUIRED	PROVIDED
RICHMOND ROAD (FRONT)	0 m	0 m
ISLAND PARK DRIVE (CORNER SIDE)	0 m	0 m
LANEWAY (CORNER SIDE)	0 m	0 m
SIDE YARD (REAR YARD)	3.90 m	3.90 m
MIN. WIDTH OF LANDSCAPE ADJUTING A RESIDENTIAL ZONE	3 m	3 m
TRANSPARENT WINDOWS & ACTIVE ENTRANCES	50% OF GROUND FLOOR MEASURED TO 4.5 m HIGH	> 50%

	REQUIRED	PROVIDED
RESIDENTIAL PARKING	0.51 UNIT	0.65 UNIT
103 UNITS (1.12 UNITS)	48 SPACES	59 SPACES
VISITOR PARKING	0.11 UNIT	0.11 UNIT
103 UNITS (1.12 UNITS)	9 SPACES	9 SPACES
TOTAL	55 SPACES	68 SPACES
PARKING DISTRIBUTION		
LEVEL P1		31 SPACES
LEVEL P2		37 SPACES
TOTAL		68 SPACES

	REQUIRED	PROVIDED
BICYCLE PARKING	0.51 UNIT	0.65 UNIT
103 UNITS	52 SPACES	61 SPACES (CITY STANDARD)
TOTAL	52 SPACES	61 SPACES
BICYCLE PARKING DISTRIBUTION		
LEVEL P1		34 SPACES
LEVEL P2		27 SPACES
TOTAL		61 SPACES

	REQUIRED	PROVIDED
AMENITY		
MINIMUM AMENITY SPACE	615 m ²	1382 m ²
PRIVATE AMENITY (MIN. OF 50% OF REQUIRED)	309 m ²	692 m ²
COMMON AMENITY SUMMARY		
GROUND FLOOR RESIDENTIAL LOBBY/Lounge		60 m ²
ROOF AMENITY (INDOOR)		155 m ²
ROOF AMENITY (OUTDOOR)		200 m ²
TOTAL COMMON AMENITY (50% OF REQUIRED)	309 m ²	415 m ²
TOTAL AMENITY (PRIVATE + COMMON)	615 m ²	1382 m ²

BUILDING SUMMARY	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
LEVEL 10 (Mech & Roof Amenity)	-	-
LEVEL 9	481.5 m ²	7
LEVEL 8	561 m ²	8
LEVEL 7	701.5 m ²	11
LEVEL 6	746 m ²	11
LEVEL 5	802.5 m ²	14
LEVEL 4	802.5 m ²	14
LEVEL 3	849 m ²	15
LEVEL 2	823 m ²	15
LEVEL 1A (MEZZANINE)	584 m ²	-
LEVEL 1 (RES + RETAIL)	547.2 + 87 + 634.2 m ²	8
TOTAL	6,889 m ²	103
LEVEL P1	-	-
LEVEL P2	-	-



PROJECT TEAM
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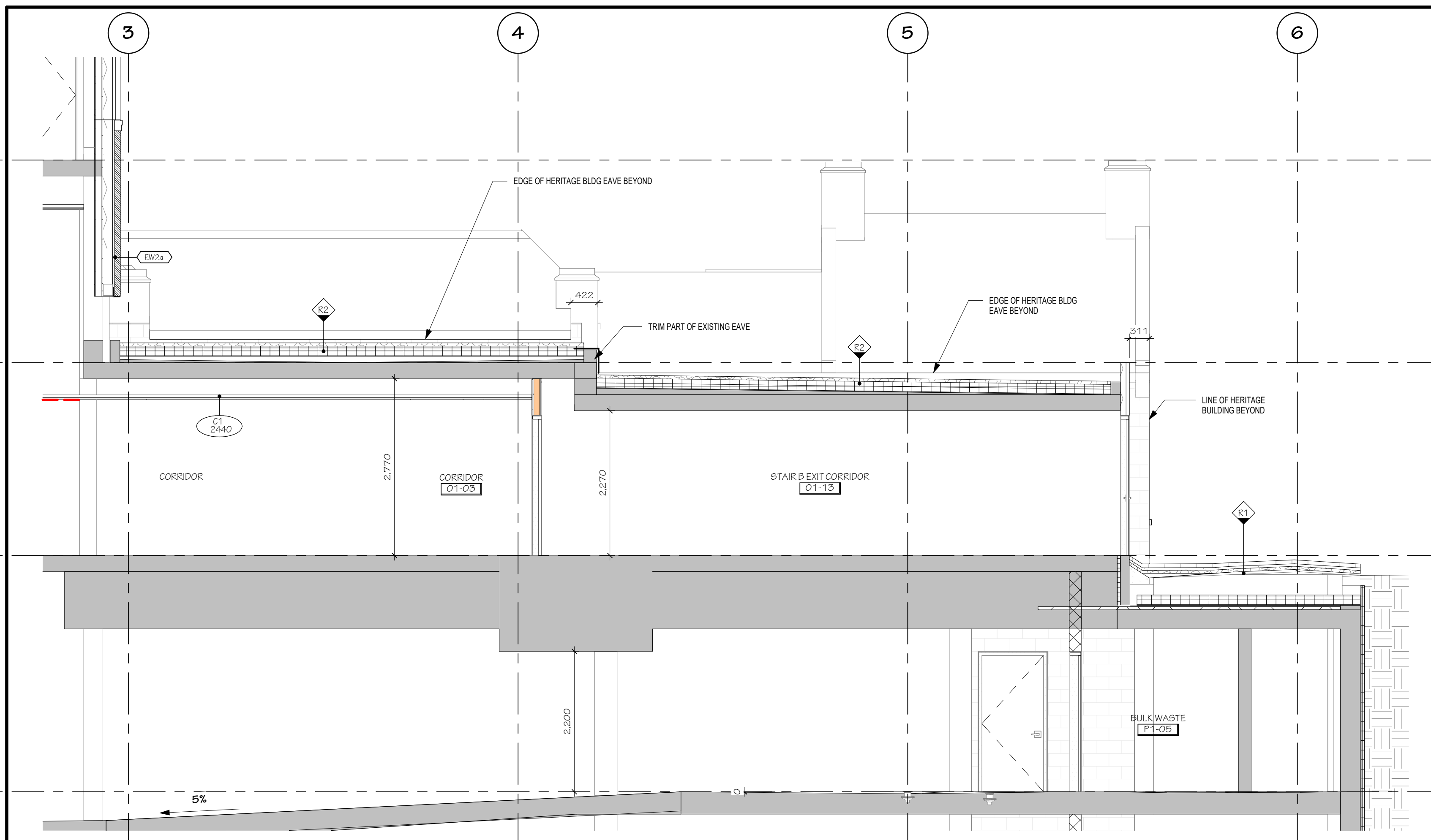
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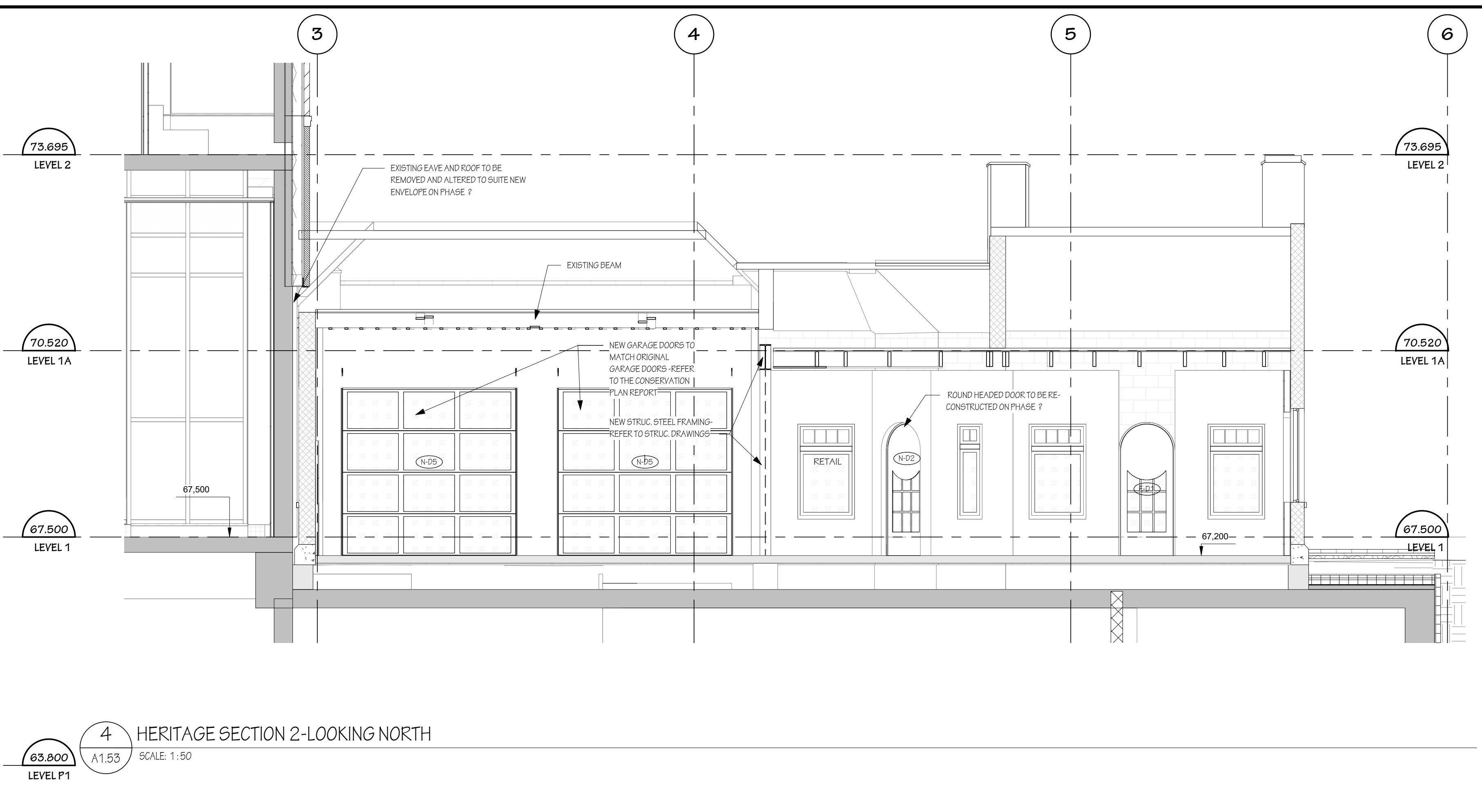
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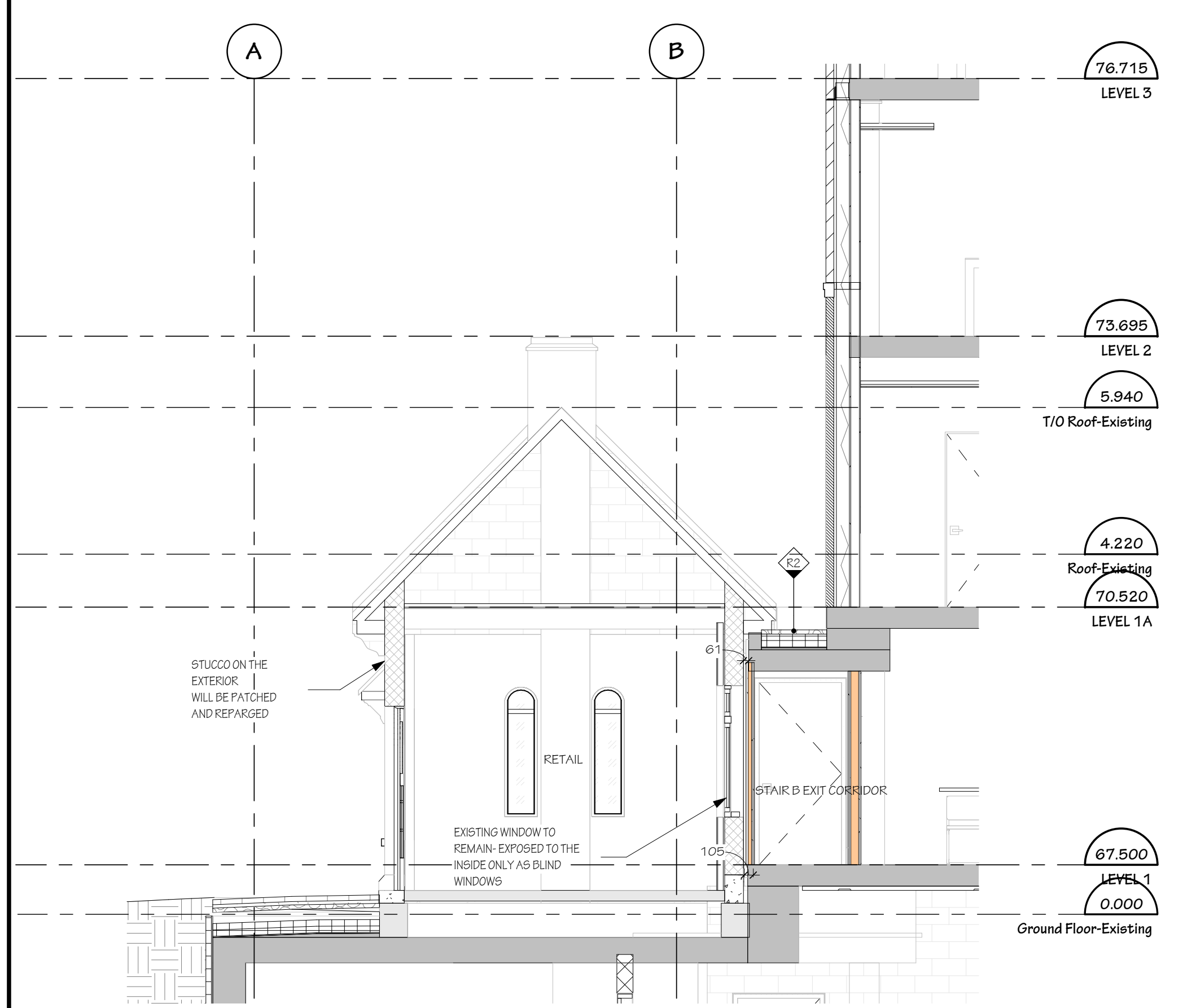
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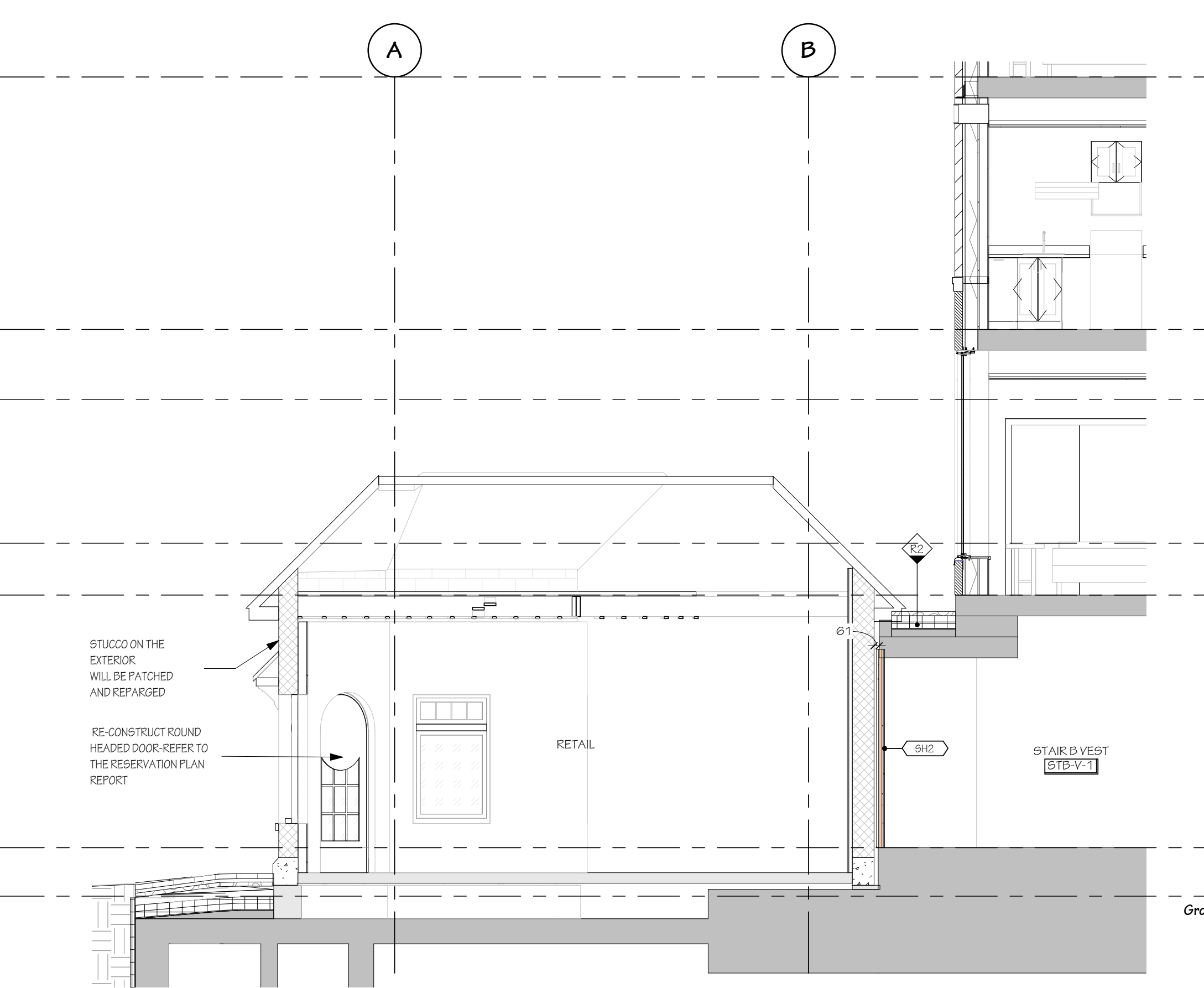
6 BUILDING SECTION 5-LOOKING NORTH
A1.53 SCALE: 1:50



