

APPROXIMATE UNITS SUMMARY

LEV.	STUDIO	TOTAL
1	4	4
2	3	3
3	2	2
4	2	2
5	2	2
6	2	2
7	2	2
8	2	2
9	2	2
TOTAL	27	27

UNITS SUMMARY

LEV.	STUDIO	1 BED	1 BED +	2 BED	2 BED +	3 BED	TOWN	TOTAL
1	4	-	-	-	-	-	-	4
2	3	-	-	-	-	-	-	3
3	2	-	-	-	-	-	-	2
4	2	-	-	-	-	-	-	2
5	2	-	-	-	-	-	-	2
6	2	-	-	-	-	-	-	2
7	2	-	-	-	-	-	-	2
8	2	-	-	-	-	-	-	2
9	2	-	-	-	-	-	-	2
TOTAL	27	-	-	-	-	-	-	27

TOTAL	STUDIO	1 BED	1 BED +	2 BED	2 BED +	3 BED	TOWN	TOTAL
13	6	25	30	11	1	8	94	176
	14%	6%	34%	31%	11%	5%		

BARBER-FREE UNITS SUMMARY

LEV.	STUDIO	1 BED	1 BED +	2 BED	2 BED +	3 BED	TOWN	TOTAL
1	4	-	-	-	-	-	-	4
2	3	-	-	-	-	-	-	3
3	2	-	-	-	-	-	-	2
4	2	-	-	-	-	-	-	2
5	2	-	-	-	-	-	-	2
6	2	-	-	-	-	-	-	2
7	2	-	-	-	-	-	-	2
8	2	-	-	-	-	-	-	2
9	2	-	-	-	-	-	-	2
TOTAL	27	-	-	-	-	-	-	27

BARBER-FREE UNITS BREAKDOWN

TOTAL	STUDIO	1 BED	1 BED +	2 BED	2 BED +	3 BED	TOWN	TOTAL
13	6	25	30	11	1	8	94	176
	14%	6%	34%	31%	11%	5%		

SITE PLAN APPLICATION REVISION No. D07-12-19-0043

SURVEY INFORMATION TAKEN FROM:

PART OF LOT 33 CONCESSION 3 (OTTAWA FRONT)
(GEORGIAN TOWNSHIP OF HURON)
LOT 33 REGISTERED PLAN 449
CITY OF OTTAWA

SITE SUMMARY:

PROPERTY ADDRESS: 70 RICHMOND RD., OTTAWA, ONTARIO
SITE AREA (SURVEY): 1,587m²
PROPOSED USE: MIXED USE RESIDENTIAL MIXED-USE APARTMENT BUILDING (9 FLOORS + ROOFTOP AMENITY)

BUILDING FOOTPRINT (GROUND FLOOR PLAN): 1,122m²

TOTAL FLOORS: 9

TOTAL RESIDENTIAL UNITS: 96 UNITS

TOTAL GROSS BUILDING AREA (ABOVE GRADE): 9,255 m²

TOTAL GROSS BUILDING AREA (INCLUDING BELOW GRADE LEVELS): 12,215 m²

TOTAL GROSS FLOOR AREA (ZONING BY-LAW DEFINITION): 6,861 m²

TOTAL RETAIL GFA (ZONING BY-LAW DEFINITION): 87 m²

ZONING SUMMARY:

Zoning TM (2792) S461 - SUBJECT TO ZBLA 002-02-0-0102

	REQUIRED	PROVIDED
RICHMOND ROAD (FRONT)	0 m	0 m
ISLAND PARK DRIVE (CORNER SIDE)	0 m	0 m
LANEWAY (CORNER SIDE)	0 m	0 m
SIDE YARD (REAR YARD)	3.90 m	3.90 m
MIN. WIDTH OF LANDSCAPE ADJACENT A RESIDENTIAL ZONE	3 m	3 m
TRANSPARENT WINDOWS & ACTIVE ENTRANCES	50% OF GROUND FLOOR MEASURED TO 4.5 m HIGH	> 50%

VEHICULAR PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING (96 UNITS x 1.12 UNITS)	108 SPACES	108 SPACES
VISITOR PARKING (12 UNITS)	12 SPACES	12 SPACES
TOTAL	120 SPACES	120 SPACES

PARKING DISTRIBUTION	REQUIRED	PROVIDED
LEVEL P1	33 SPACES	33 SPACES
LEVEL P2	38 SPACES	38 SPACES
TOTAL	71 SPACES	71 SPACES

BICYCLE PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING (96 UNITS x 1)	96 SPACES	96 SPACES
TOTAL	96 SPACES	96 SPACES

AMENITY	REQUIRED	PROVIDED
MINIMUM AMENITY SPACE (6 m ² /UNIT (96 UNITS x 6 m ²))	576 m ²	1326 m ²
PRIVATE AMENITY (MIN. OF 50% OF REQUIRED)	288 m ²	663 m ²

BUILDING SUMMARY	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT
LEVEL 10 (Mech & Roof Amenity)	-	-
LEVEL 9	486.5 m ²	7
LEVEL 8	565 m ²	7
LEVEL 7	701.5 m ²	10
LEVEL 6	746 m ²	10
LEVEL 5	771 m ²	13
LEVEL 4	771 m ²	13
LEVEL 3	814 m ²	14
LEVEL 2	790 m ²	14
MEZZANINE	581.5 m ²	-
LEVEL 1 (RES+RETAIL)	548.5+87+635.5 m ²	8
TOTAL	6,861 m ²	86
LEVEL P1	-	-
LEVEL P2	-	-

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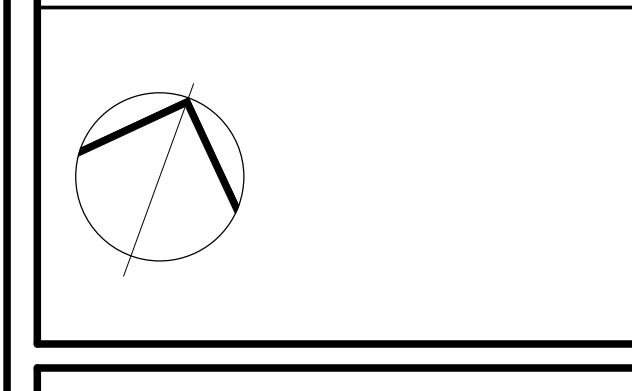
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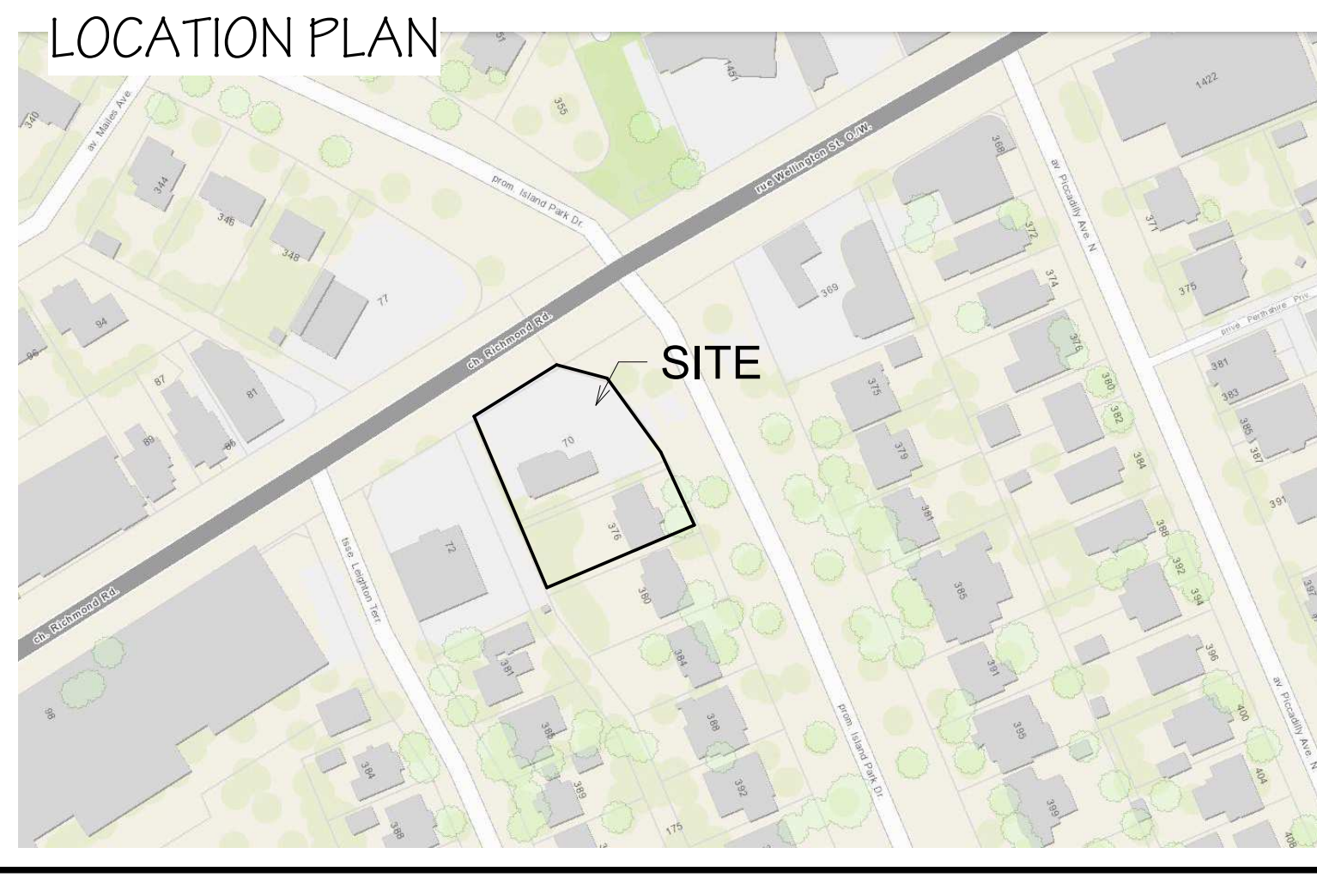
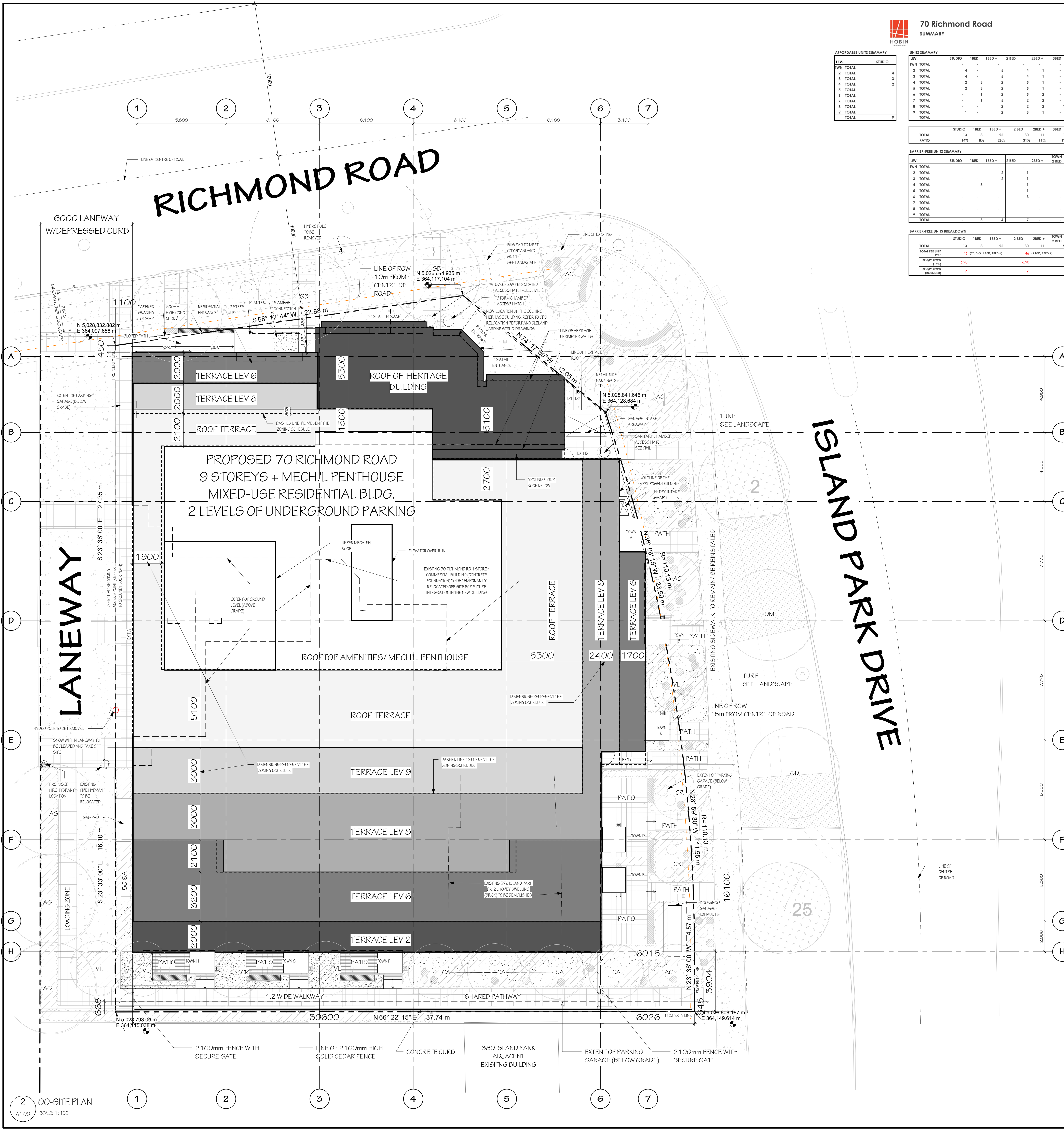
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PROJECT
70 RICHMOND