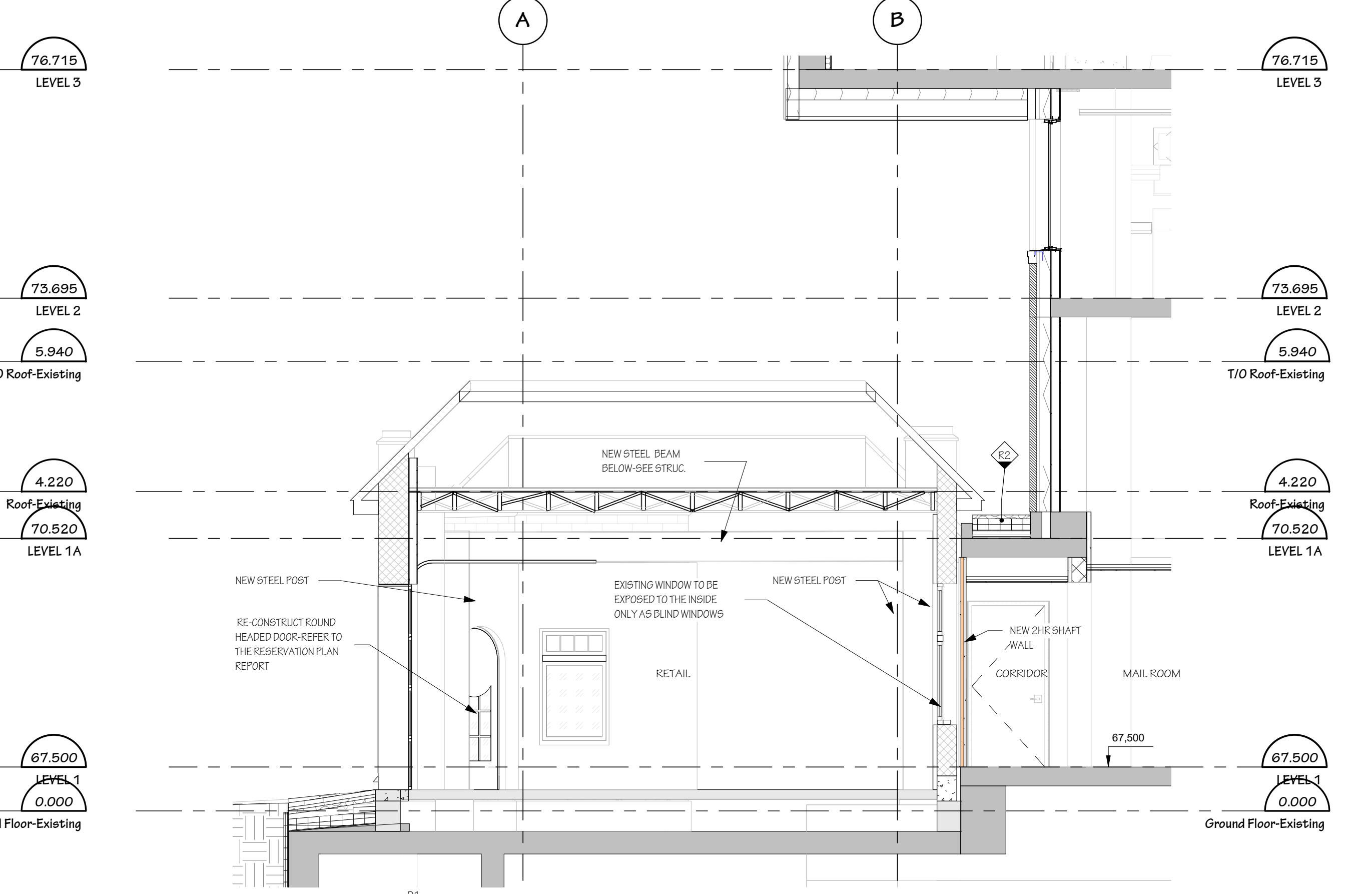
4 HERITAGE SECTION 2-LOOKING NORTH
A1.53 SCALE: 1:50



5 HERITAGE SECTION 2-LOOKING EAST 2
A1.53 SCALE: 1:50



1 HERITAGE SECTION 2-LOOKING EAST 1
A1.53 SCALE: 1:50



3 HERITAGE SECTION 2-LOOKING EAST
A1.53 SCALE: 1:50

2	230621	Re-issued for SFA
1	230424	Re-issued for SFA
A	23.04.04	Issued for S05 Review
rev.	date	revision

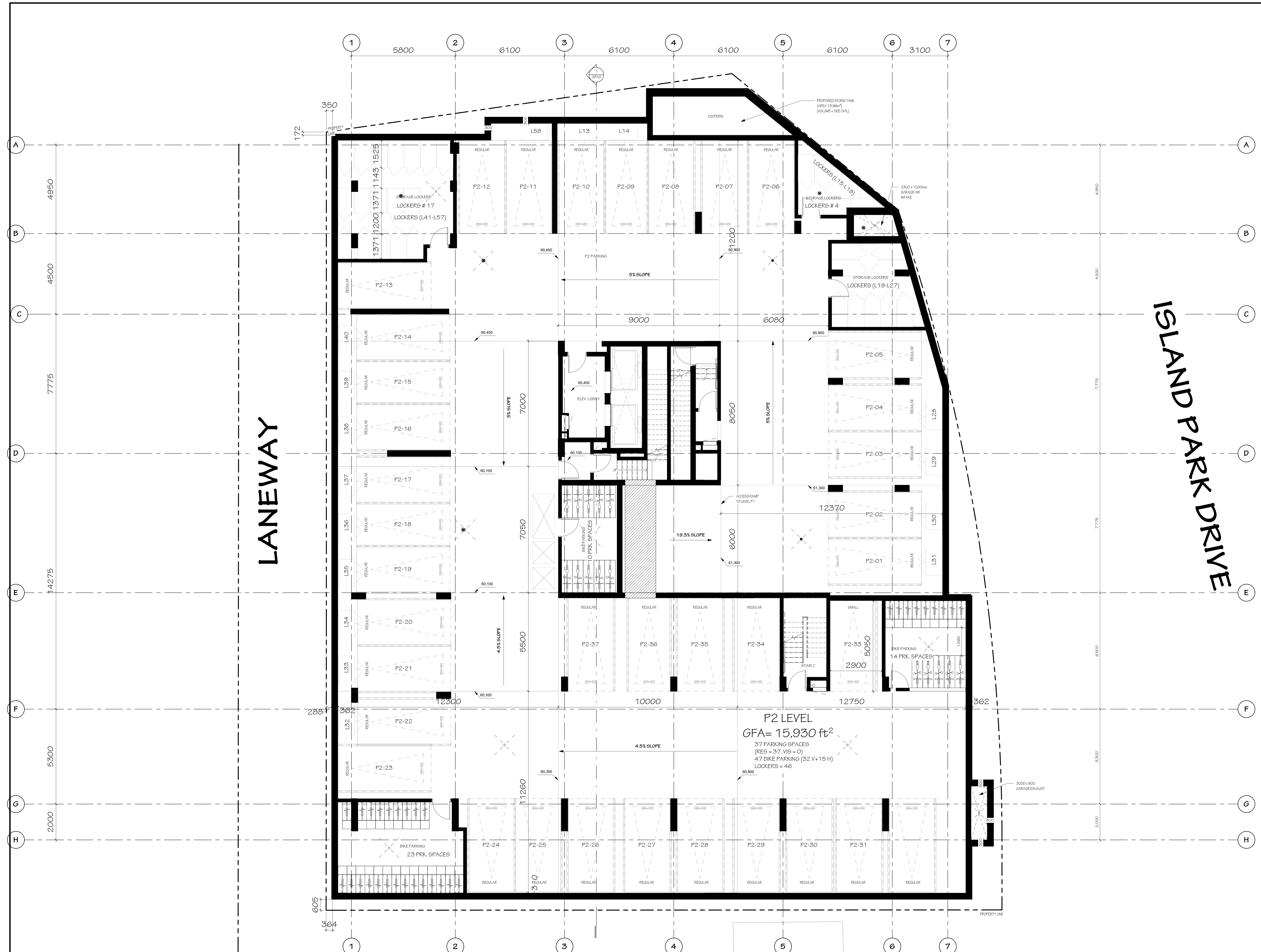
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PROJECT		
70 RICHMOND		
70 RICHMOND RD & 376 ISLAND PARK DR.		
DRAWING TITLE		
HERITAGE SECTIONS-NEW LOCATION		
DRAWN	DATE	SCALE
Author	01/27/23	1:50
PROJECT		1909
DRAWING NO.		A1.53
REVISION NO.		2

SUMMARY - LEVEL P2

GFA = 15,930 ft²
 VEHICLE PARKING:
 RESIDENTS = 37
 VISITORS = 0
 TOTAL = 37
 BIKE PARKING = 47
 LOCKERS = 46



ISLAND PARK DRIVE

LANEWAY

1 FLOOR PLAN-LEVEL P2
 SPA1 SCALE: 1:75

3	230821	Issued for SPA
4	230424	Issued for SPA
5	221111	Issued for SPA
2	221003	Issued for SPA
1	220513	Issued for SPA

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PROJECT		
70 RICHMOND		
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DRAWING TITLE		
P2 LEVEL		
DRAWN	DATE	SCALE
Author	02/28/23	1:75
PROJECT		DRAWING NO.
1909		SPA1
REVISION NO.		6

SUMMARY - LEVEL P1

GFA = 15,930 ft²
 VEHICLE PARKING:
 RESIDENTS = 22
 VISITORS = 9
 TOTAL = 31
 BIKE PARKING = 34
 LOCKERS = 12

NO.	DATE	REVISION
3	230821	Re-issued for SPA
4	230424	Re-issued for SPA
5	221111	Re-issued for SPA
2	221003	Re-issued for SPA
1	220513	Issued for SPA

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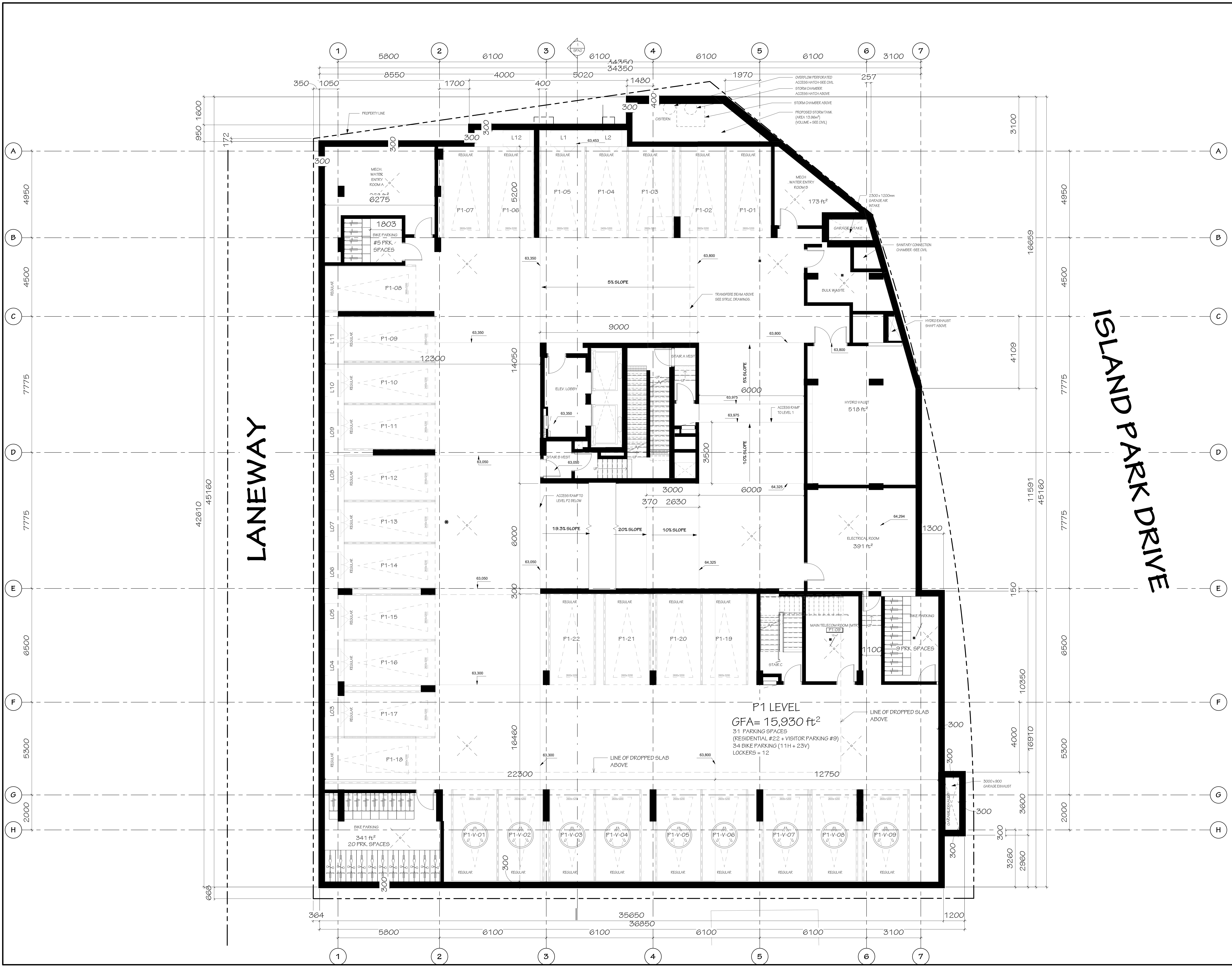
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PROJECT
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DRAWING TITLE
P1 LEVEL

DRAWN	DATE	SCALE
Author	02/28/23	1:75

PROJECT	1909
DRAWING NO.	SPA2
REVISION NO.	6



LANEWAY

ISLAND PARK DRIVE

P1 LEVEL
 GFA = 15,930 ft²
 31 PARKING SPACES
 (RESIDENTIAL #22 + VISITOR PARKING #9)
 34 BIKE PARKING (11H + 23V)
 LOCKERS = 12

GROUND FLOOR LEVEL:

NET AREA BREAKDOWN:

RESIDENTIAL BLDG GFA = 10,813 ft²
 HERITAGE BLDG = 1,102 ft²
 TOTAL GFA = 11,915 ft²

RESIDENTIAL NET RES = 8,242 ft²
 (GROUND LEVEL TOWNS - 8 UNITS)

RETAIL NET RETAIL = 1,102 ft²

AMENITY BREAKDOWN
 RES LOBBY LOUNGE = 649 ft²

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT. OF FLOOR AREA
TOWN HOUSES (GRD LEV)	8	8,242 ft ²	68%
TOWN HOUSES (MEZ LEV)	8	7,207 ft ²	6%
TOTAL	8	13,449 ft ²	

LEGEND:

- DWELLING UNITS
- COMMON AREAS
- RETAIL AREA

NO.	DATE	REVISION
3	230821	Re-issued for SPA
4	230424	Re-issued for SPA
5	221111	Re-issued for SPA
2	221003	Re-issued for SPA
1	220513	Issued for SPA

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PROJECT
 70 RICHMOND

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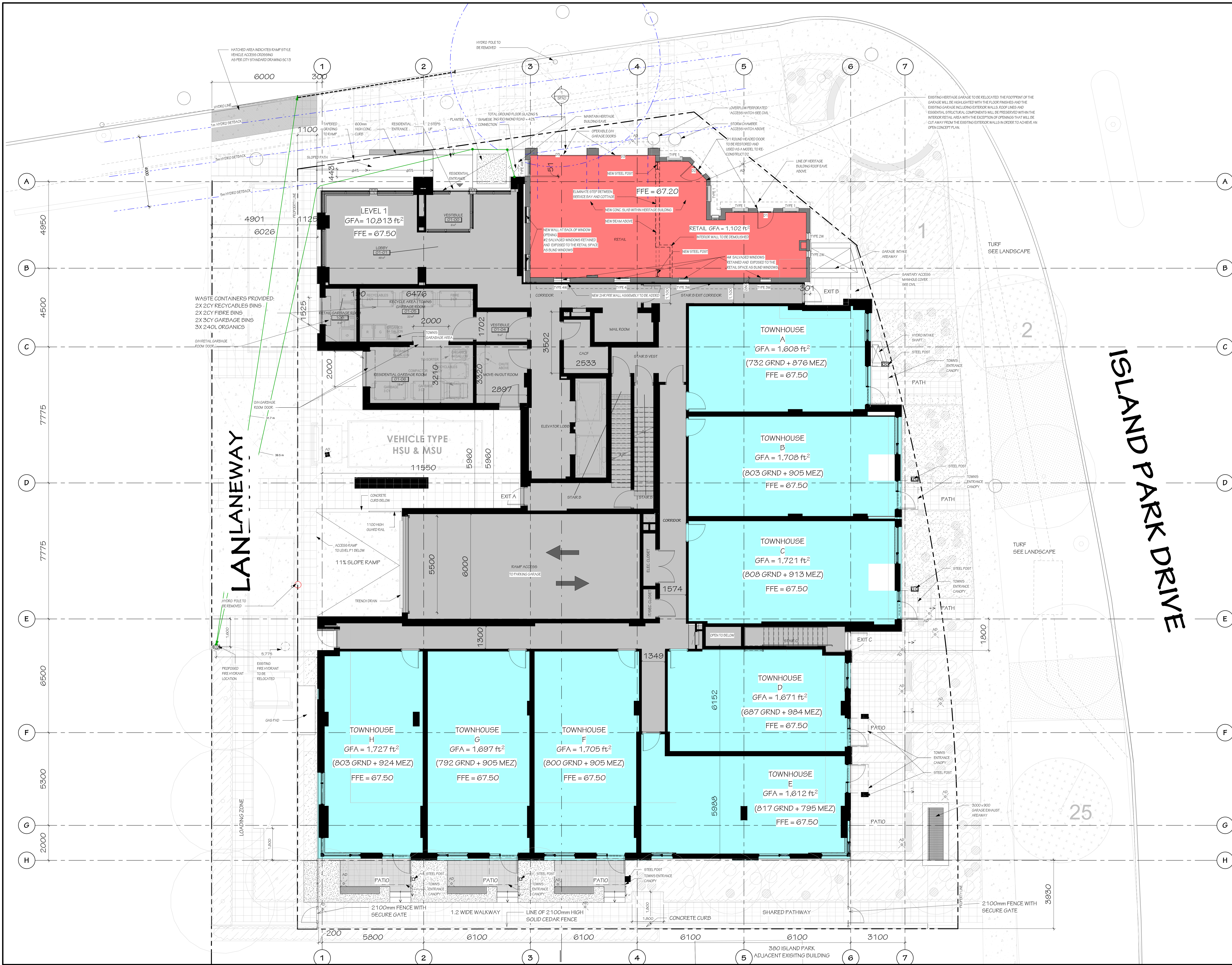
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 GROUND FLOOR PLAN