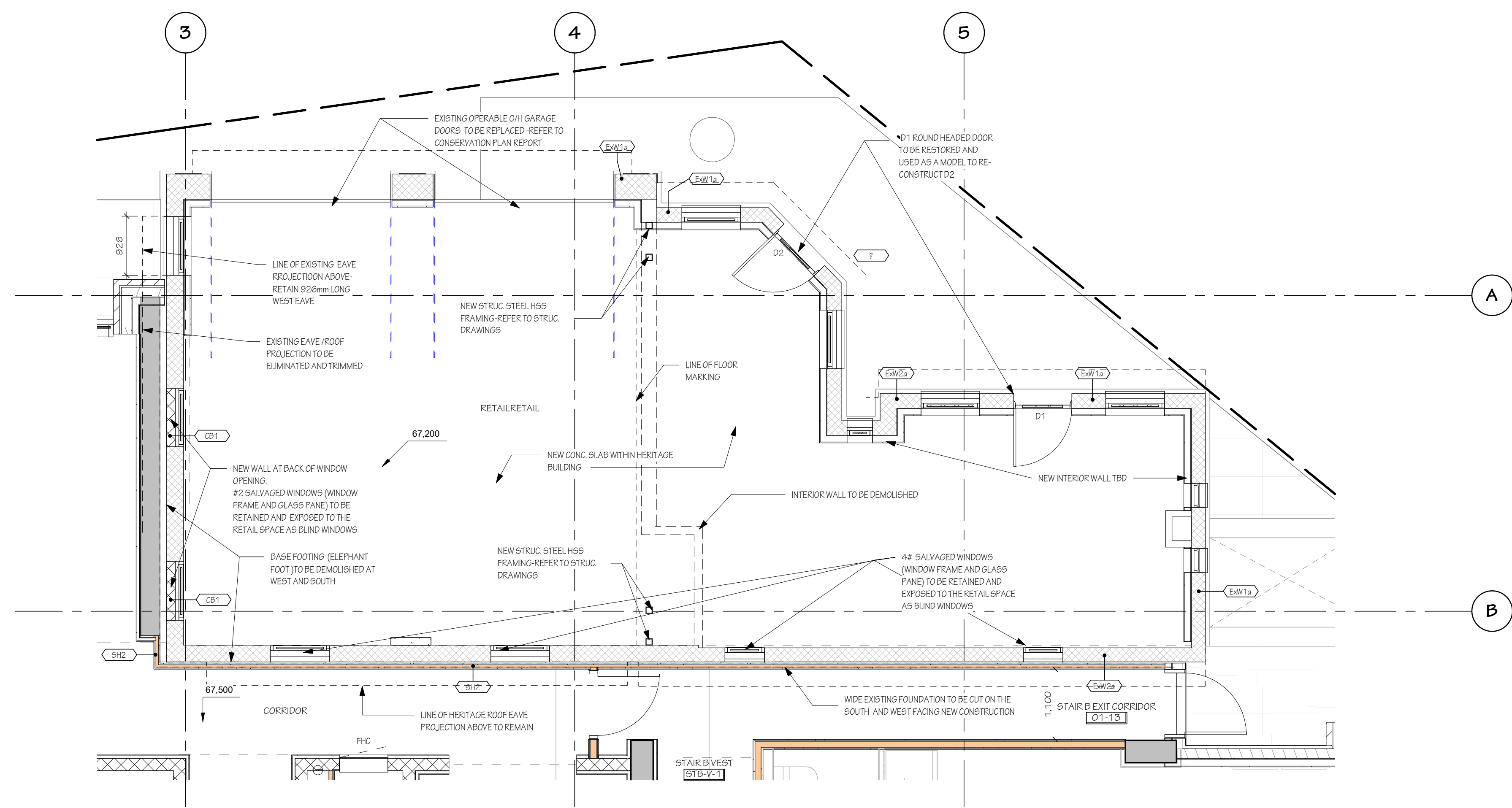
70 RICHMOND RD. & 376 ISLAND PARK DR.

DRAWING TITLE
SITE PLAN

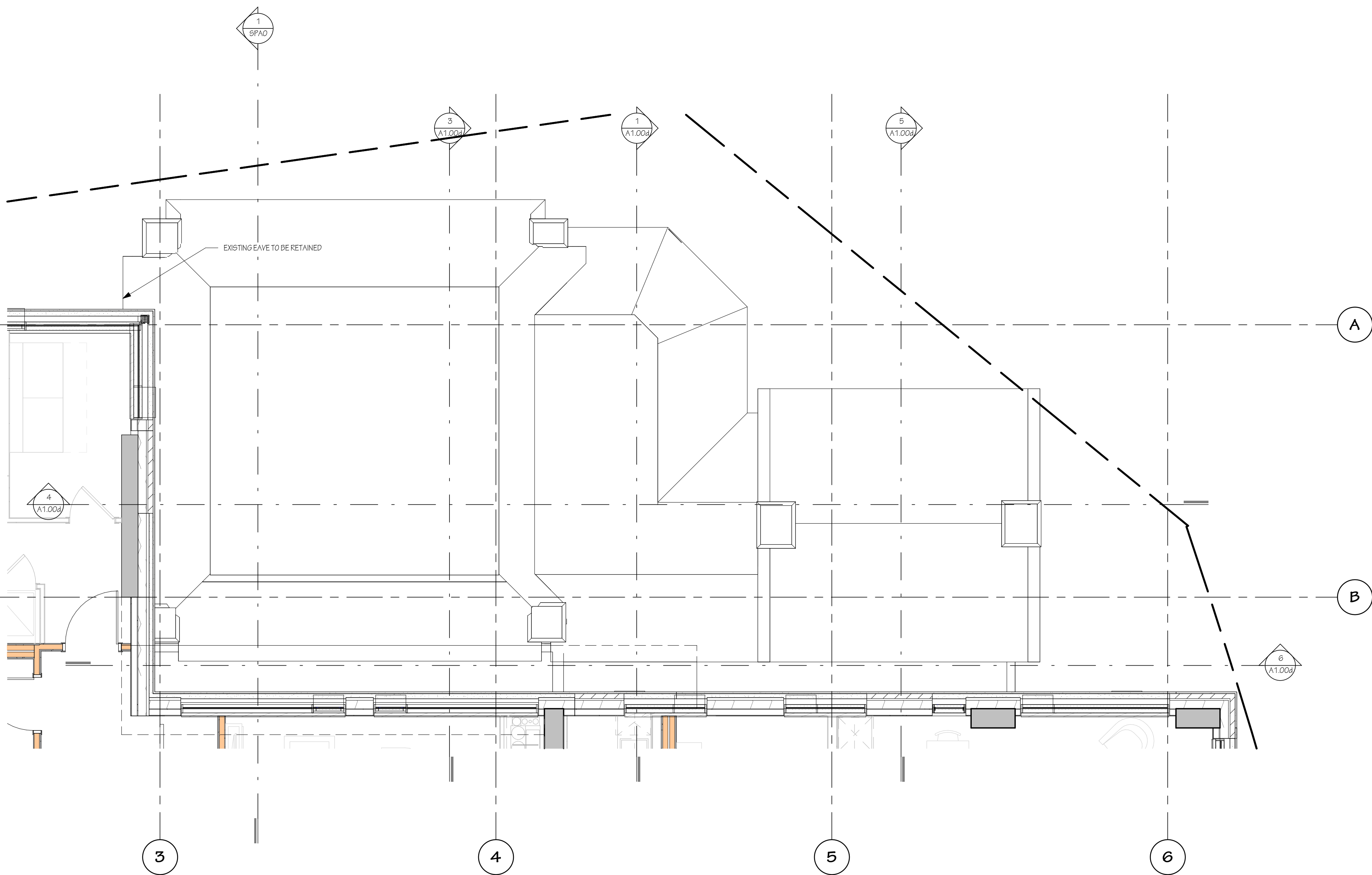
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Author	00/00/0000	As Indicated
PROJECT	1909	
DRAWING NO.	A1.00	
REVISION NO.	B	



00-SITE PLAN
SCALE 1:100



1 O1-LEVEL 1-HERITAGE FLOOR PLAN
A1.00c SCALE: 1:50



2 O2-LEVEL 2-HERITAGE ROOF PLAN
A1.00c SCALE: 1:50

1	23.04.24	Re-issued for SFA
A	23.04.04	Issued for S05 Review
rev	date	revision

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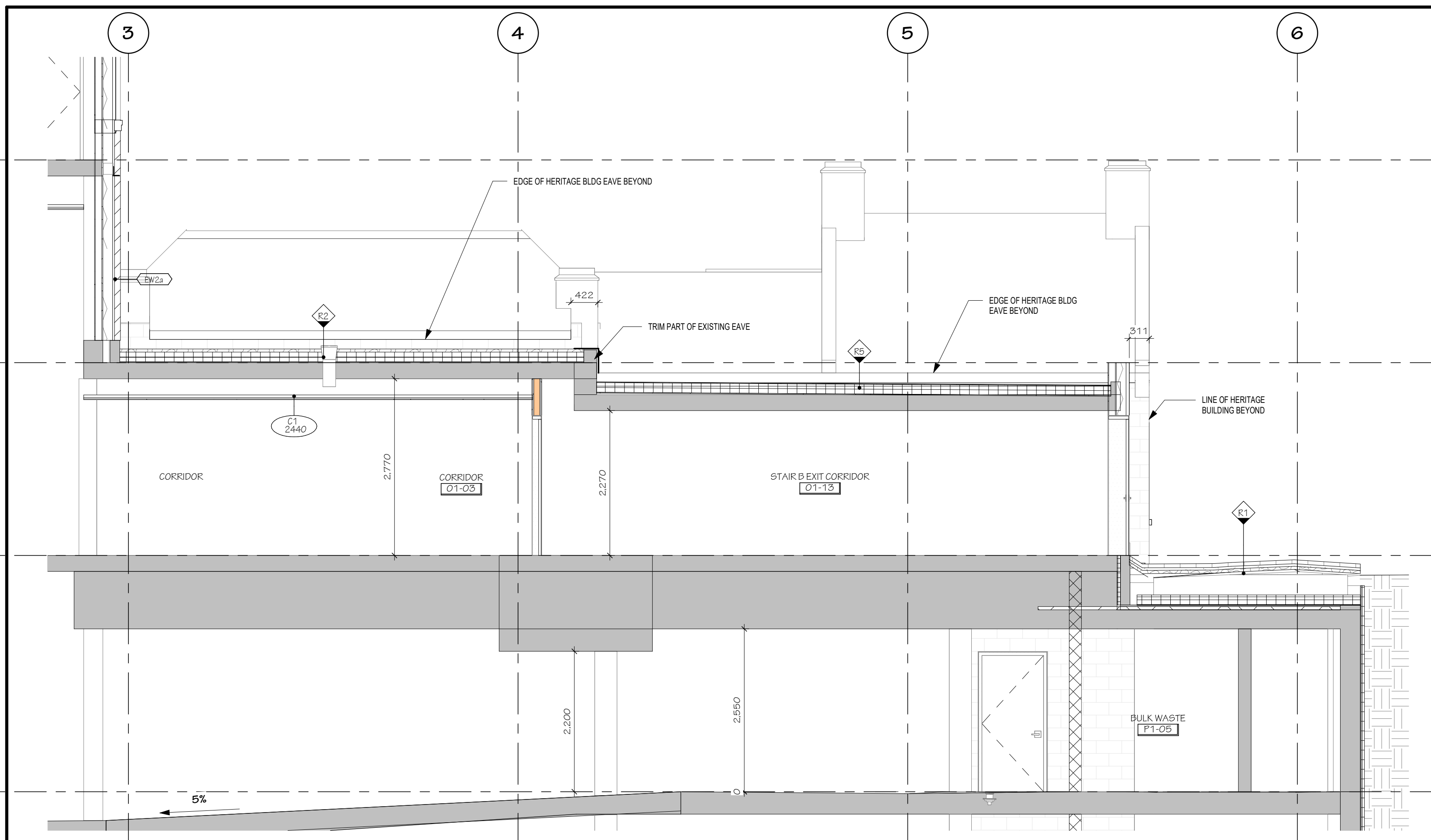
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DRAWING TITLE
HERITAGE PLANS

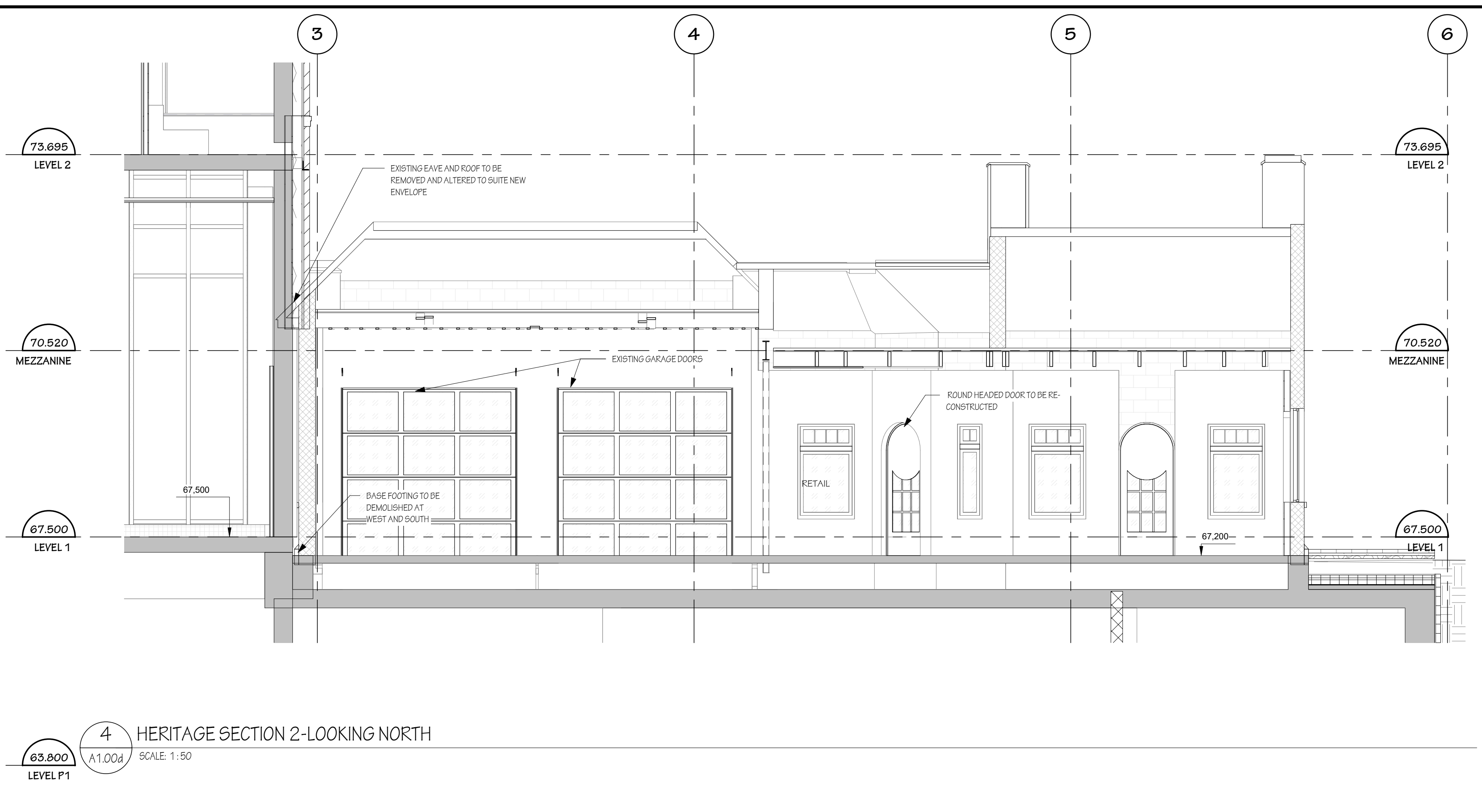
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Author	01/27/23	1:50