DRAWN	DATE	SCALE
Author	02/27/23	1:75

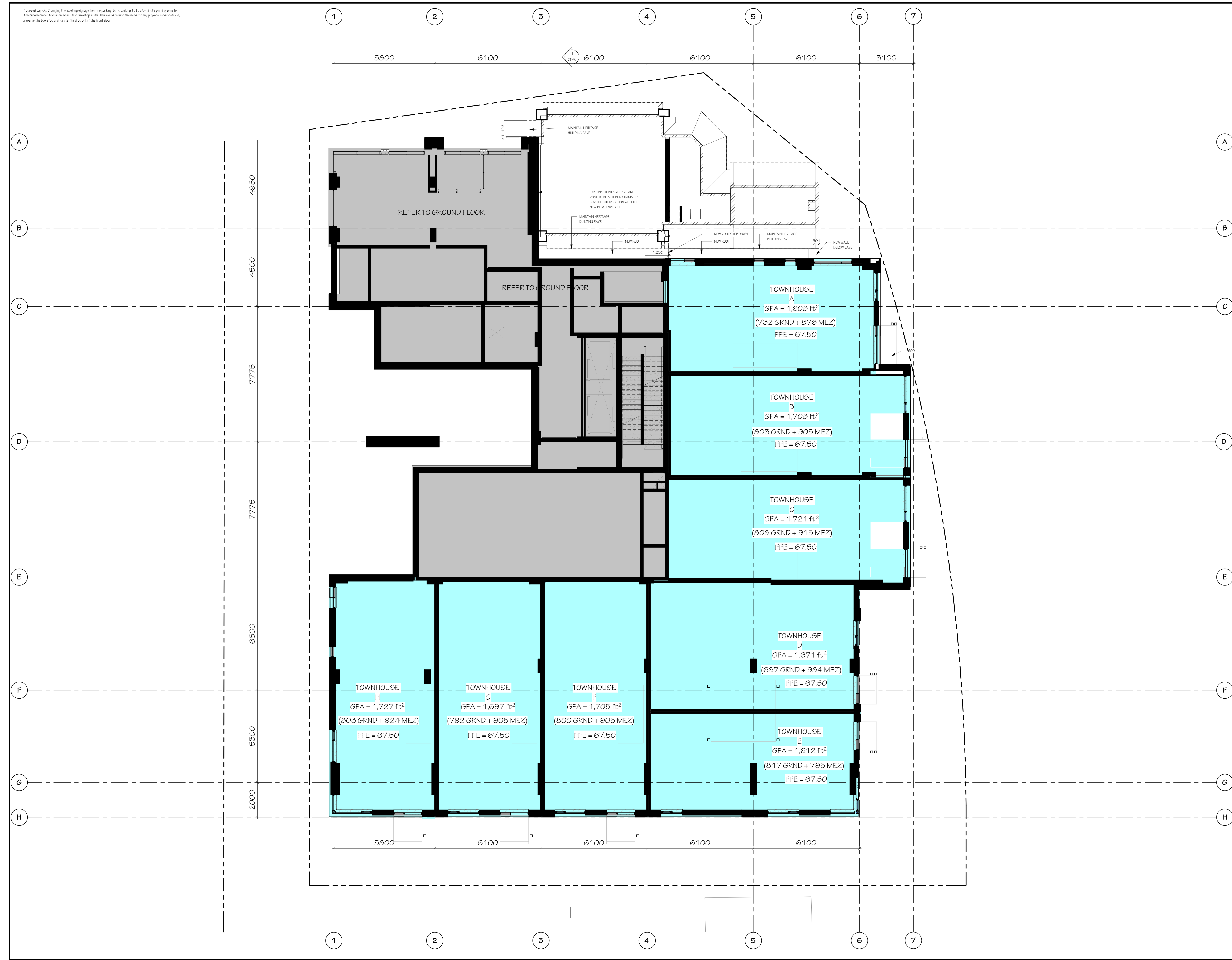
PROJECT
1909

DRAWING NO.
 SPA3

REVISION NO.
 8



Proposed Lay By: Changing the existing signage from 'no parking' to 'no parking' to a 5-minute parking zone for 30 minutes between the driveway and the bus stop area. This would reduce the need for any physical modifications, preserve the bus stop and locate the drop off at the front door.



MEZZ LEVEL:

NET AREA BREAKDOWN:
 MEZZ GFA = 7,697 ft²
 MEZZ NET = 7,207 ft²
 (TOWNS - 6 UNITS)

UNIT MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT. OF FLOOR AREA
TOWN HOUSES (GRD LEV)		6,242 ft ²	68%
TOWN HOUSES (MEZ LEV)	8	7,207 ft ²	94%
TOTAL	8	13,449 ft ²	-

LEGEND:

- DWELLING UNITS
- COMMON AREAS

REV.	DATE	DESCRIPTION
3	23/08/21	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	22/11/23	Re-issued for SPA
2	22/10/23	Re-issued for SPA
1	22/05/13	Issued for SPA

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PROJECT: **70 RICHMOND**

70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE: **MEZZANINE**

DRAWN Author	DATE 02/28/23	SCALE 1:75
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PROJECT 1909	DRAWING NO. SPA4
REVISION NO. 8	

SUMMARY - LEVEL 2:

GFA = 11,121 ft²
 NET = 9,461 ft²
 EFF = (85%)

15 UNITS
 LOCKERS = 4

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	3		
1BED	3		
1BED-DEN	5		
2BED	3		
2BED-DEN	1		
3BED	-		
TOTAL	15	8,461 ft²	87%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Re-issued for GFA
4	23/04/24	Re-issued for GFA
5	22/11/11	Re-issued for GFA
2	22/10/03	Re-issued for GFA
1	22/05/13	Issued for GFA

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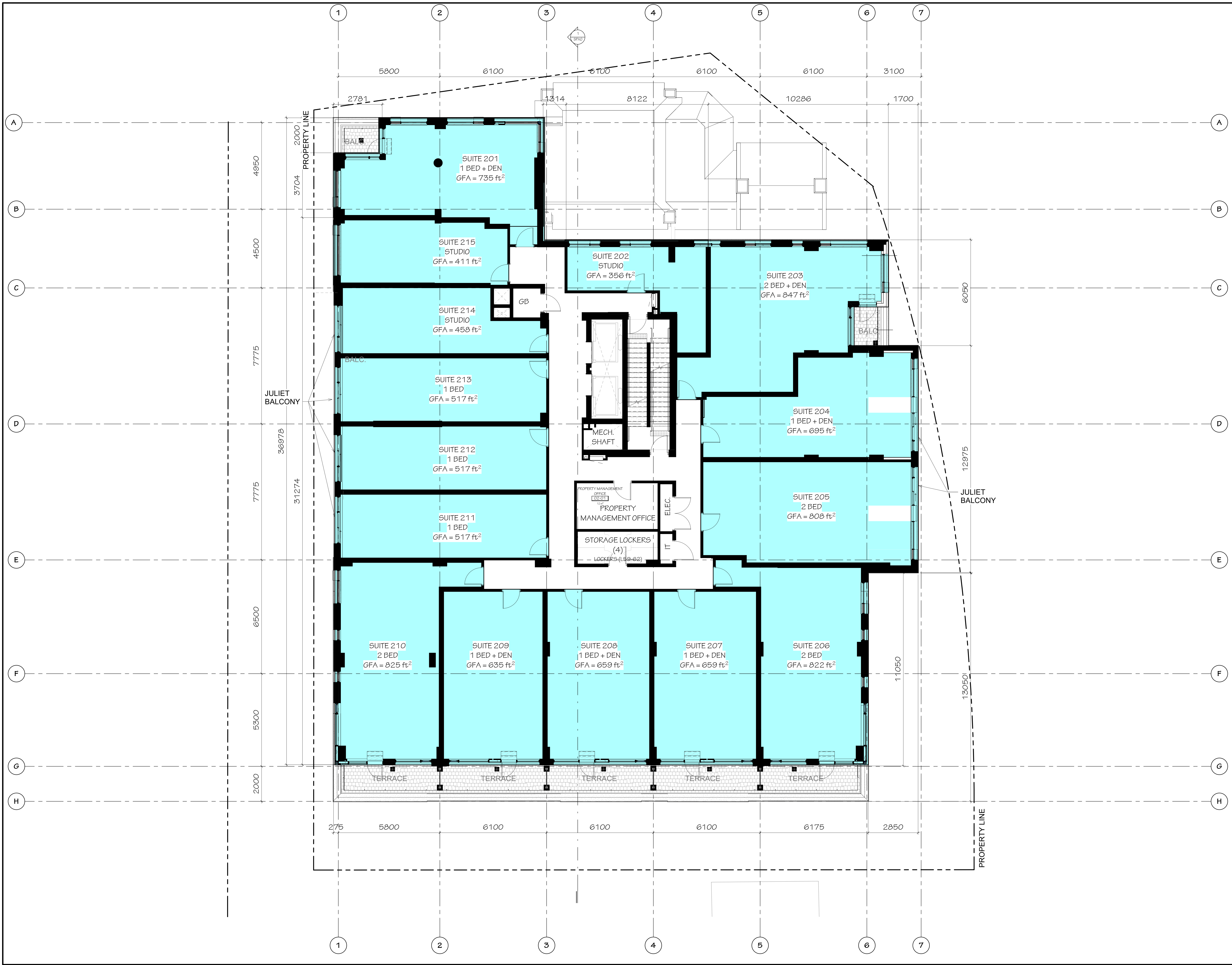
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DRAWING TITLE
 LEVEL 2

DRAWN Author	DATE 05/02/23	SCALE 1:75
PROJECT 1909		DRAWING NO. SPA5
REVISION NO. 6		



SUMMARY - LEVEL 3:

GFA = 11,400 ft²
 NET = 9,748 ft²
 EFF = 86%

15 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	3		
1 BED	3		
1 BED-DEN	5		
2 BED	3		
2 BED-DEN	1		
3 BED	-		
TOTAL	15	9,748 ft ²	86%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	22/11/21	Re-issued for SPA
2	22/10/23	Re-issued for SPA
1	22/05/13	Issued for SPA

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PROJECT
70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE
LEVEL 3

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT
 1909

DRAWING NO.
SPA6

REVISION NO. 6



SUMMARY - LEVEL 4:

GFA = 10,846 ft²
 NET = 9,245 ft²
 EFF = 85%

14 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	1		
1 BED	6		
1 BED+DEN	2		
2 BED	4		
2 BED+DEN	1		
3 BED	-		
TOTAL	14	9,245 ft ²	85%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Issued for SPA
4	23/04/24	Issued for SPA
5	22/11/11	Issued for SPA
2	22/10/23	Issued for SPA
1	22/05/13	Issued for SPA

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PROJECT: 70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