PROJECT	1809
DRAWING NO.	A1.00c
REVISION NO.	1

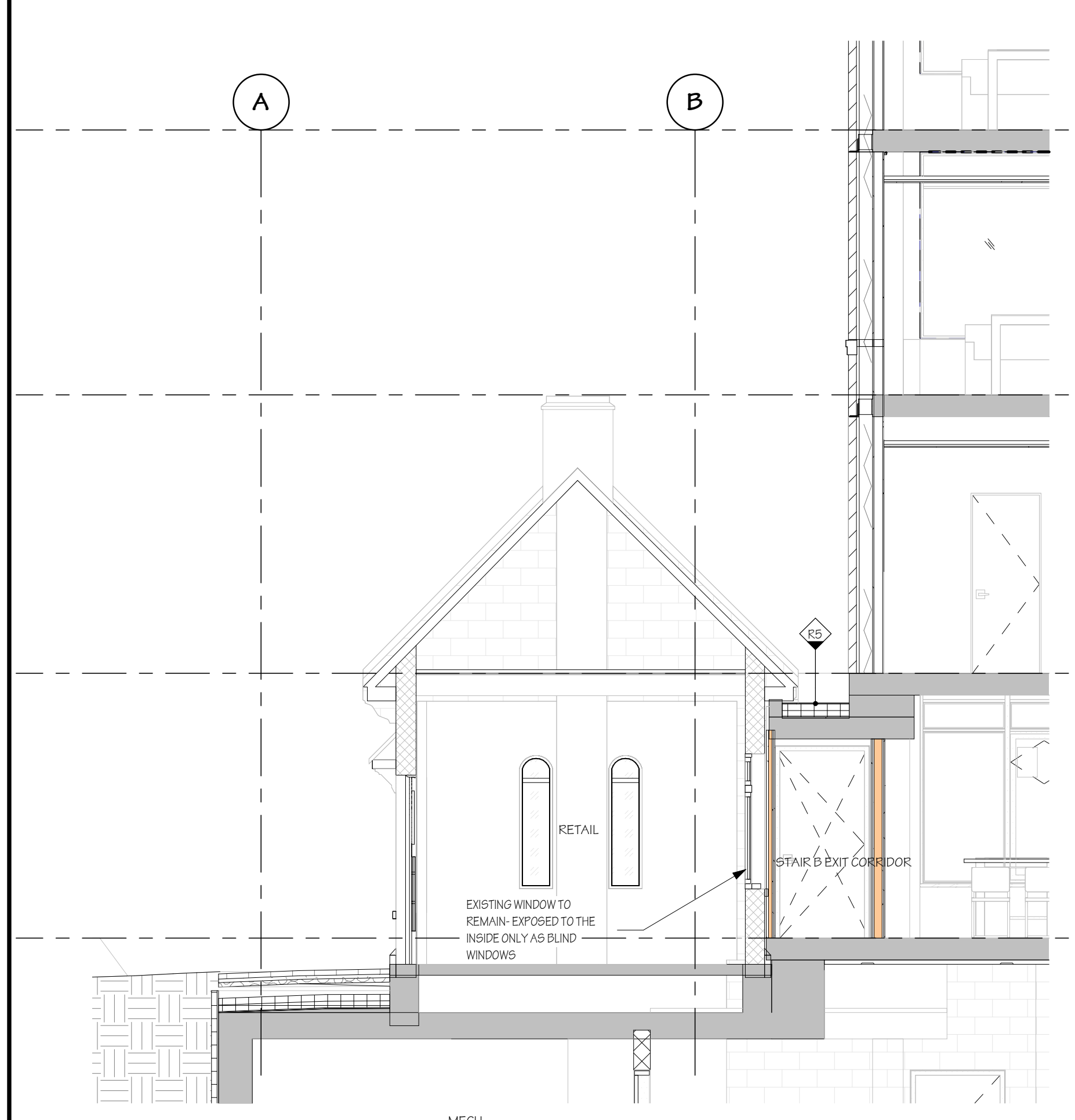
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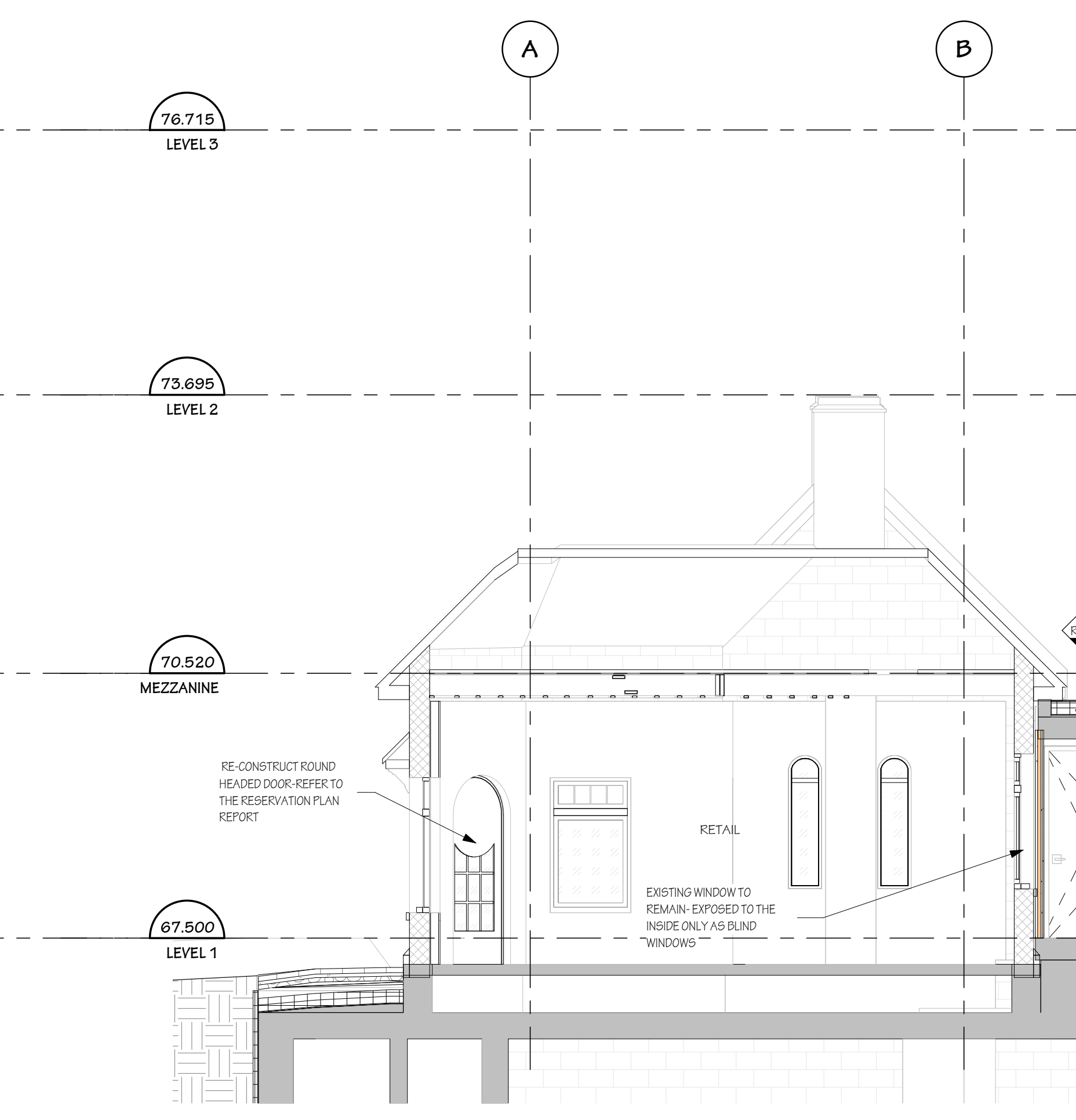
6 BUILDING SECTION 5-LOOKING NORTH
A1.004 SCALE: 1:50



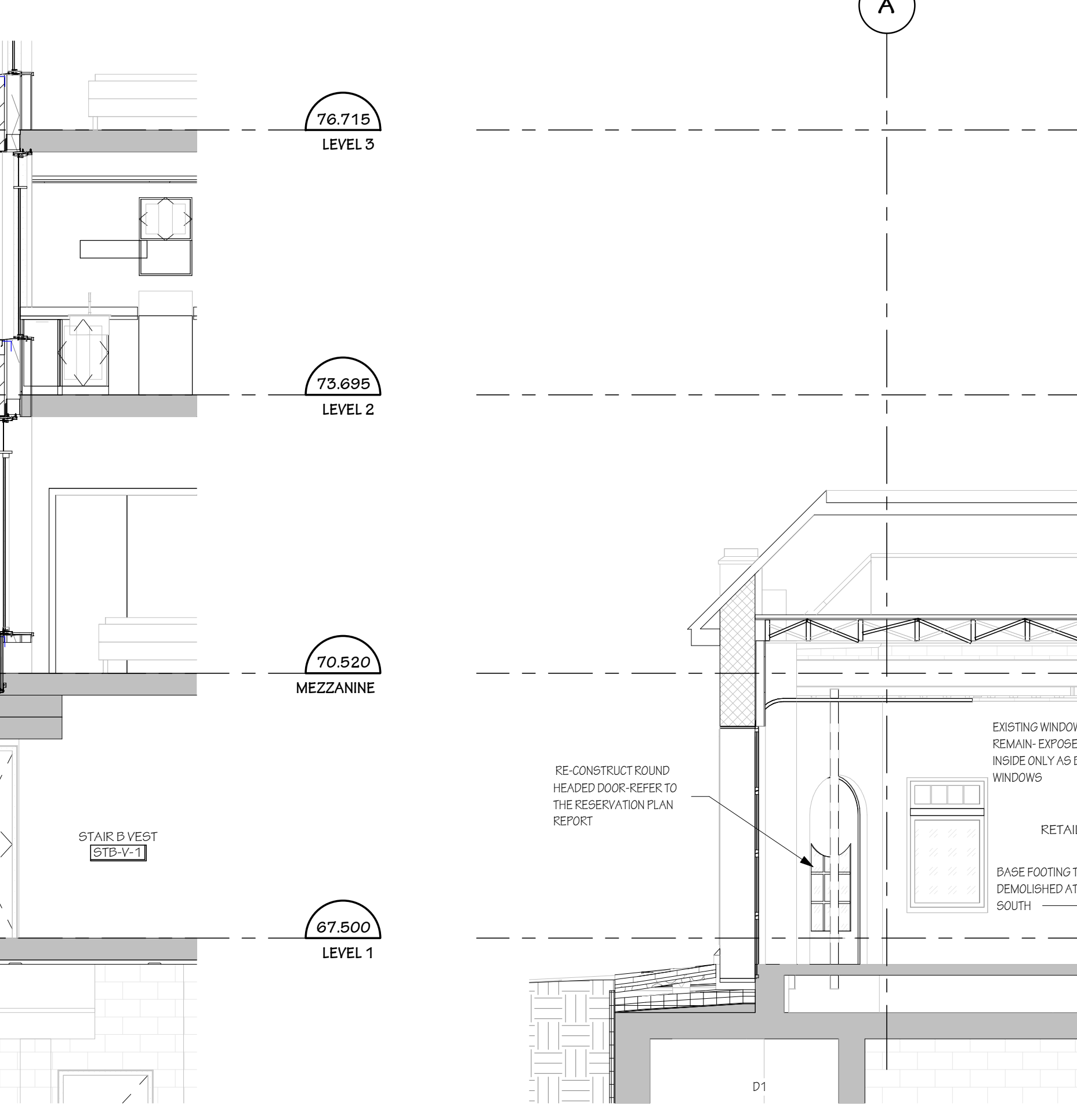
4 HERITAGE SECTION 2-LOOKING NORTH
A1.004 SCALE: 1:50



5 HERITAGE SECTION 2-LOOKING EAST
A1.004 SCALE: 1:50



1 HERITAGE SECTION 2-LOOKING EAST
A1.004 SCALE: 1:50



3 HERITAGE SECTION 2-LOOKING EAST
A1.004 SCALE: 1:50

1	230424	Re-issued for SFA
A	23.04.04	Issued for S05 Review
rev	date	revision

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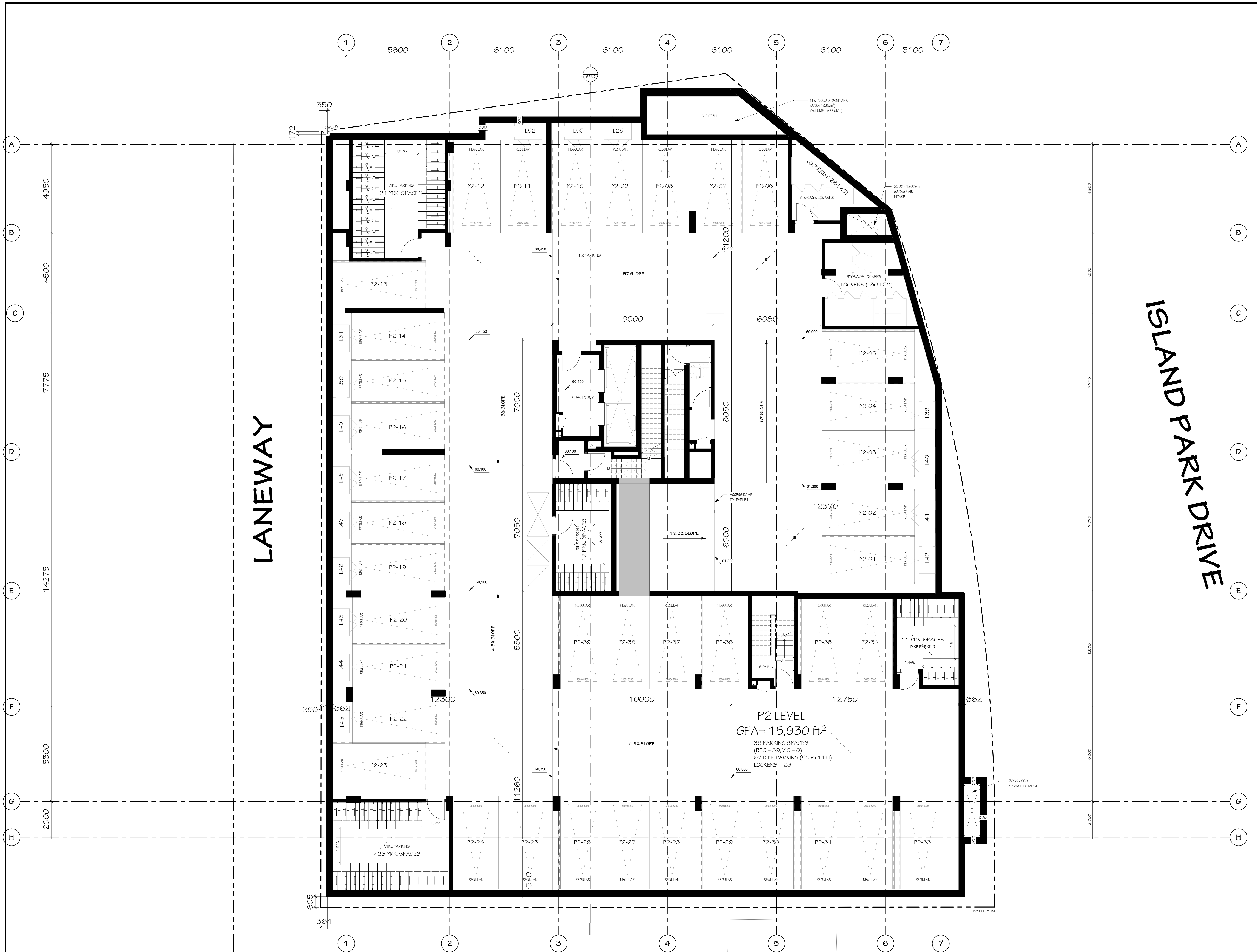
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DRAWING TITLE
HERITAGE SECTIONS