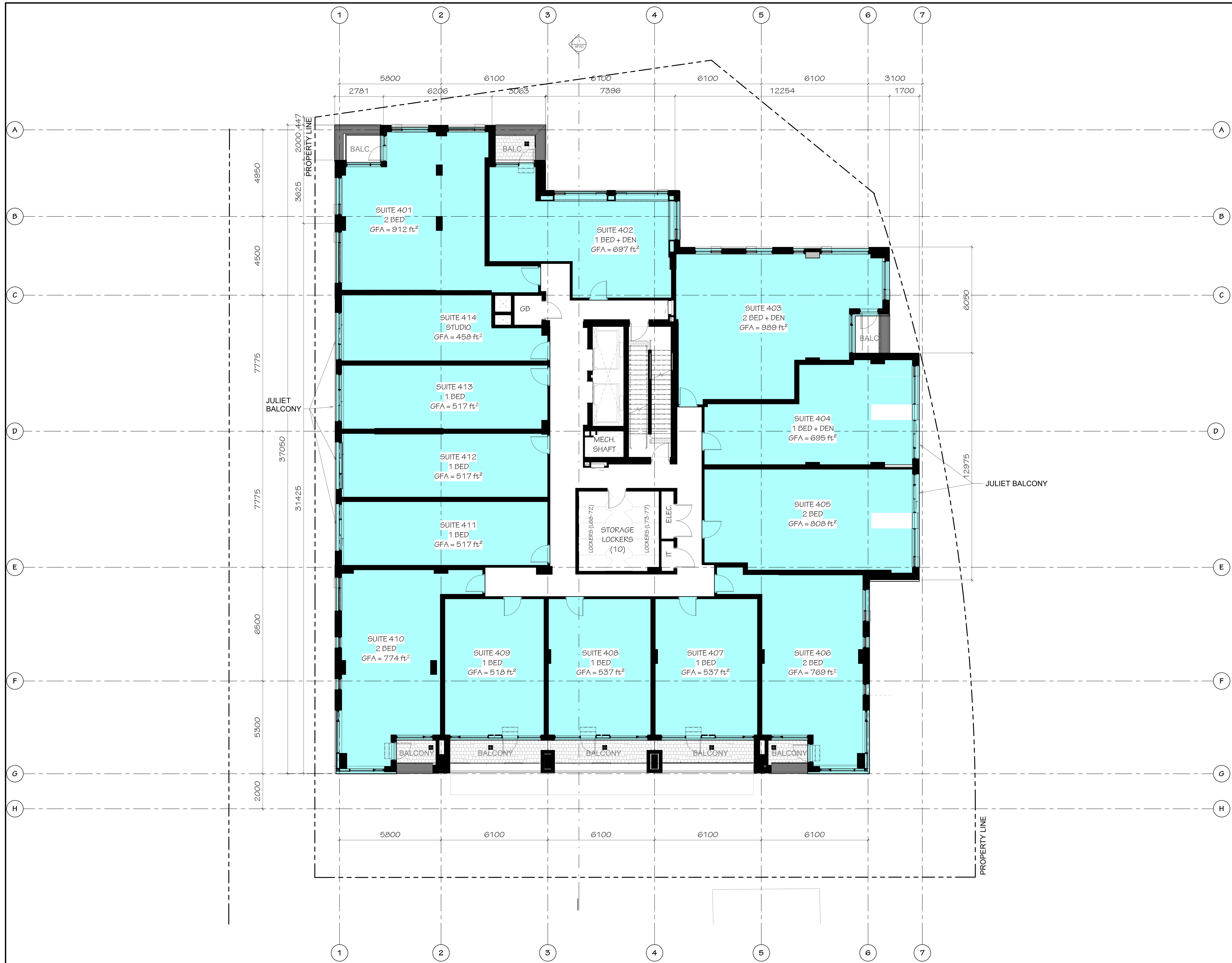
DRAWING TITLE: LEVEL 4

DRAWN: Author DATE: 05/02/23 SCALE: 1:75

PROJECT: 1909

DRAWING NO. SPA7

REVISION NO. 6



SUMMARY - LEVEL 5:

GFA = 10,846 ft²
 NET = 9,245 ft²
 EFF = 85%

14 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	1		
1 BED	6		
1 BED+DEN	2		
2 BED	4		
2 BED+DEN	1		
3 BED	-		
TOTAL	14	9,245 ft ²	85%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	22/11/11	Re-issued for SPA
2	22/10/23	Re-issued for SPA
1	22/05/13	Issued for SPA

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PROJECT: 70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

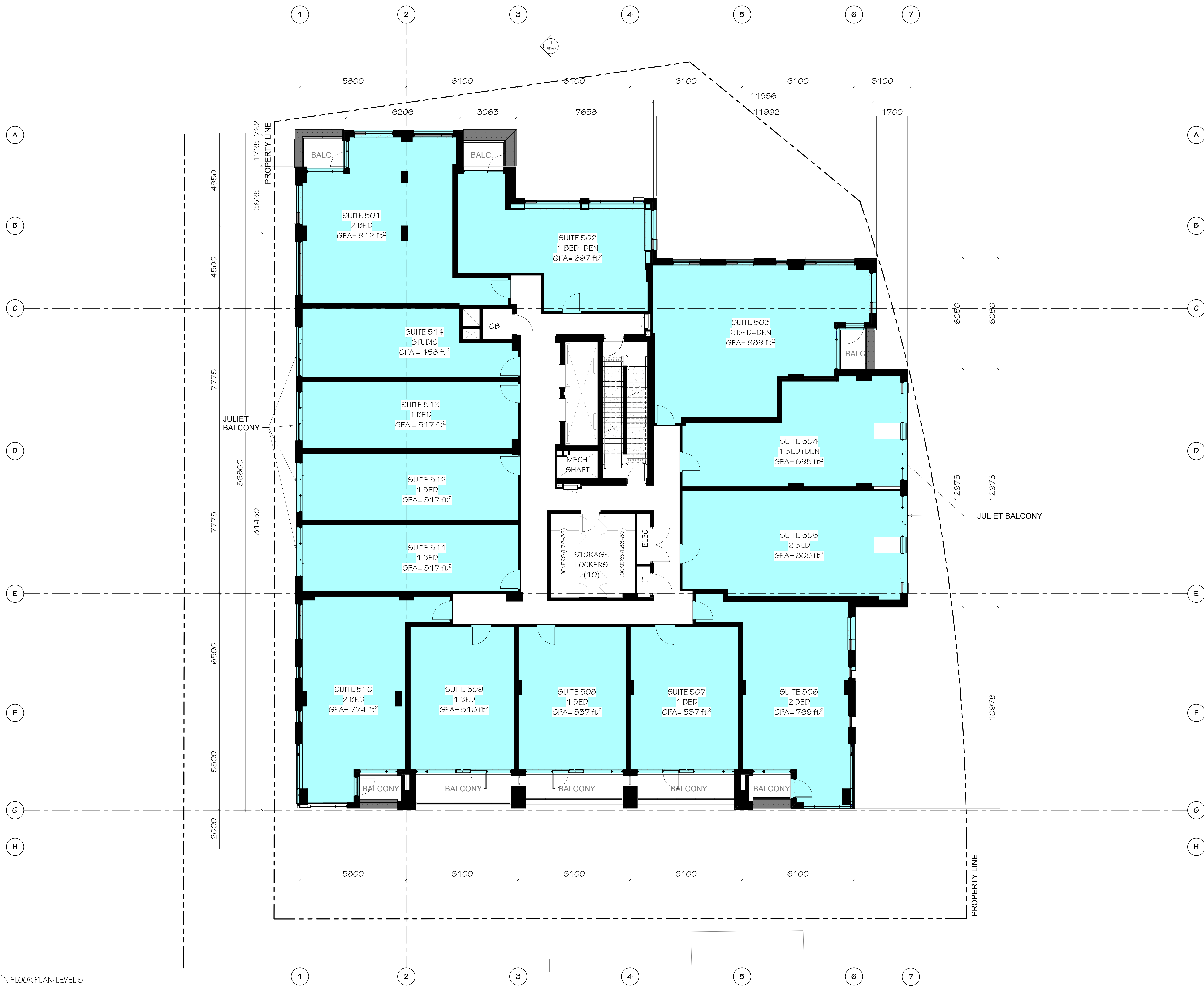
DRAWING TITLE: LEVEL 5

DRAWN: Author DATE: 05/02/23 SCALE: 1:75

PROJECT: 1909

DRAWING NO. SPA8

REVISION NO. 6



SUMMARY - LEVEL 6:

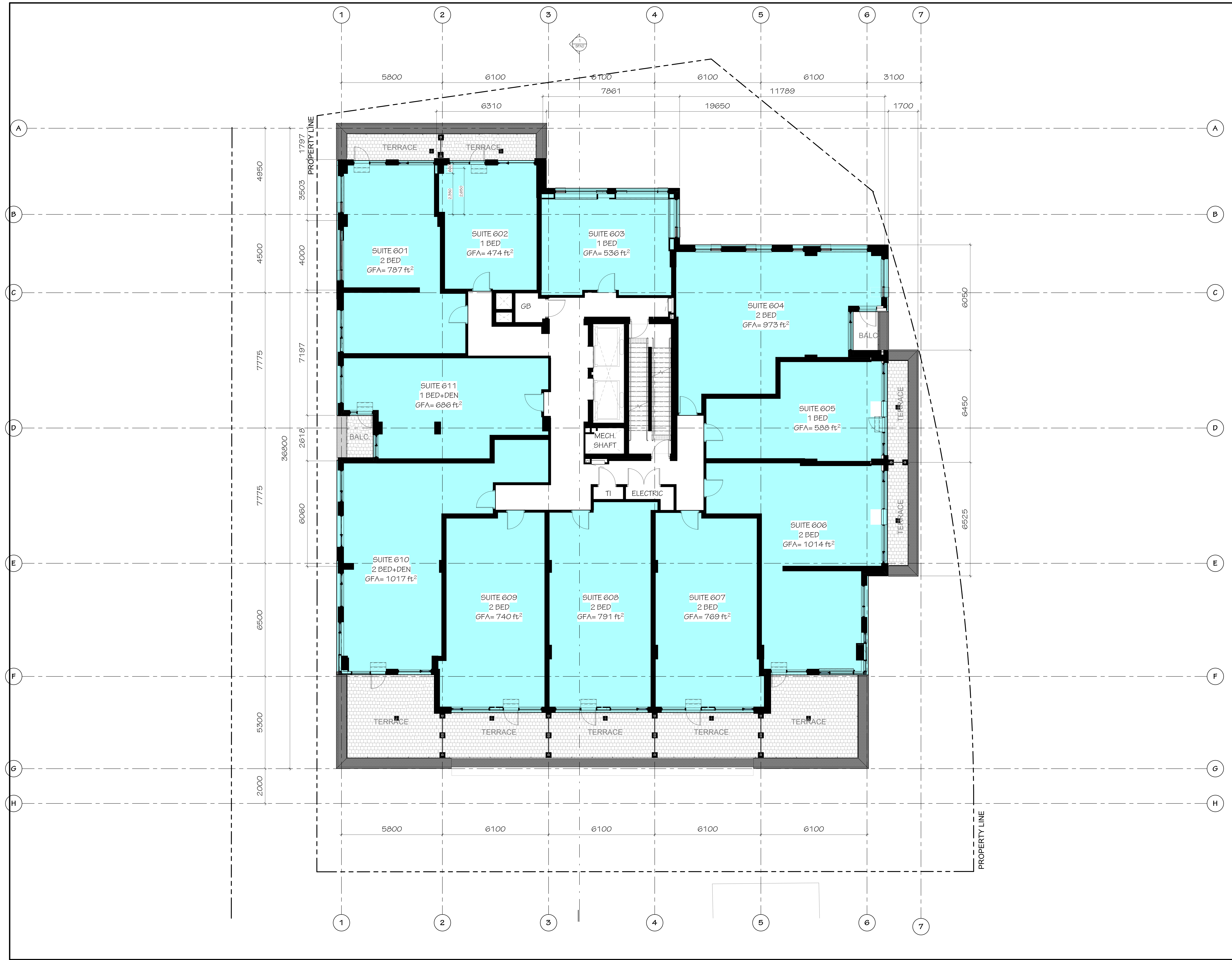
GFA = 9,569 ft²
 NET = 8,375 ft²
 EFF = 88%
 11 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	3	-	-
1 BED+DEN	1	-	-
2 BED	6	-	-
2 BED+DEN	1	-	-
3 BED	-	-	-
TOTAL	11	8,375 ft²	87%

LEGEND:

DWELLING UNITS



NO.	DATE	REVISION
3	23/08/21	Issued for SPA
4	23/04/24	Issued for SPA
5	22/11/11	Issued for SPA
2	22/10/23	Issued for SPA
1	22/05/13	Issued for SPA

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DRAWING TITLE: LEVEL 6

DRAWN	DATE	SCALE
Author	05/02/23	1:75
PROJECT		1909
DRAWING NO.		SPA9
REVISION NO.		6

SUMMARY - LEVEL 7:

GFA = 9,126 ft²
 NET = 7,922 ft²
 EFF = 87%

11 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	3	-	-
1 BED-DEN	4	-	-
2 BED	3	-	-
2 BED-DEN	1	-	-
3 BED	-	-	-
TOTAL	11	7,922 ft²	87%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	22/11/21	Re-issued for SPA
2	22/10/23	Re-issued for SPA
1	22/05/13	Issued for SPA

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PROJECT: 70 RICHMOND

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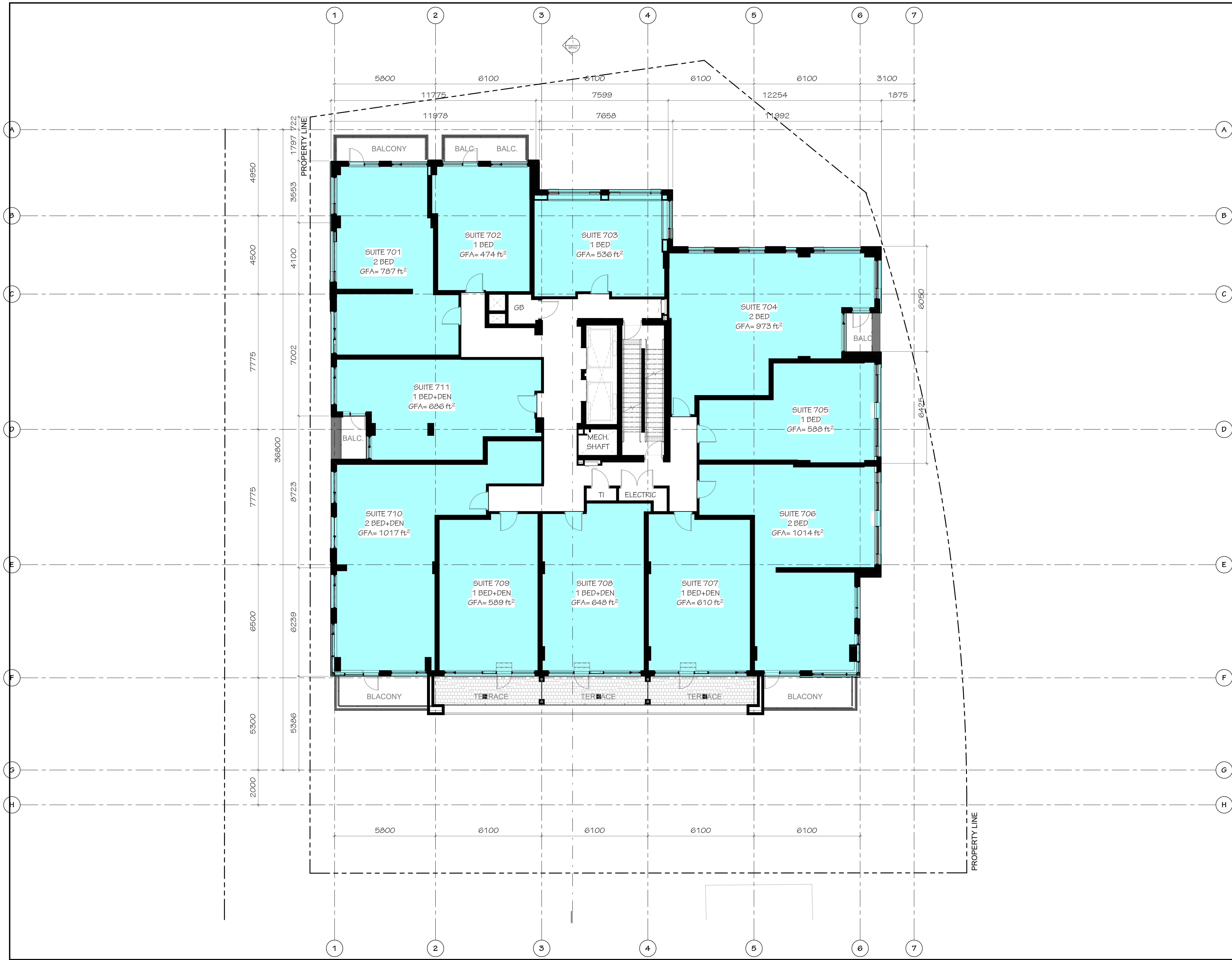
DRAWING TITLE: LEVEL 7

DRAWN Author	DATE 05/02/23	SCALE 1:75
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PROJECT: 1909

DRAWING NO. SPA10

REVISION NO. 6



SUMMARY - LEVEL B:

GFA = 7,433 ft²
 NET = 6,406 ft²
 EFF = 86%

8 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	2	-	-
1 BED+DEN	2	-	-
2 BED	2	-	-
2 BED+DEN	1	-	-
3 BED	1	-	-
TOTAL	8	6,406 ft²	86%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	22/11/21	Re-issued for SPA
2	22/10/23	Re-issued for SPA
1	22/05/13	Issued for SPA

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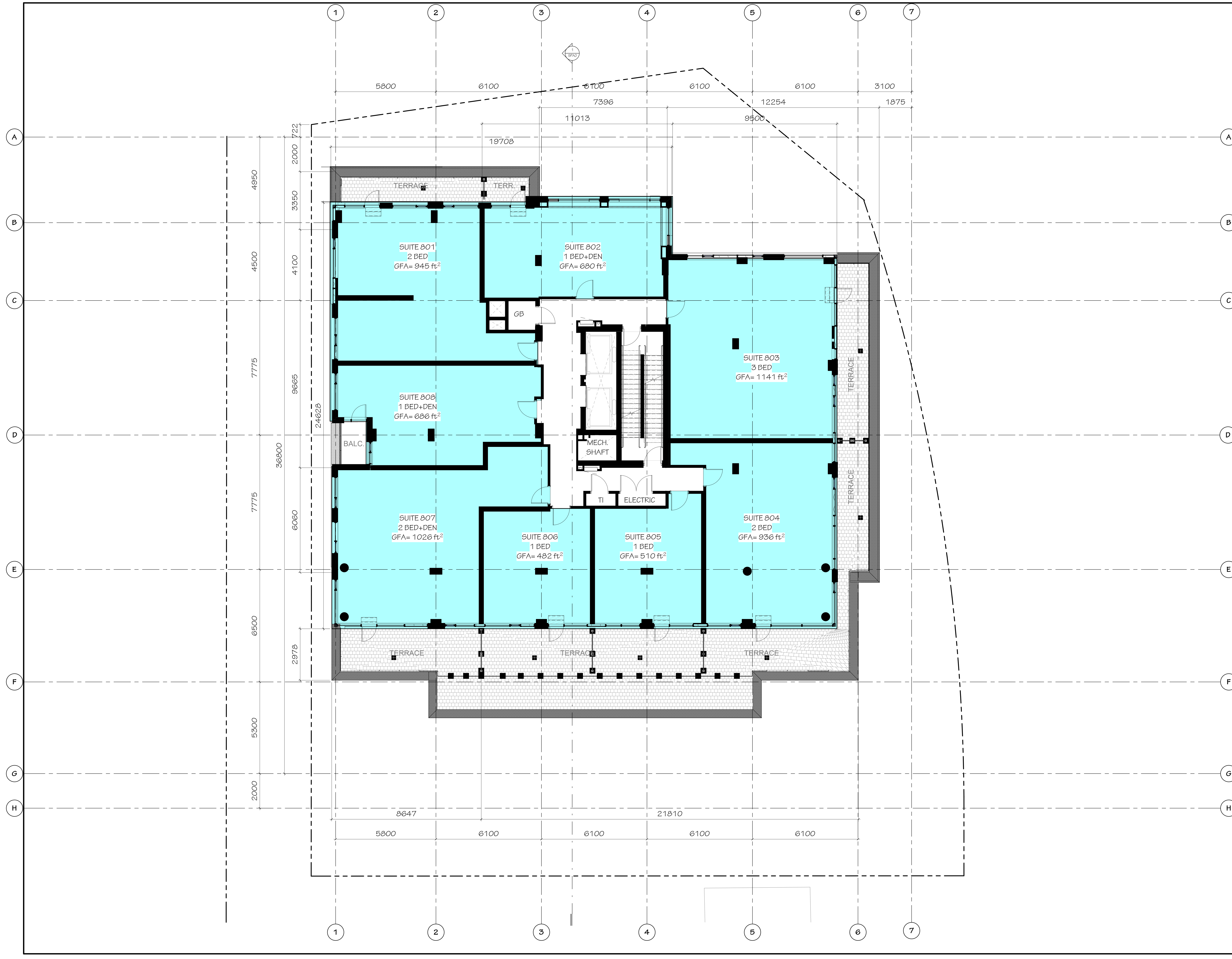
DRAWING TITLE
LEVEL B

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT
 1909

DRAWING NO.
SPA11

REVISION NO. 8



SUMMARY - LEVEL 9:

GFA = 6,496 ft²
 NET = 5,522 ft²
 EFF = 85%

7 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	1	-	-
1 BED	-	-	-
1 BED-DEN	2	-	-
2 BED	3	-	-
2 BED-DEN	1	-	-
3 BED	-	-	-
TOTAL	7	5,522 ft²	85%

LEGEND:

DWELLING UNITS

NO.	DATE	REVISION
3	23/08/21	Issued for SPA
4	23/04/24	Issued for SPA
5	22/11/21	Issued for SPA
2	22/10/23	Issued for SPA
1	22/05/13	Issued for SPA

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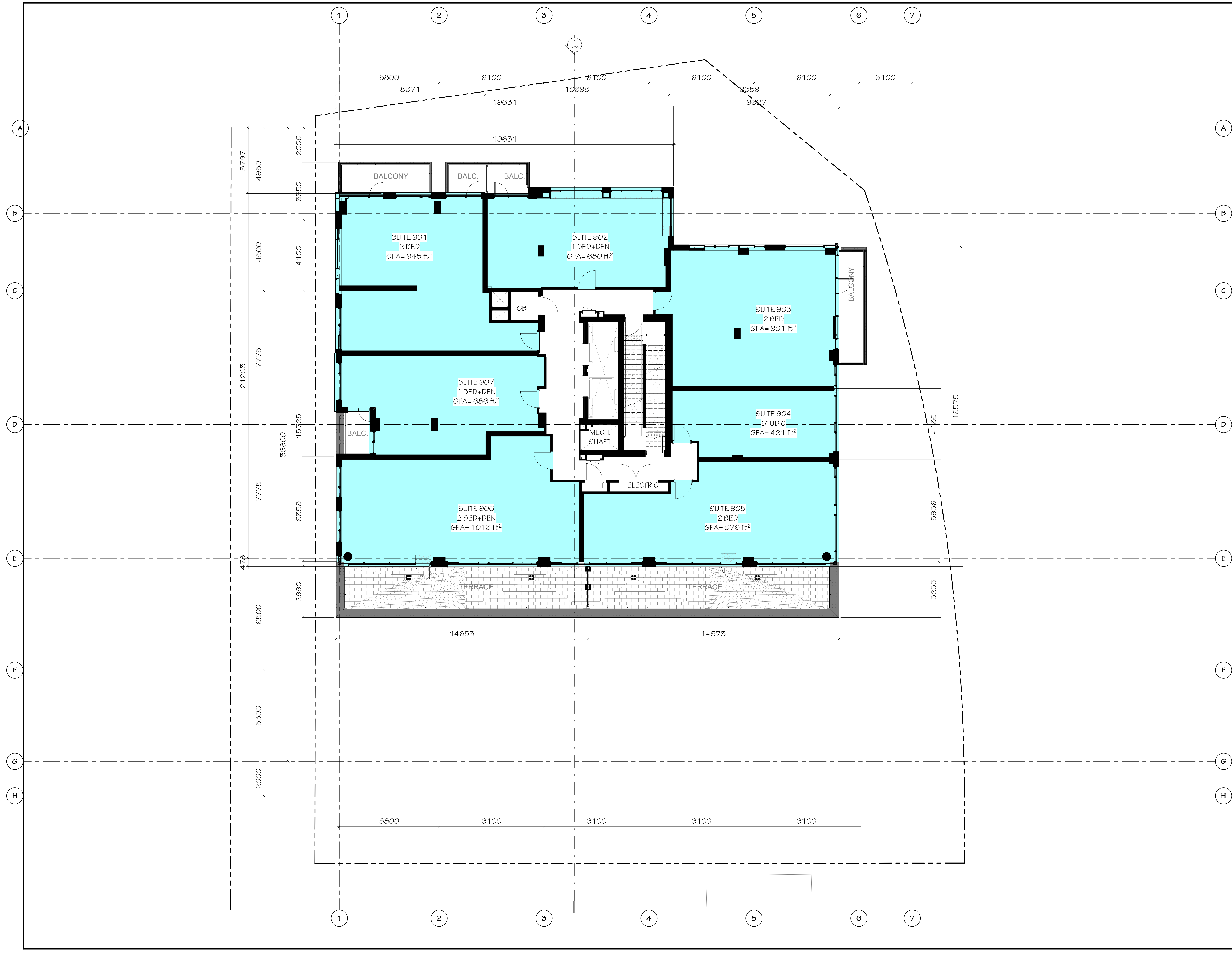
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DRAWING TITLE
LEVEL 9

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT	DRAWING NO.	REVISION NO.
1909	SPA12	6



ROOF LEVEL (PH):

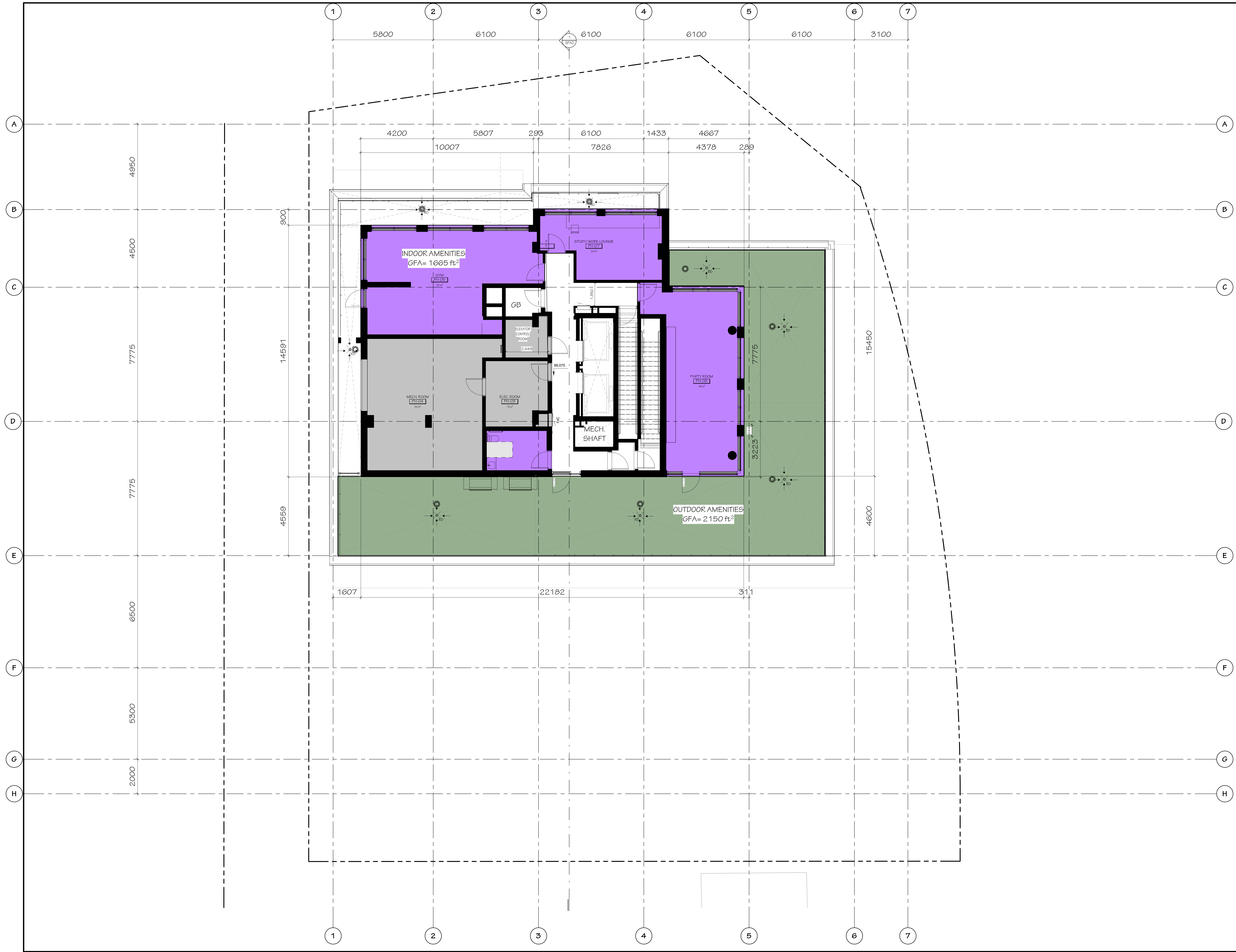
GFA = 3,400 ft²

ROOF AMENITIES NET AREA BREAKDOWN:

INDOOR AMENITIES = 1,665 ft²

OUTDOOR AMENITIES = 2,150 ft²

TOTAL ROOF AMENITIES = 3,815 ft²



NO.	DATE	REVISION
9	230821	Re-issued for SPA
4	230424	Re-issued for SPA
3	221111	Re-issued for SPA
2	221003	Re-issued for SPA
1	220513	Issued for SPA

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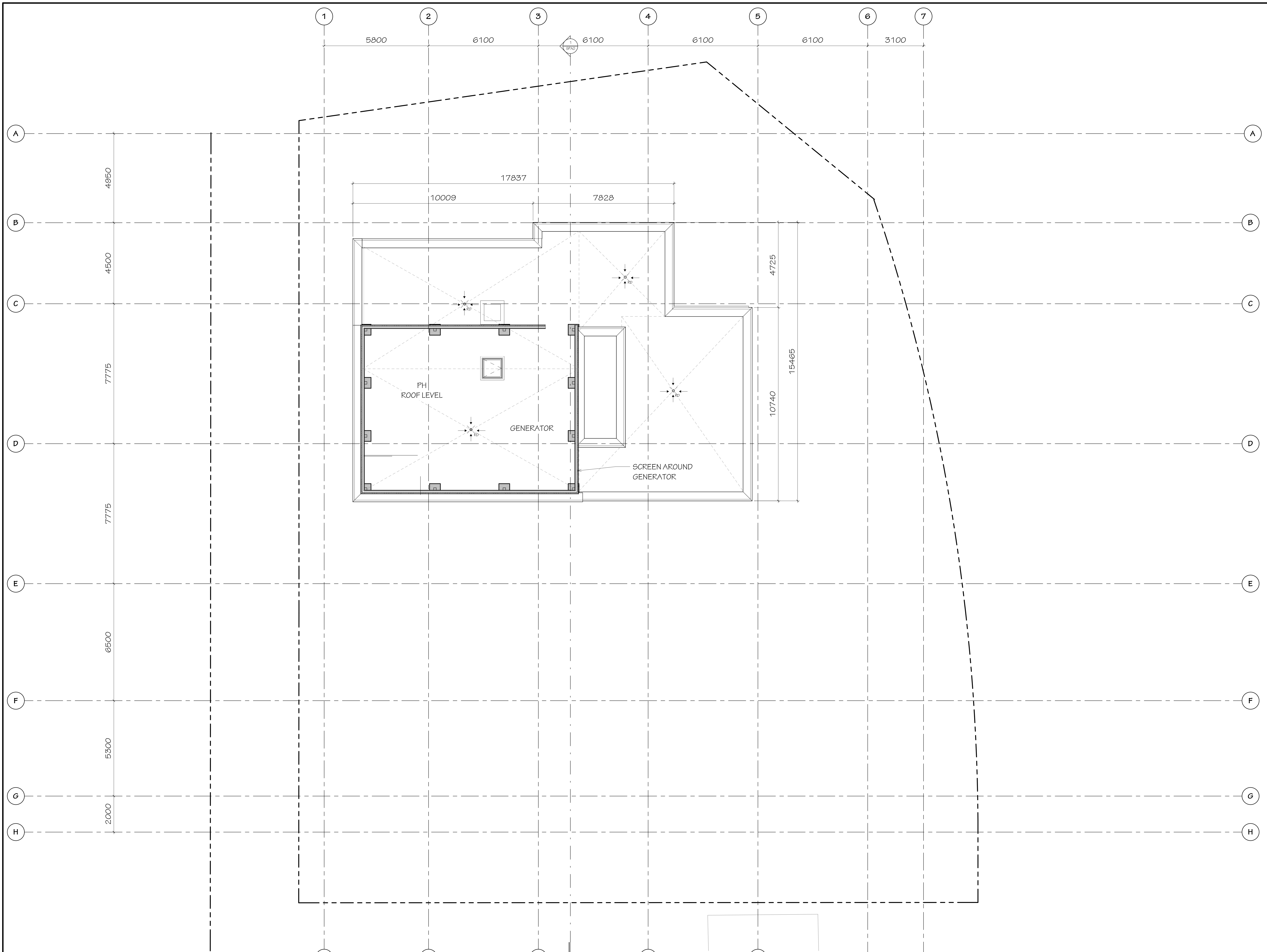
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DRAWING TITLE
 ROOF PLAN - PH

DRAWN	DATE	SCALE
Author	05/02/23	1:75
PROJECT		1909
DRAWING NO.		SPA13
REVISION NO.		6



no.	date	revision
1	220424	Issued for SPA
2	221111	Re-issued for SPA
3	221003	Re-issued for SPA
4	220513	Issued for SPA

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DRAWING TITLE
MECHANICAL ROOF

DRAWN	DATE	SCALE
Author	05/02/23	1:75
PROJECT		1909
DRAWING NO.		SPA14
REVISION NO.		4

1 FLOOR PLAN-MECH. ROOF
 SPA14 SCALE: 1:75

MATERIAL TAG LEGEND

- ALUMINUM CORNER CAP
- ALUMINUM & GLASS GUARD C/W ALUMINUM RAILING
- PRECAST CONCRETE (BLOCK)
- PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/AS/GS FOR PANEL TYPES
- ALUMINUM PANEL - TYPE 1
- ALUMINUM PANEL - TYPE 2
- METAL PANEL - TYPE MP1
- STONE MASONRY - LIMESTONE
- ALUMINUM LOUVER (REFINISHED)
- BRICK MASONRY VENEER - TYPE 1
- GLASS - REFER TO SP/CS
- PREFINISHED METAL CAP FLASHING
- PREFINISHED METAL FLASHING
- SPANDREL GLASS - REFER TO SP/CS FINISH

- DENOTES OPERABLE WINDOW SASH - OUT SWINGING FINISH
- LIGHT FIXTURE
- CONSTRUCTION JOINTS 'CJ'
- SHELF ANGLE 'SA'
- SUSPENDED SHELF ANGLE 'SSA'

- BRICK CONTROL JOINT

1	230424	Issued for SFA
2	230621	Re-issued for SFA
3	230424	Re-issued for SFA
4	230404	Issued for SFS Review