DRAWN Author	DATE 01/27/23	SCALE 1:50
PROJECT 1909		DRAWING NO. A1.004
		REVISION NO. 1

SUMMARY - LEVEL P2

GFA = 15,930 ft²
 VEHICLE PARKING:
 RESIDENTS = 39
 VISITORS = 0
 TOTAL = 39
 BIKE PARKING = 67
 LOCKERS = 29



LANEWAY

ISLAND PARK DRIVE

P2 LEVEL
 GFA = 15,930 ft²
 39 PARKING SPACES
 (RES = 39, VIS = 0)
 67 BIKE PARKING (56 V + 11 H)
 LOCKERS = 29

1	220424	Issued for SPA
2	221111	Issued for SPA
3	221003	Issued for SPA
4	220513	Issued for SPA

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DRAWING TITLE
 P2 LEVEL

DRAWN Author	DATE 02/28/23	SCALE 1:75
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PROJECT 1909
DRAWING NO. SPA1
REVISION NO. 4

SUMMARY - LEVEL P1

GFA = 15,930 ft²
 VEHICLE PARKING:
 RESIDENTS = 24
 VISITORS = 8
 TOTAL = 32
 BIKE PARKING = 29
 LOCKERS = 24

1	220424	Issued for SPA
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3	221003	Issued for SPA
4	220513	Issued for SPA

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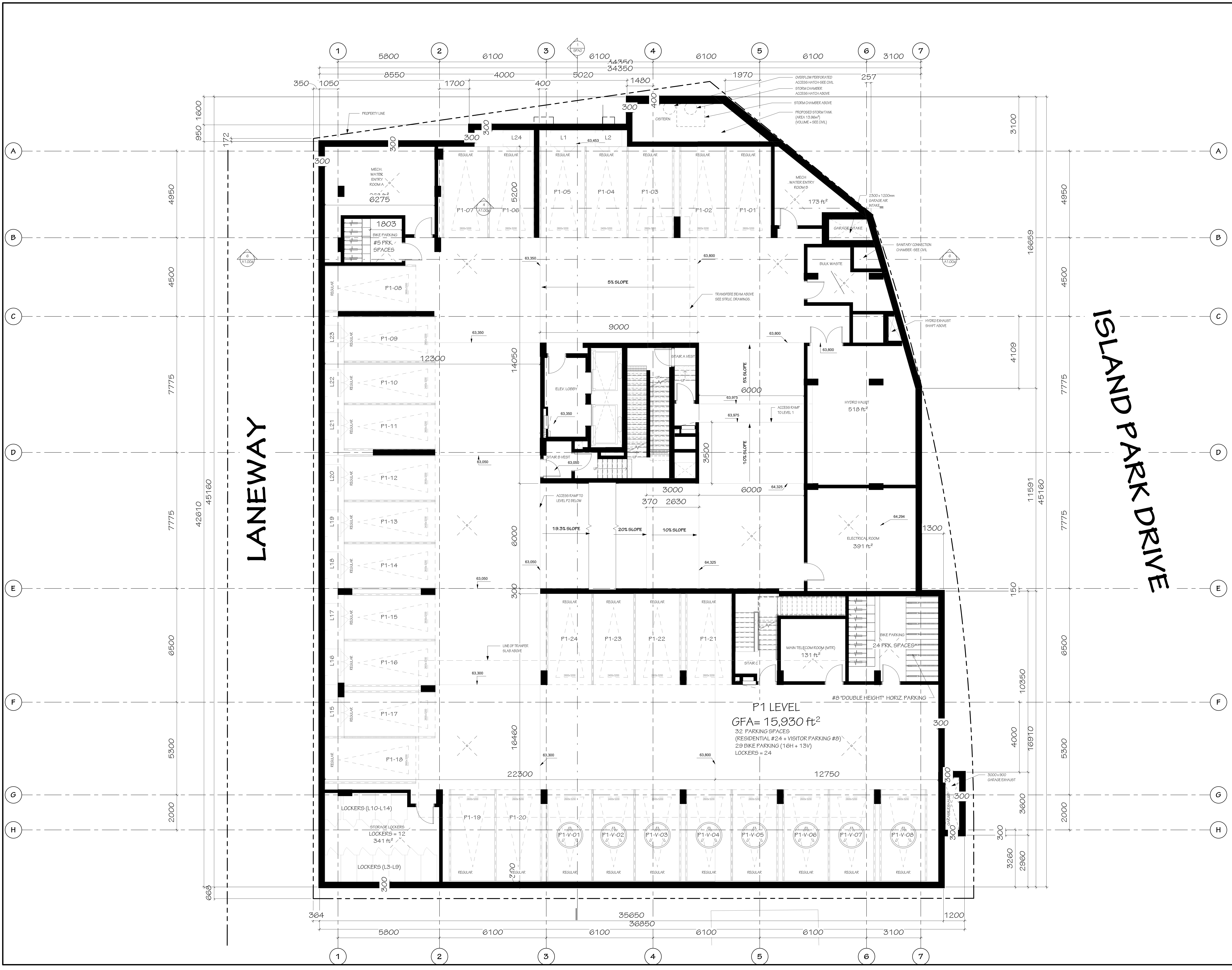
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DRAWING TITLE
 P1 LEVEL

DRAWN DATE SCALE
 Author 02/28/23 1:75

PROJECT 1909
DRAWING NO. SPA2
REVISION NO. 4



P1 LEVEL
 GFA = 15,930 ft²
 32 PARKING SPACES
 (RESIDENTIAL #24 + VISITOR PARKING #8)
 29 BIKE PARKING (16H + 13V)
 LOCKERS = 24

ISLAND PARK DRIVE

LANEWAY

GROUND FLOOR LEVEL:

NET AREA BREAKDOWN:

RESIDENTIAL BLDG GFA = 10,879 ft²
 HERITAGE BLDG = 1,127 ft²
 TOTAL GFA = 12,006 ft²

RESIDENTIAL

NET RES = 10,842 ft²
 (GROUND LEVEL TOWNS - 8 UNITS)

RETAIL

NET RETAIL = 1,127 ft²

AMENITY BREAKDOWN:

RES LOBBY LOUNGE = 690 ft²

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT. OF FLOOR AREA
TOWN HOUSES (GRD LEV)	8	6,242 ft ²	66%
TOWN HOUSES (MEZ LEV)		7,207 ft ²	100%
TOTAL	8	13,449 ft ²	

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS
- COMMON AREAS
- RETAIL AREA

1	220424	Re-issued for SFA
2	221111	Re-issued for SFA
3	221003	Re-issued for SFA
4	220513	Issued for SFA

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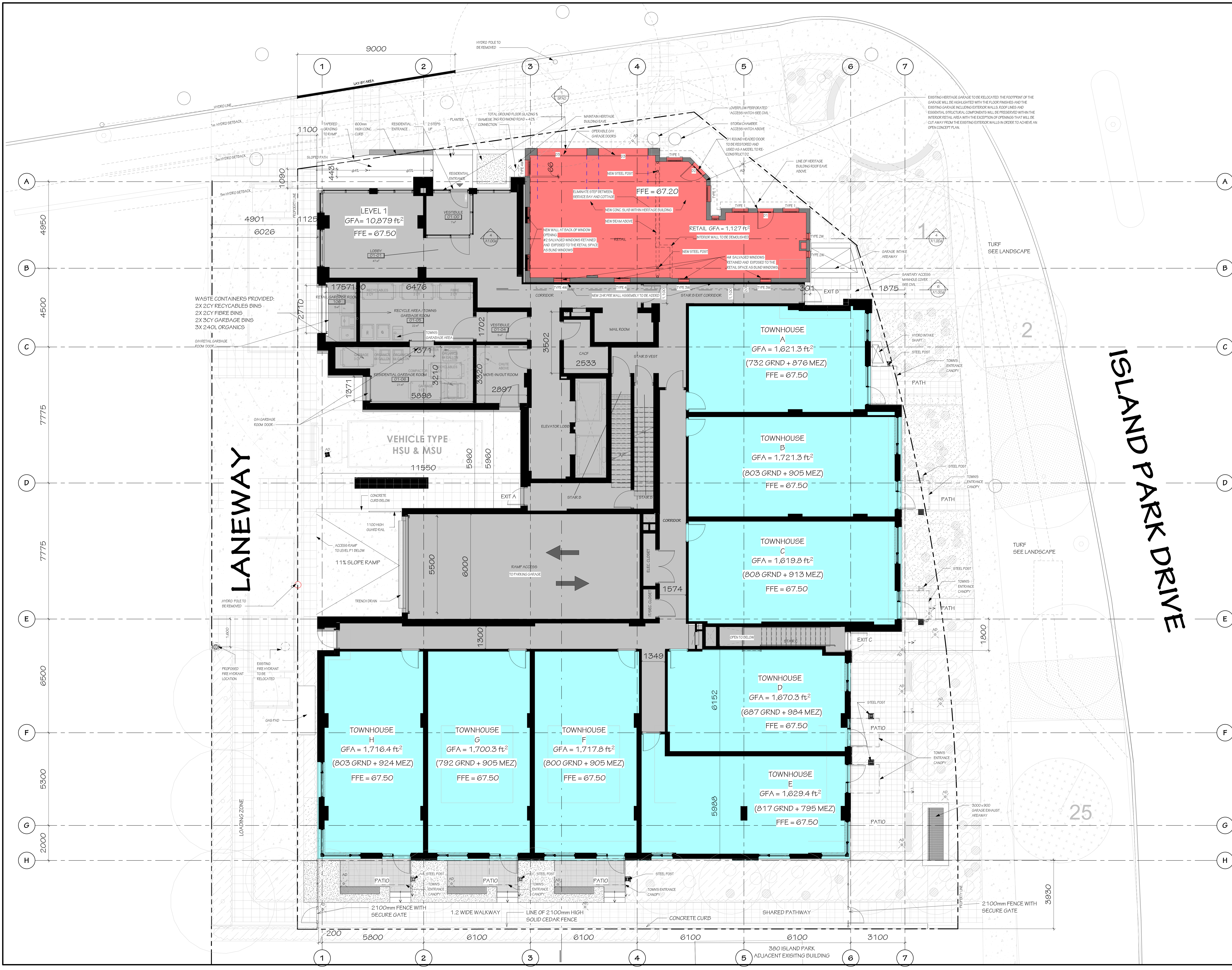
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DRAWING TITLE
 GROUND FLOOR PLAN

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Author	02/27/23	1:75

PROJECT	1909
DRAWING NO.	SPA3
REVISION NO.	4

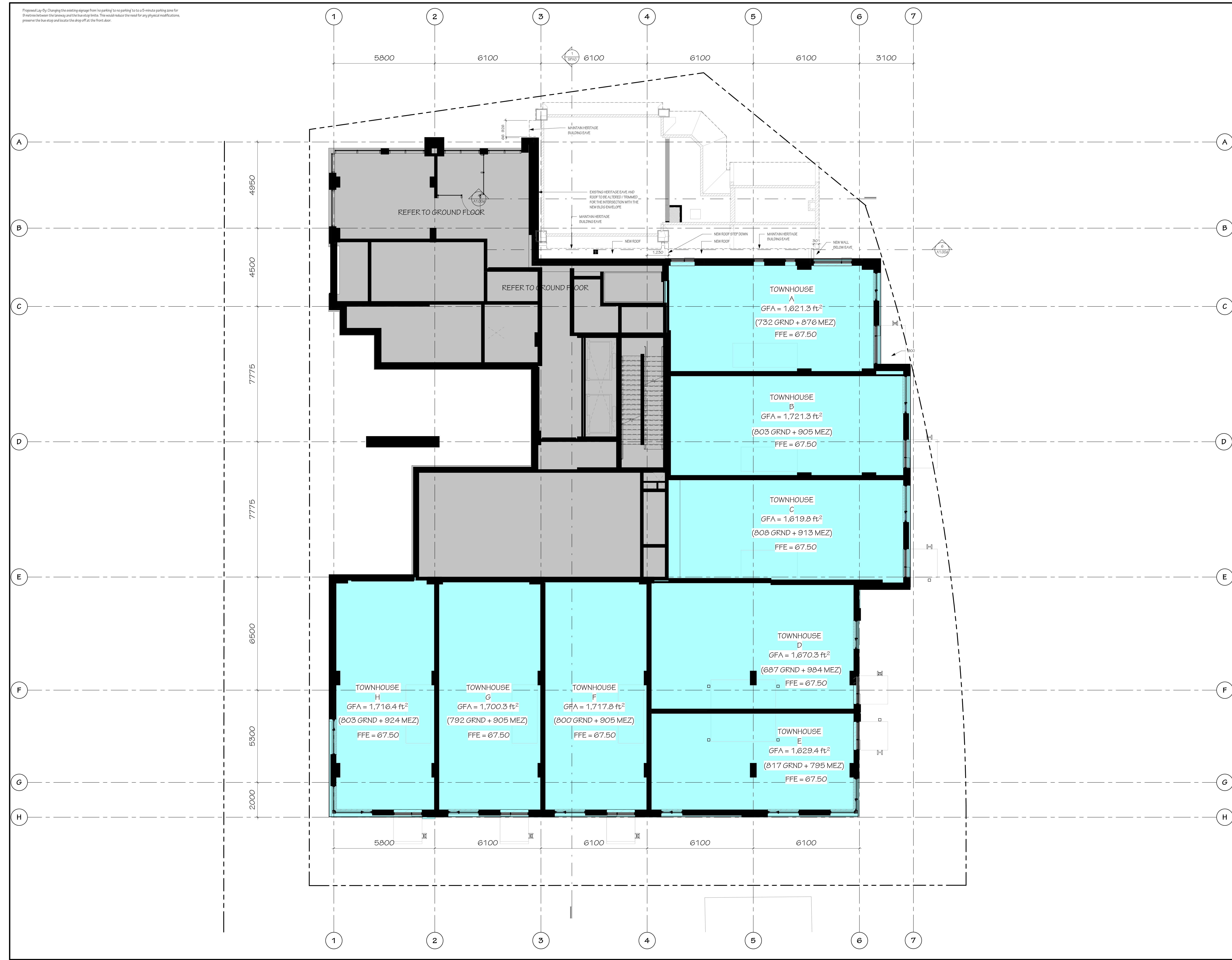
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LANEWAY

ISLAND PARK DRIVE

Proposed Lay-By: Changing the existing signage from 'no parking' to '5-minute parking zone for 30 minutes between the driveway and the bus stop area. This would reduce the need for any physical modifications, preserve the bus stop and locate the drop-off at the front door.