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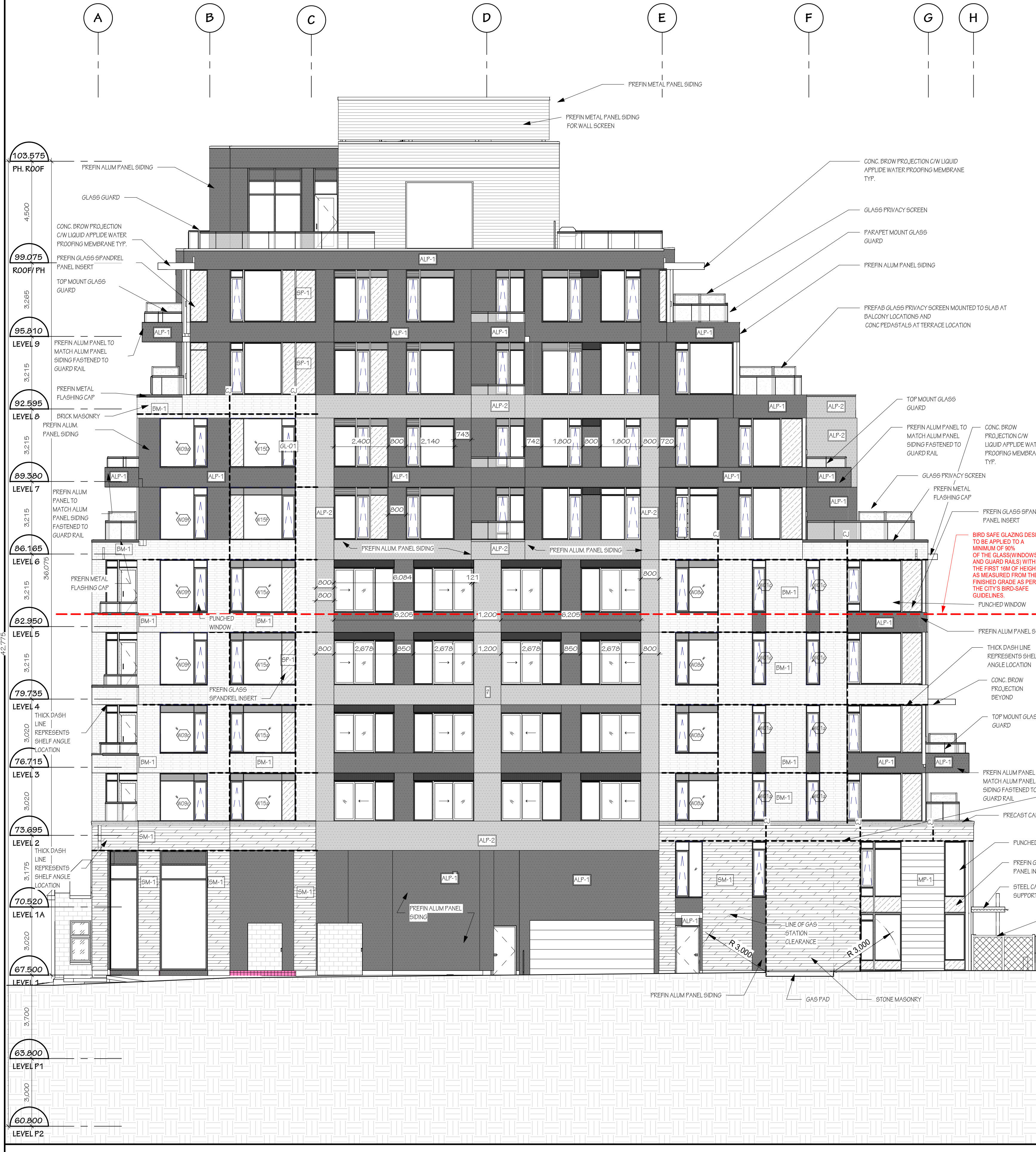
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DRAWING TITLE
 ELEVATIONS

DRAWN	DATE	SCALE
Author	00/00/0000	As indicated
PROJECT	1909	
DRAWING NO.	A3.01	
REVISION NO.	2	



2 ELEVATION-WEST
 A3.01 SCALE: 1:100



1 ELEVATION-SOUTH
 A3.01 SCALE: 1:100

MATERIAL TAG LEGEND

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD CW ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/4/5/6 FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
MP-1	METAL PANEL - TYPE MP1
SM-1	STONE MASONRY - LIMESTONE
LV	ALUMINUM LOUVER (REFINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPES
PMC	PREFINISHED METAL CAP FLASHING
PMF	PREFINISHED METAL FLASHING
SP	SPANDREL GLASS - REFER TO SPES FINISH
LF	DENOTES OPERABLE WINDOW SASH - OUT SWINGING FINISH
CJ	LIGHT FIXTURE
SA	CONSTRUCTION JOINTS "CJ"
SA	SHELF ANGLE "SA"
SA	SUSPENDED SHELF ANGLE "SA"
CJ	BRICK CONTROL JOINT

2	2/20/21	Re-issued for SFA
1	2/20/24	Re-issued for SFA
A	2/24/24	Issued for S05 Review

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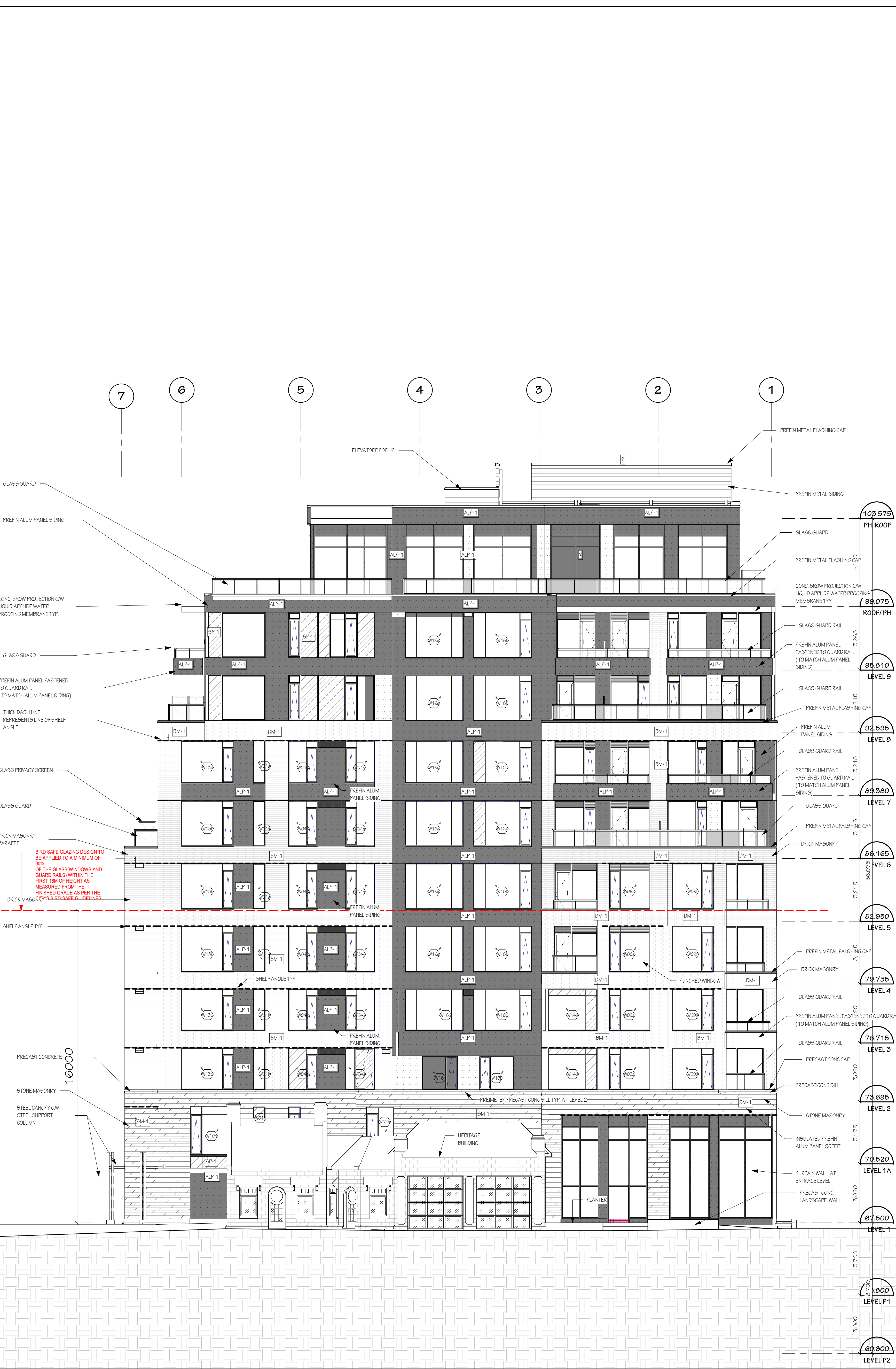
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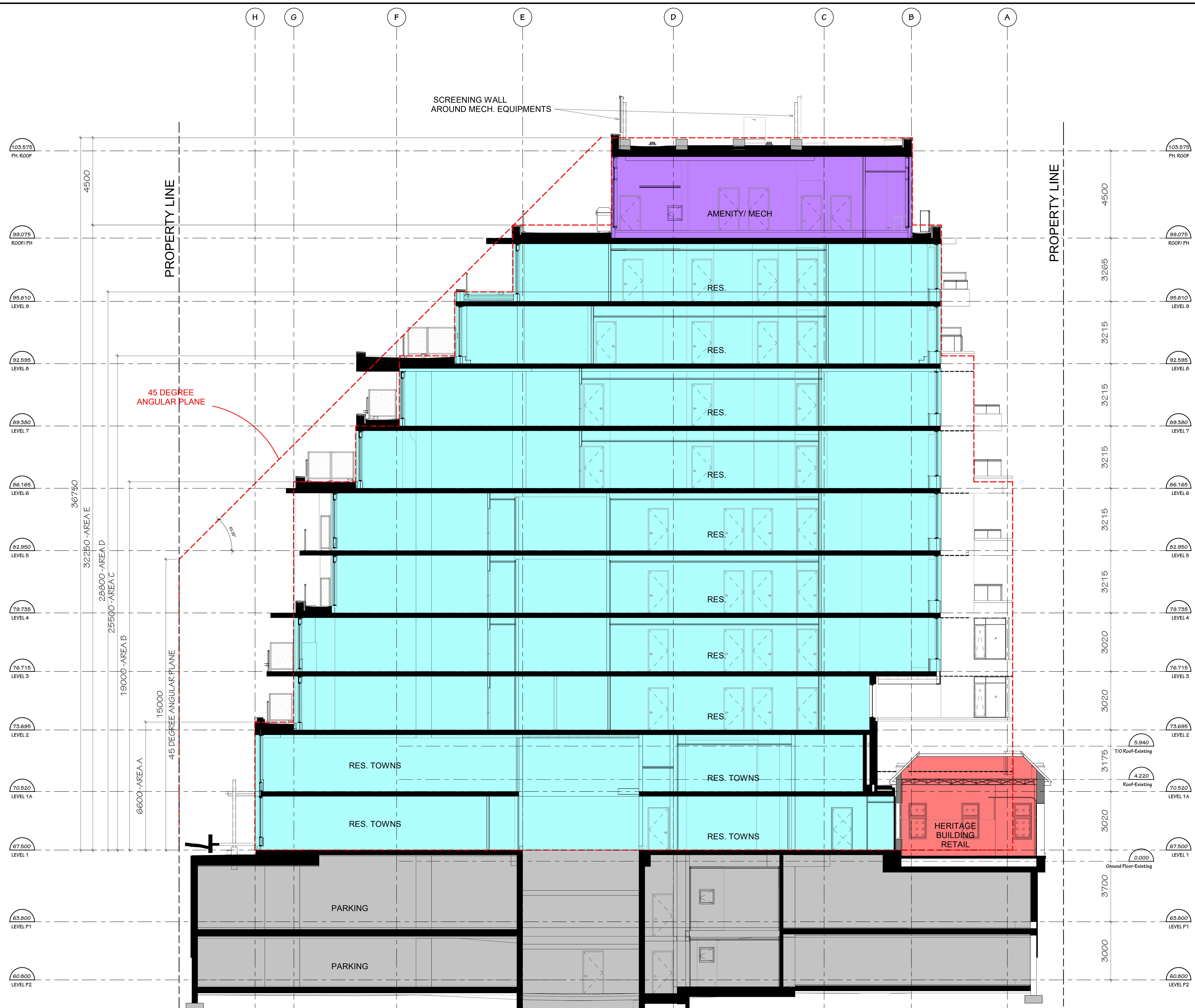
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DRAWN	DATE
Author	00/00/0000
SCALE	As Indicated
PROJECT	1909
DRAWING NO.	A3.02
REVISION NO.	2



2 ELEVATION-EAST
 A3.02 SCALE: 1:100



1 ELEVATION-NORTH
 A3.02 SCALE: 1:100



3	230621	Re-issued for SPA
4	230424	Re-issued for SPA
5	221111	Re-issued for SPA
2	221003	Re-issued for SPA
1	220513	Issued for SPA

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DRAWING TITLE
BUILDING SECTION

DRAWN Author	DATE 02/28/23	SCALE 1:75
PROJECT 1909		DRAWING NO. SPA0
REVISION NO.		6