MEZZ LEVEL:

NET AREA BREAKDOWN:
 MEZZ GFA = 7,207 ft²
 MEZZ NET = 7,207 ft²
 (TOWNS - 6 UNITS)

UNIT MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT. OF FLOOR AREA
TOWN HOUSES (GRD. LEV.)		6,242 ft ²	66%
TOWN HOUSES (MEZ. LEV.)	6	7,207 ft ²	100%
TOTAL	6	13,449 ft ²	-

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS
- COMMON AREAS

REV.	DATE	DESCRIPTION
1	2024-02-24	Issued for SPA
2	2023-11-11	Issued for SPA
3	2023-10-03	Issued for SPA
4	2023-05-15	Issued for SPA

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PROJECT
70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE
MEZZANINE

DRAWN	DATE	SCALE
Author	02/28/23	1:75

ONTARIO ASSOCIATION OF ARCHITECTS
 ARCHITECT
JOHN J. HOBIN
 LICENCE 3049

PROJECT 1909
 DRAWING NO. SPA4
 REVISION NO. 4

SUMMARY - LEVEL 2:

GFA = 10,831 ft²
 NET = 9,089 ft²
 EFF = (84%)

14 UNITS
 LOCKERS = 4

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	4		
1BED	-		
1BED-DEN	5		
2BED	4		
2BED-DEN	1		
3BED	-		
TOTAL	14	9,089 ft ²	84%
AFFORDABLE UNITS	4		

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

NO.	DATE	REVISION
1	220424	Issued for SPA
2	221111	Issued for SPA
2	221003	Issued for SPA
1	220513	Issued for SPA

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PROJECT
70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE
LEVEL 2

DRAWN
 Author

DATE
 05/02/23

SCALE
 1:75

PROJECT
 1809

DRAWING NO.
SPA5

REVISION NO. 4



SUMMARY - LEVEL 3:

GFA = 11,100 ft²
 NET = 9,371 ft²
 EFF = 84%

14 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	4		
1 BED	-		
1 BED+DEN	5		
2 BED	4		
2 BED+DEN	1		
3 BED	-		
TOTAL	14	9,371 ft ²	84%
AFFORDABLE UNITS			
	3		

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

REV.	DATE	DESCRIPTION
1	2004/24	Issued for SPA
2	22/11/11	Issued for SPA
3	22/10/03	Issued for SPA
1	22/05/13	Issued for SPA

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PROJECT: 70 RICHMOND

DRAWING TITLE: LEVEL 3

DRAWN: Author DATE: 05/02/23 SCALE: 1:75

PROJECT: 1909 DRAWING NO. SPA0

REVISION NO. 4



SUMMARY - LEVEL 4:

GFA = 10,573 ft²
 NET = 8,892 ft²
 EFF = 84%

13 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	2		
1 BED	3		
1 BED-DEN	2		
2 BED	5		
2 BED-DEN	1		
3 BED	-		
TOTAL	13	8,892 ft²	84%

AFFORDABLE UNITS

2

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

1 2/20/24 Re-issued for SPA

2 2/21/24 Re-issued for SPA

2 2/21/24 Re-issued for SPA

1 2/25/24 Issued for SPA

rev. date revision

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PROJECT

70 RICHMOND

70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE

LEVEL 4

DRAWN DATE SCALE

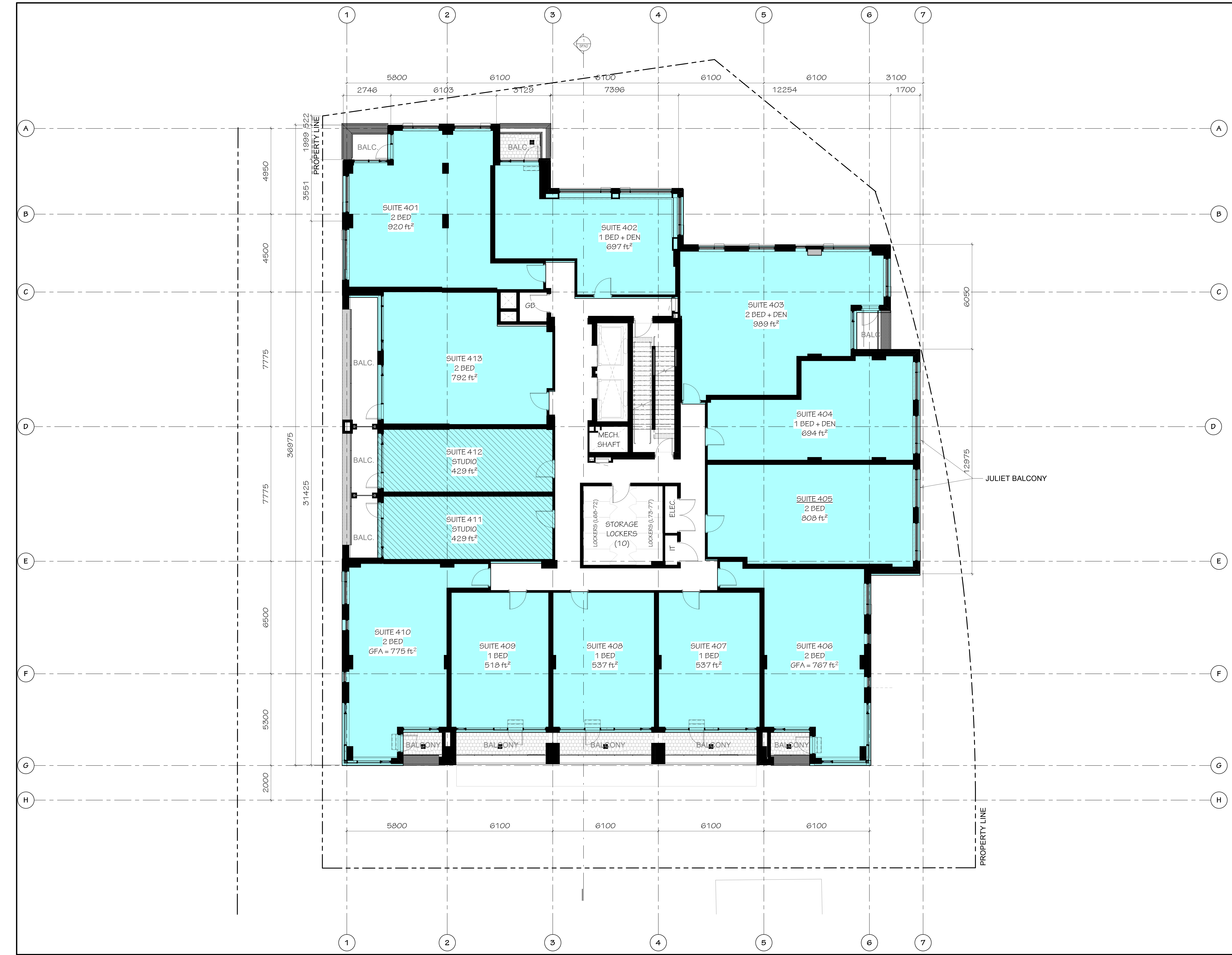
Author 05/02/23 1:75

PROJECT 1809

DRAWING NO.

SPA7

REVISION NO. 4



SUMMARY - LEVEL 5:

GFA = 10,573 ft²
 NET = 8,892 ft²
 EFF = 84%

13 UNITS
 LOCKERS = 10

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	2		
1 BED	3		
1 BED+DEN	2		
2 BED	5		
2 BED+DEN	1		
3 BED	-		
TOTAL	13	8,892 ft²	84%

AFFORDABLE UNITS

2

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

REV.	DATE	DESCRIPTION
1	2004/24	Issued for SPA
2	22/11/11	Issued for SPA
2	22/10/23	Issued for SPA
1	22/05/13	Issued for SPA

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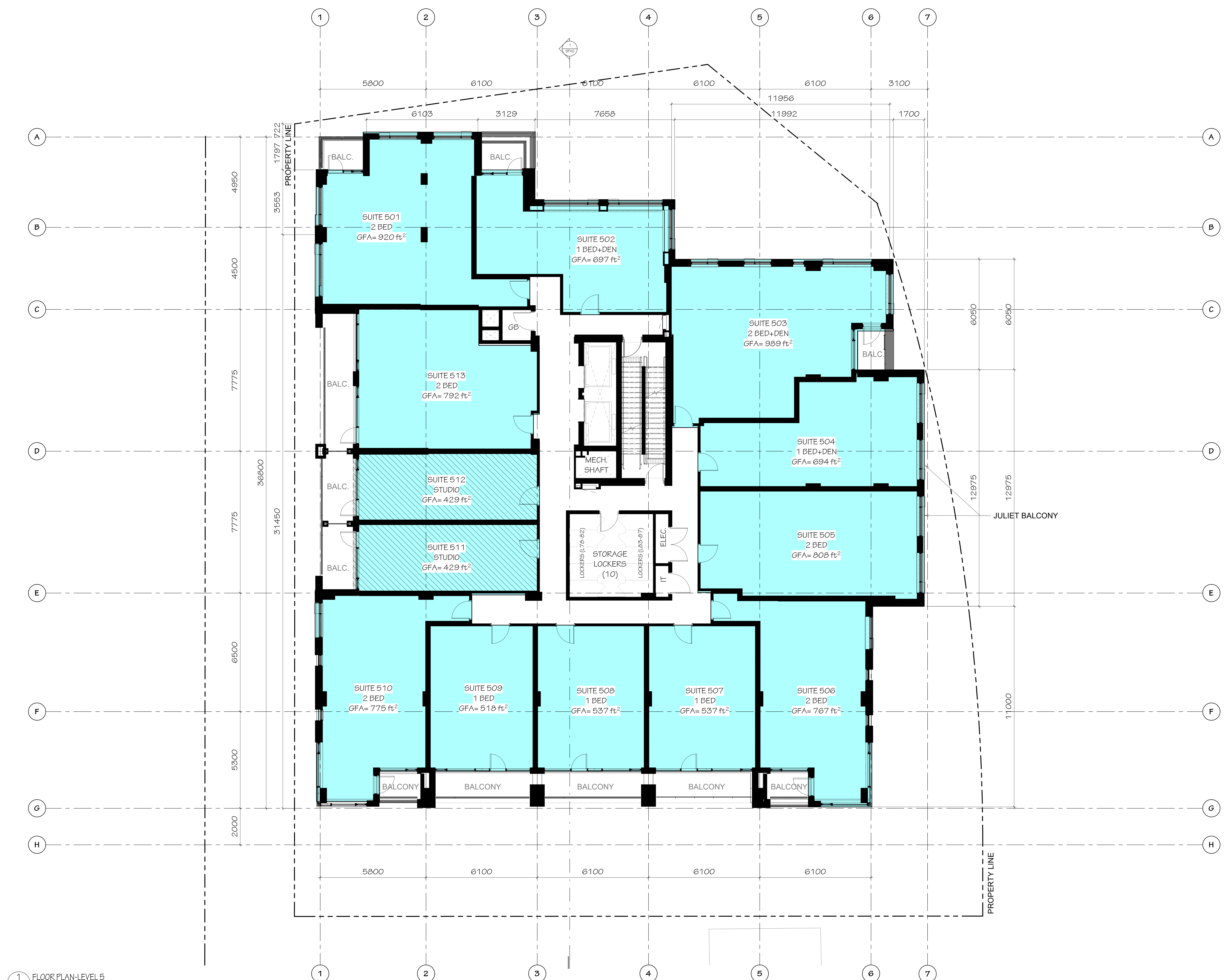
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70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE: LEVEL 5

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT	DRAWING NO.	REVISION NO.
1909	SPA8	4



1 FLOOR PLAN-LEVEL 5
 SPA8 SCALE: 1:75

SUMMARY - LEVEL 6:

GFA = 9,024 ft²
 NET = 8,485 ft²
 EFF = 88%
 10 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	1	-	-
1 BED+DEN	2	-	-
2 BED	5	-	-
2 BED+DEN	2	-	-
3 BED	-	-	-
TOTAL	10	8,485ft ²	88%

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
AFFORDABLE UNITS	-	-	-

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

NO.	DATE	REVISION
1	220424	Issued for SPA
2	221111	Issued for SPA
2	221003	Issued for SPA
1	220513	Issued for SPA

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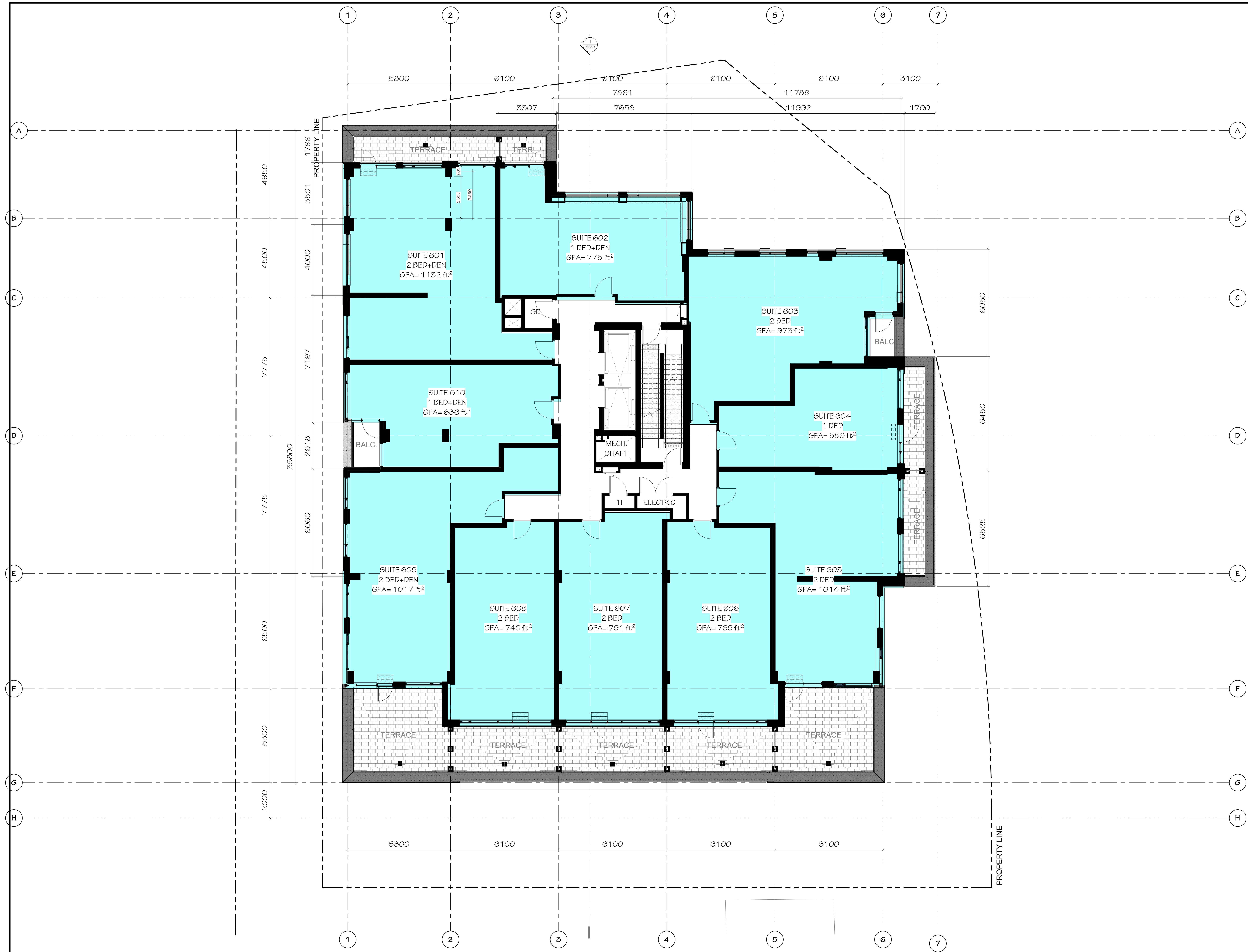
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70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE: LEVEL 6

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT	DRAWING NO.	REVISION NO.
1909	SPA9	4



SUMMARY - LEVEL 7:

GFA = 9,193 ft²
 NET = 8,032 ft²
 EFF = 87%
 10 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	1	-	-
1 BED+DEN	5	-	-
2 BED	2	-	-
2 BED+DEN	2	-	-
3 BED	-	-	-
TOTAL	10	8,032 ft²	87%
AFFORDABLE UNITS	-	-	-

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

REV.	DATE	DESCRIPTION
1	220424	Issued for SPA
2	221111	Issued for SPA
2	221003	Issued for SPA
1	220513	Issued for SPA

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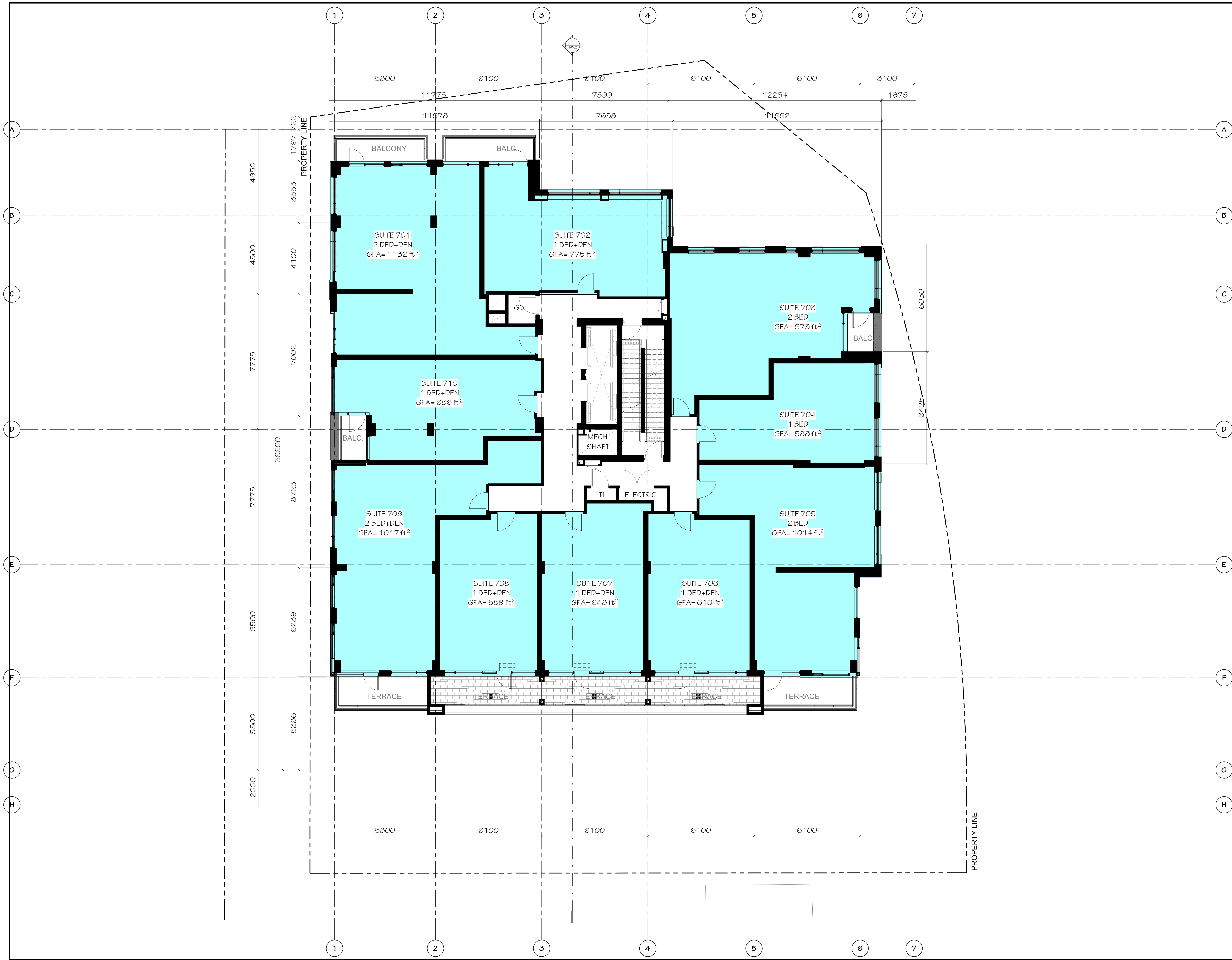
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DRAWING TITLE: LEVEL 7

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT	DRAWING NO.	REVISION NO.
1909	SPA10	4



SUMMARY - LEVEL B:

GFA = 7,434 ft²
 NET = 6,458 ft²
 EFF = 87%
 7 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	-	-	-
1 BED	-	-	-
1 BED+DEN	2	-	-
2 BED	2	-	-
2 BED+DEN	2	-	-
3 BED	1	-	-
TOTAL	7	6,458 ft²	87%

AFFORDABLE UNITS

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

NO.	DATE	REVISION
1	2004/24	Issued for SPA
2	22/11/11	Issued for SPA
3	22/10/03	Issued for SPA
4	22/05/13	Issued for SPA

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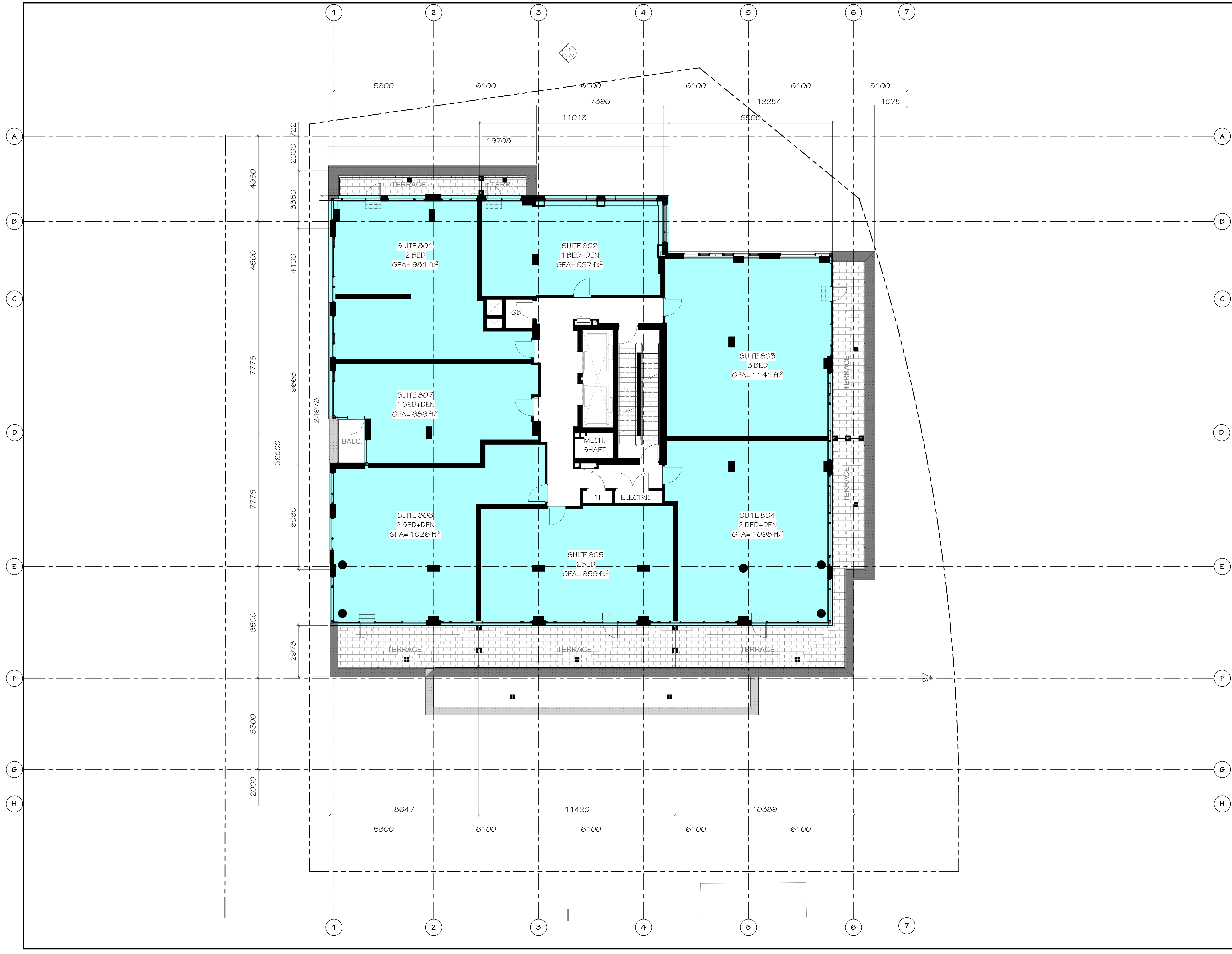
PROJECT: 70 RICHMOND

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DRAWING TITLE: LEVEL B

DRAWN: Author DATE: 05/02/23 SCALE: 1:75

PROJECT: 1809
 DRAWING NO.: SPA11
 REVISION NO.: 4



SUMMARY - LEVEL 9:

GFA = 6,563 ft²
 NET = 5,575 ft²
 EFF = 85%

7 UNITS

UNIT-MIX BREAKDOWN:

UNIT TYPE	QUANT.	NET AREA	PERCENT OF FLOOR AREA
STUDIO	1	-	-
1 BED	-	-	-
1 BED-DEN	2	-	-
2 BED	3	-	-
2 BED-DEN	1	-	-
3 BED	-	-	-
TOTAL	7	5,575 ft²	85%

LEGEND:

- DWELLING UNITS
- AFFORDABLE UNITS

NO.	DATE	REVISION
1	220424	Re-issued for SPA
2	221111	Re-issued for SPA
2	221003	Re-issued for SPA
1	220513	Issued for SPA

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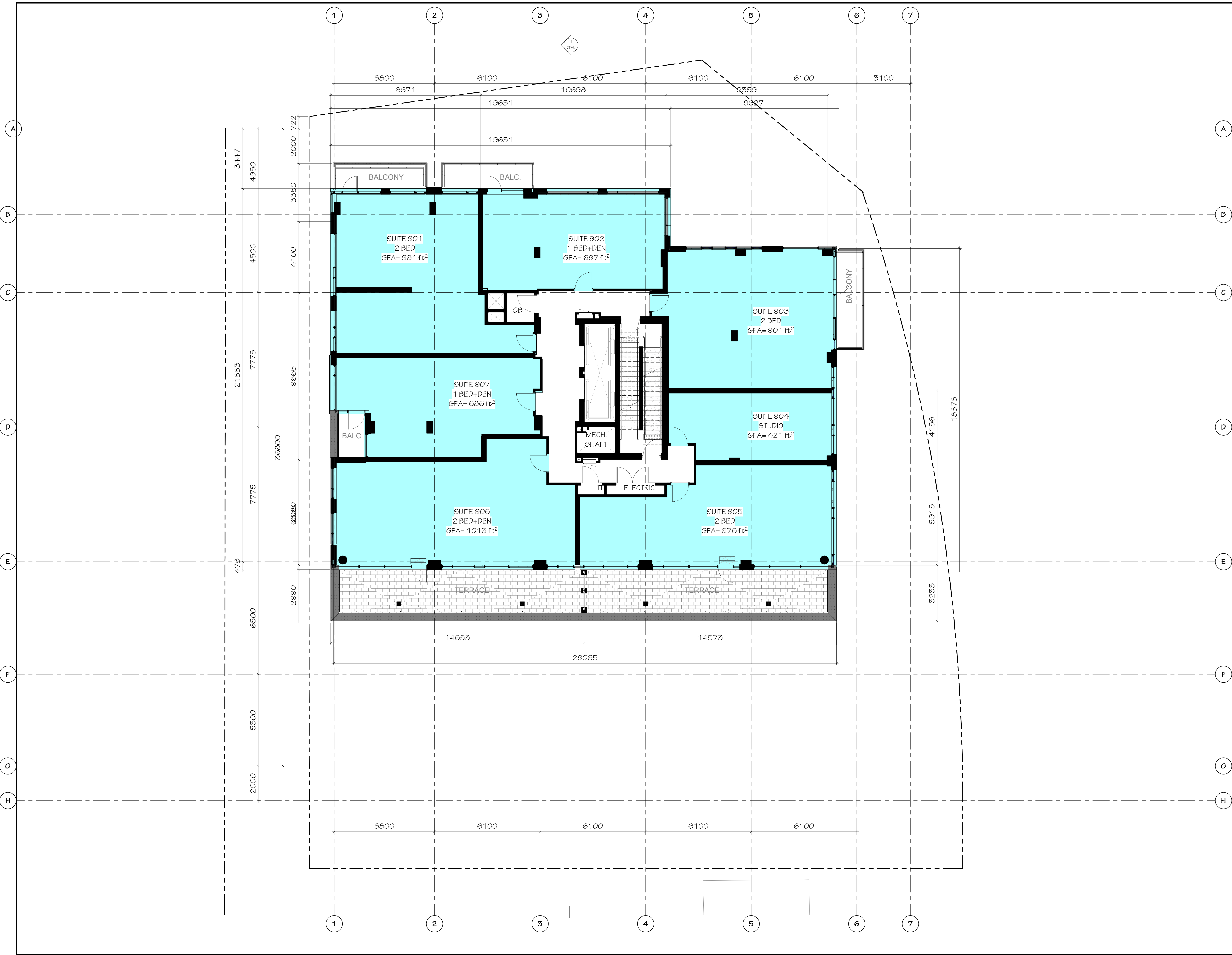
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DRAWING TITLE
LEVEL 9

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Author	05/02/23	1:75

PROJECT
1909
DRAWING NO.
SPA12
REVISION NO.
4



ROOF LEVEL (PH):

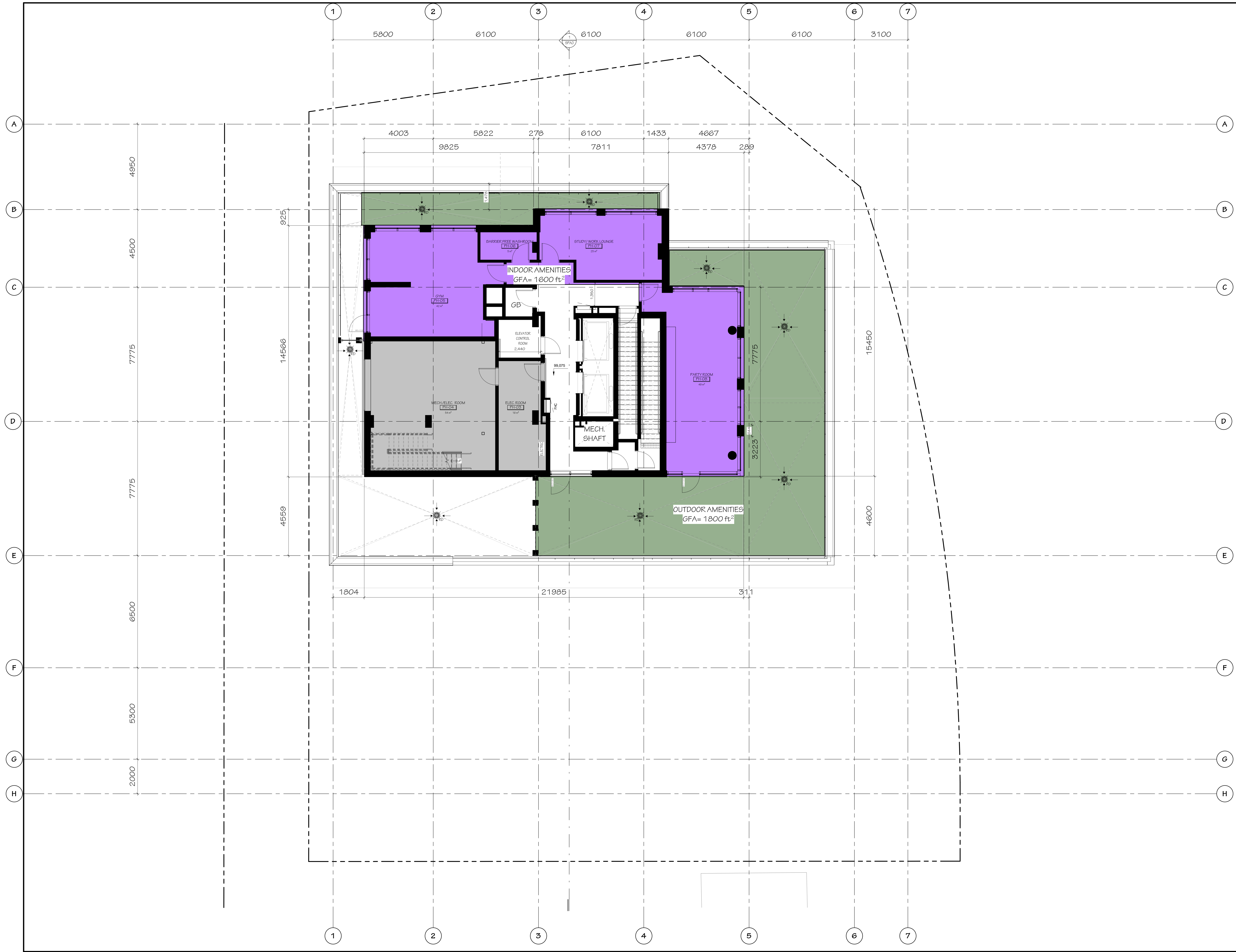
GFA = 3,340 ft²

ROOF AMENITIES NET AREA BREAKDOWN:

INDOOR AMENITIES = 1,600 ft²

OUTDOOR AMENITIES = 1,800 ft²

TOTAL ROOF AMENITIES = 3,400 ft²



no.	date	revision
1	220424	Issued for SPA
2	221111	Issued for SPA
2	221003	Issued for SPA
1	220513	Issued for SPA

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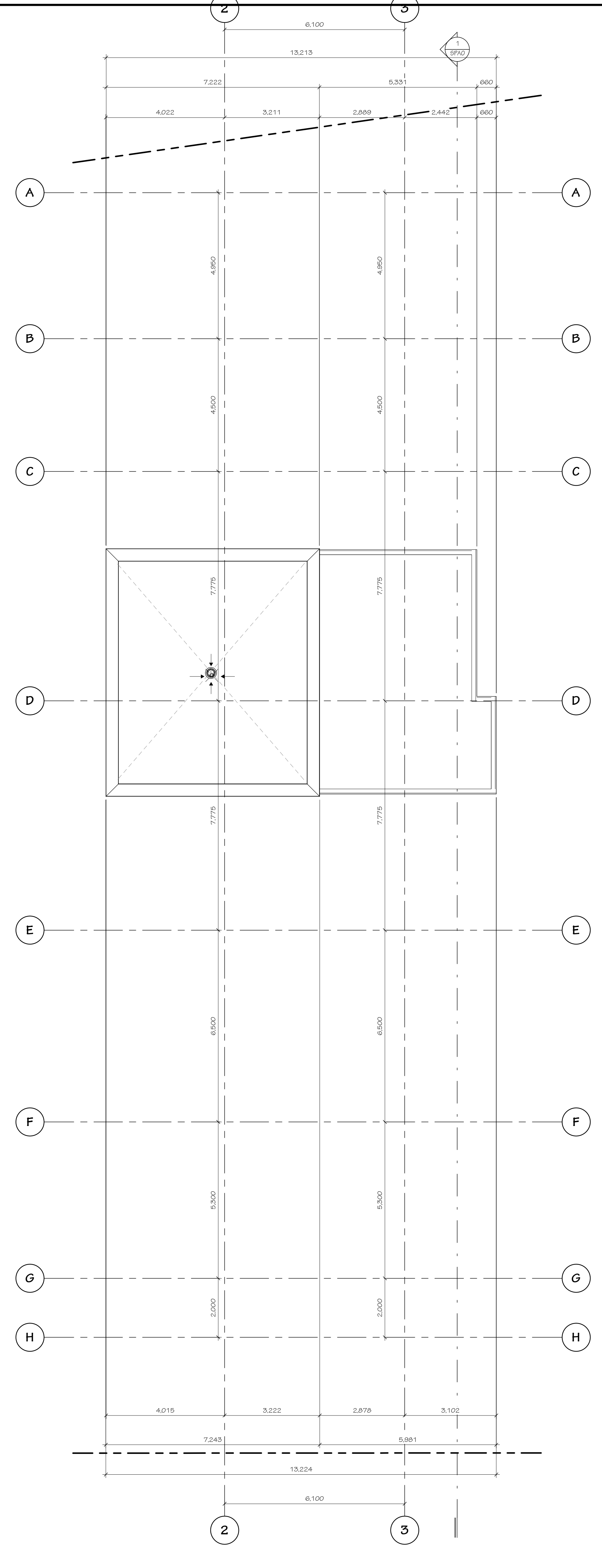
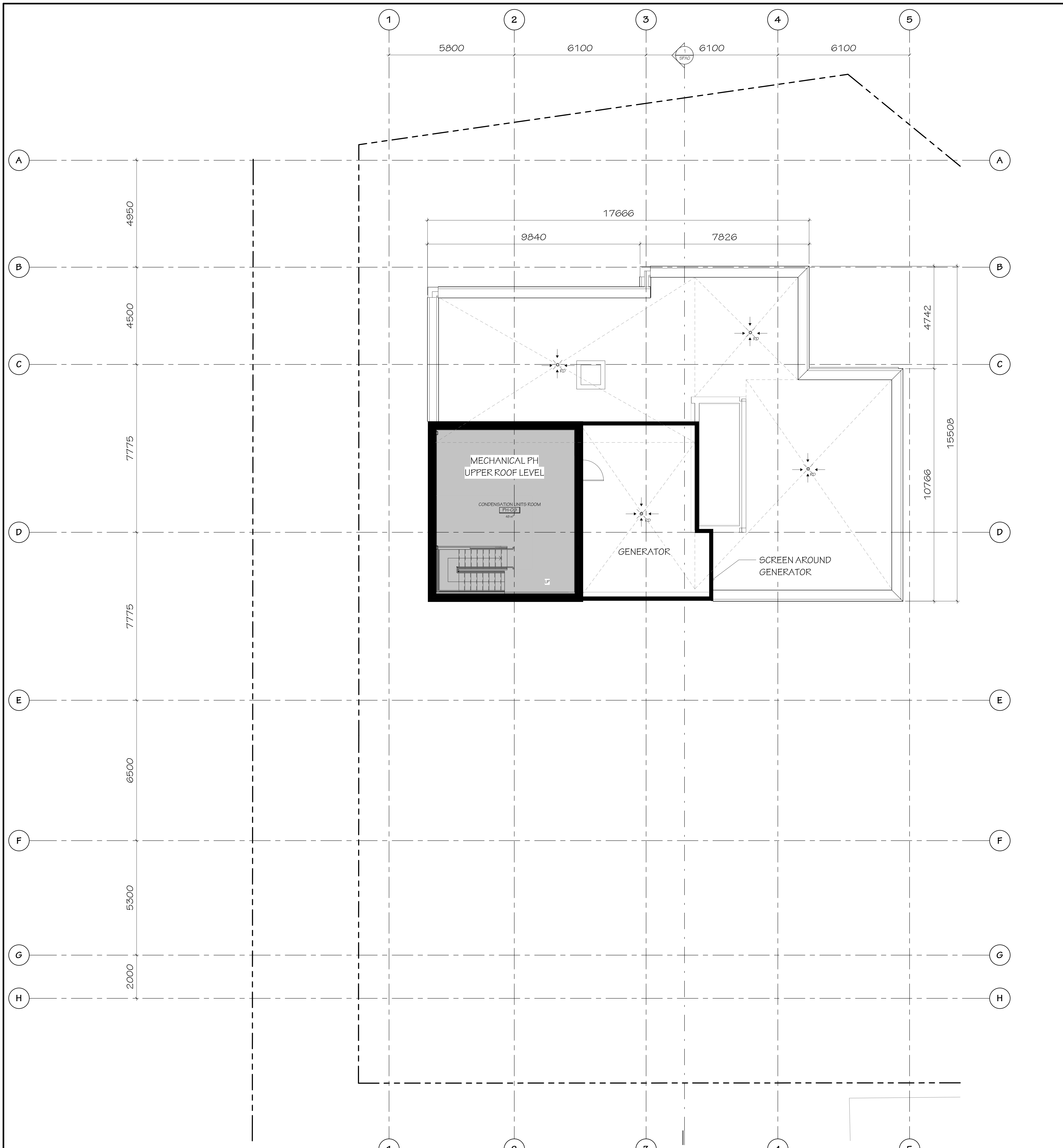
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DRAWING TITLE
 ROOF PLAN - PH

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJ. 1809
DRAWING NO. SPA13
REVISION NO. 4



TRINITY

1	220424	Re-issued for SPA
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1	220513	Issued for SPA

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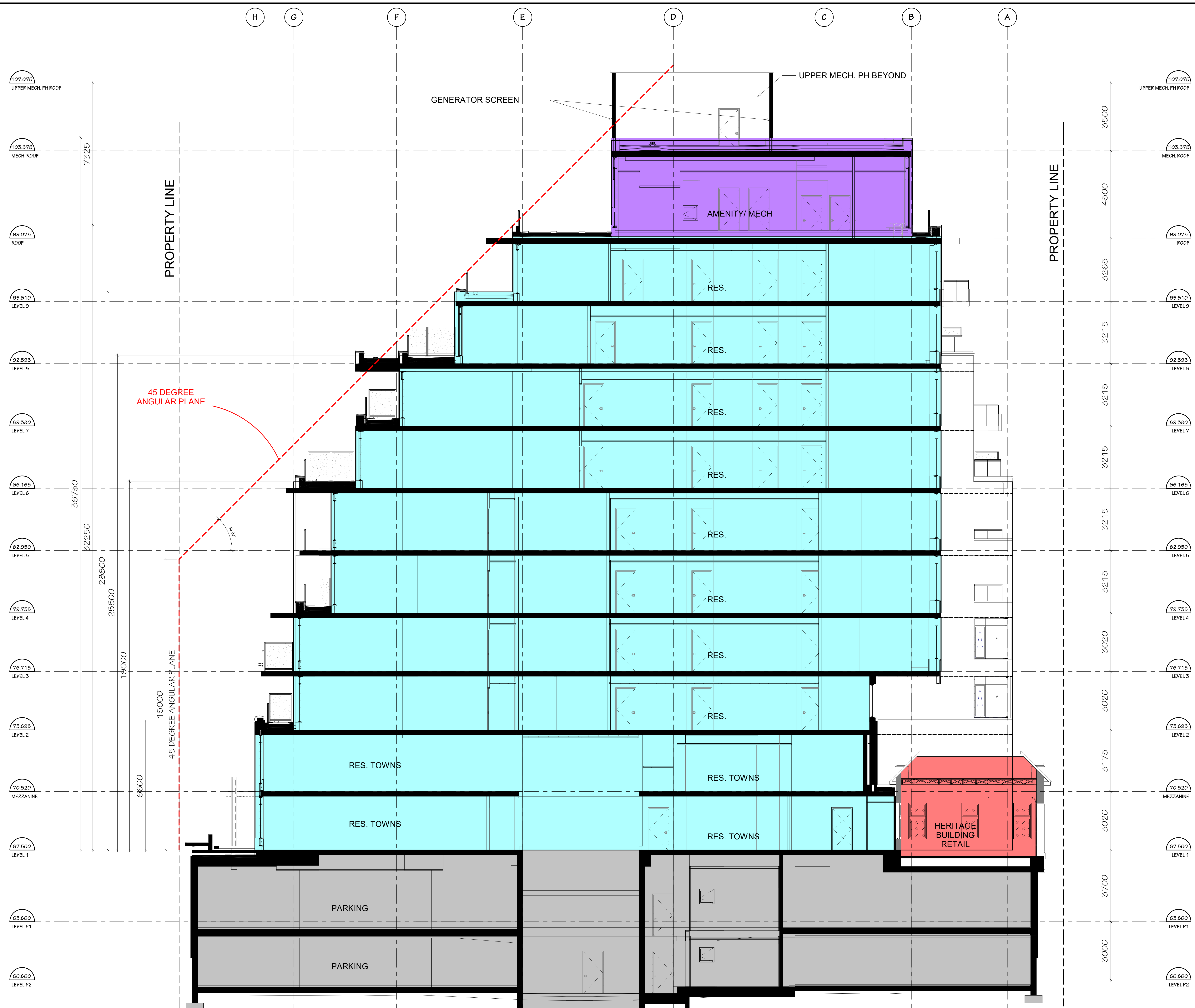
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PROJECT: 70 RICHMOND
70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE: MECHANICAL ROOF

DRAWN Author	DATE 05/02/23	SCALE 1:75
		PROJECT 1909 DRAWING NO. SPA14 REVISION NO. 4

SPA14-R4-MECHANICAL ROOF



1	220424	Issued for SPA
2	221111	Issued for SPA
3	221003	Issued for SPA
4	220513	Issued for SPA

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PROJECT
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DRAWING TITLE
BUILDING SECTION

DRAWN Author	DATE 02/28/23	SCALE 1:75
PROJECT 1909	DRAWING NO. SPA0	REVISION NO. 4

MATERIAL TAG LEGEND

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD C/W ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/A3.06 FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
ALP-3	ALUMINUM PANEL - TYPE 3
ALP-4	ALUMINUM PANEL - TYPE 4
LV	ALUMINUM LOUVER (REFINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPEC3
PMC	PREFINISHED METAL CAP FLASHING
PMF	PREFINISHED METAL FLASHING
SP-1	SPANDREL GLASS - REFER TO SPEC FINISH
	IDENTIFY OPERABLE WINDOW BAGH - OUT SWINGING FINISH
LF	LIGHT FIXTURE
CJ	CONSTRUCTION JOINTS 'CJ'
SA	SHELF ANGLE 'SA'
SSA	SUSPENDED SHELF ANGLE 'SSA'



1 23/04/24 Re-issued for SFA
 A 23/04/24 Issued for S05 Review

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DRAWING TITLE
ELEVATIONS

DRAWN	DATE	SCALE
Author	00/00/0000	As indicated
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		1:900
		DRAWING NO.
		A3.01
		REVISION NO. 1

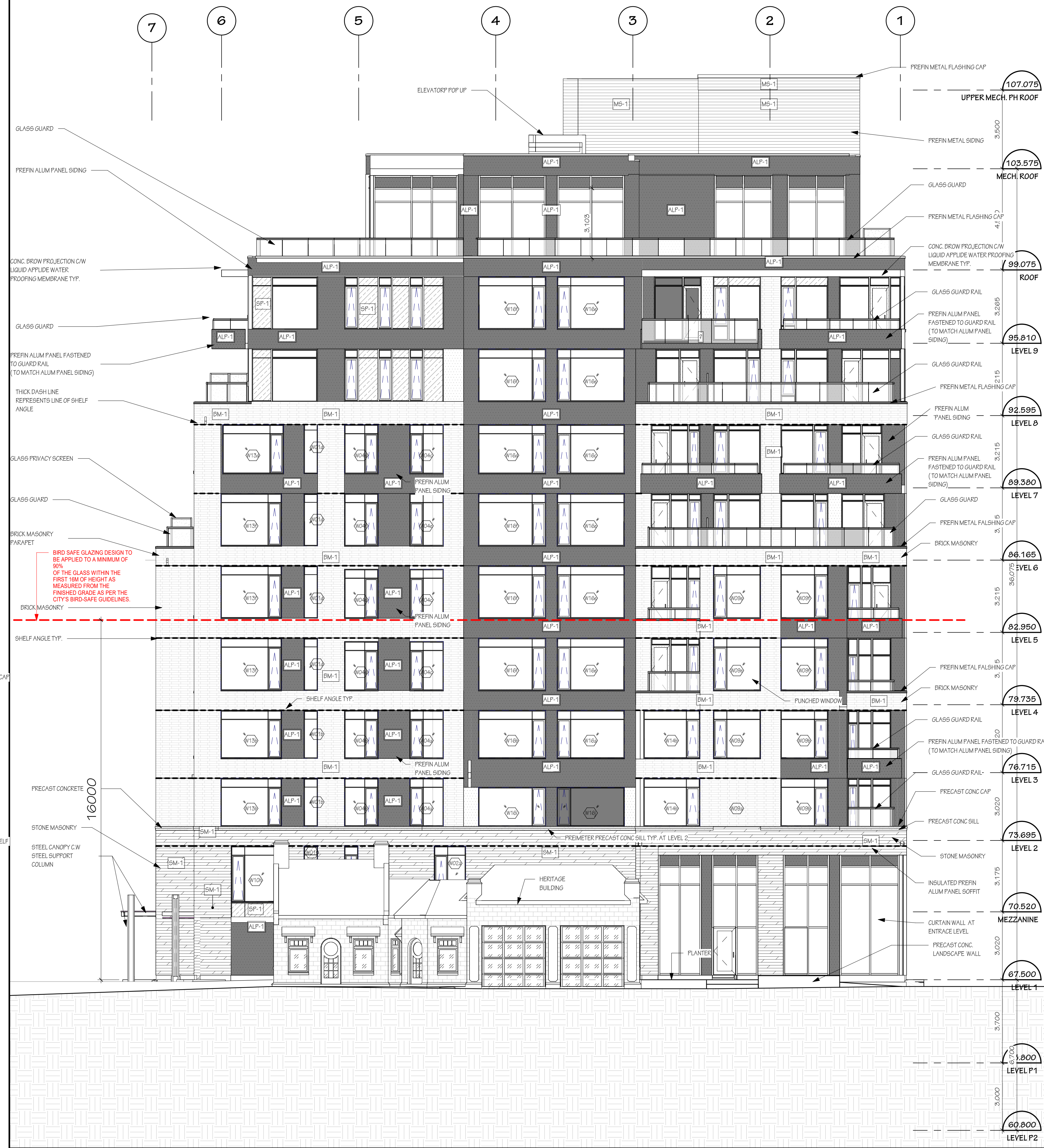
2 ELEVATION-WEST
 A3.01 SCALE: 1:100

1 ELEVATION-SOUTH
 A3.01 SCALE: 1:100

MATERIAL TAG LEGEND

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD CW ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/4/05 FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
ALP-3	ALUMINUM PANEL - TYPE 3
ALP-4	ALUMINUM PANEL - TYPE 4
LV	ALUMINUM LOUVER (PREFINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPEC
PMC	PREFINISHED METAL CAP FLASHING
PMF	PREFINISHED METAL FLASHING
SP-1	SPANDREL GLASS - REFER TO SPEC FINISH

DENOTES OPERABLE WINDOW SASH -
 OUT SWINGING FINISH
 LF LIGHT FIXTURE
 CJ CONSTRUCTION JOINTS "CJ"
 SA SHELF ANGLE "SA"
 SSA SUSPENDED SHELF ANGLE "SSA"



1	23/04/24	Re-issued for SFA
A	23/04/24	Issued for S05 Review
Rev	date	revision

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ELEVATIONS

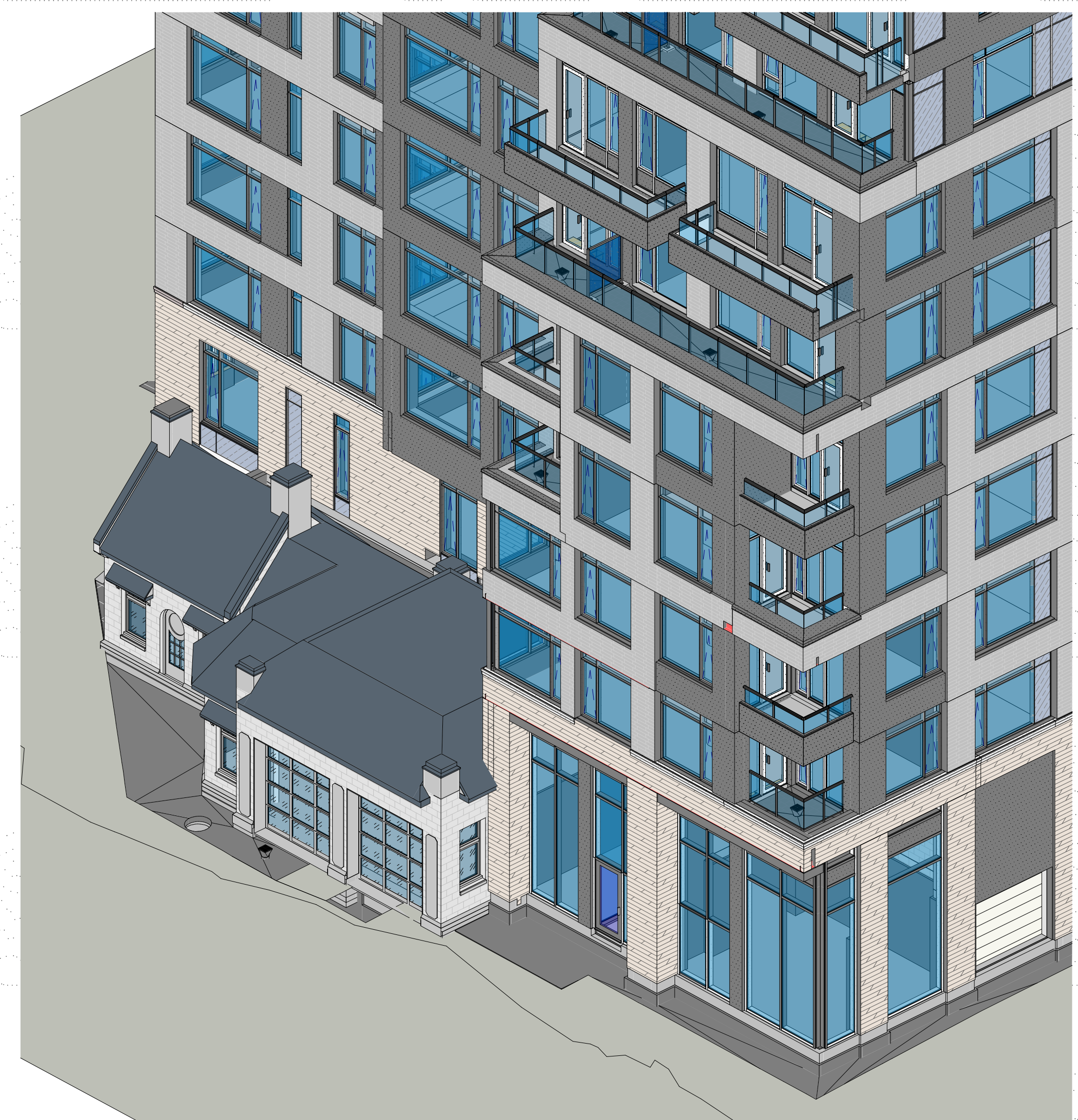
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Author	00/00/0000	As Indicated
PROJECT	1:00P	
DRAWING NO.		
		A3.02
REVISION NO.		1



04 3D View
A3.05 SCALE

02 3D View
A3.05 SCALE

5 Heritage Building - View 01
A3.05 SCALE



03 3D View
A3.05 SCALE

01 3D View
A3.05 SCALE

6 Heritage Building - View 01 Copy 1
A3.05 SCALE



MATERIAL TAG LEGEND

- ACC ALUMINUM CORNER CAP
- AGR-1 ALUMINUM & GLASS GUARD
CW ALUMINUM RAILING
- PC-1 PRECAST CONCRETE (BLOCK)
- PC-2 PRECAST CONCRETE (TERRAZZOTA)
REFER TO DWG 3/ADDS FOR PANEL
TYPES
- ALP-1 ALUMINUM PANEL - TYPE 1
- ALP-2 ALUMINUM PANEL - TYPE 2
- ALP-3 ALUMINUM PANEL - TYPE 3
- ALP-4 ALUMINUM PANEL - TYPE 4
- LV ALUMINUM LOUVER (REFINISHED)
- BM-1 BRICK MASONRY VENEER - TYPE 1
- GL-1 GLASS - REFER TO SPECS
- FMC PREFINISHED METAL CAP FLASHING
- FMF PREFINISHED METAL FLASHING
- SP-1 SPANDREL GLASS - REFER
TO SPEC FINISH
- DENOTES OPERABLE WINDOW BASH -
OUT SWINGING FINISH
- LF LIGHT FIXTURE
- CJ CONSTRUCTION JOINTS 'CJ'
- SA SHELF ANGLE 'SA'
- SBA SUSPENDED SHELF ANGLE 'SBA'

1	23.04.24	Re-issued for SFA
A	23.04.04	Issued for S05 Review
	date	description

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DRAWING TITLE
3D VIEWS

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Author	XXXXXXXXXX	1:150

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PROJECT 1909
 DRAWING NO. **A3.05**
 REVISION NO. 1



70 RICHMOND RD

Heritage Building

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