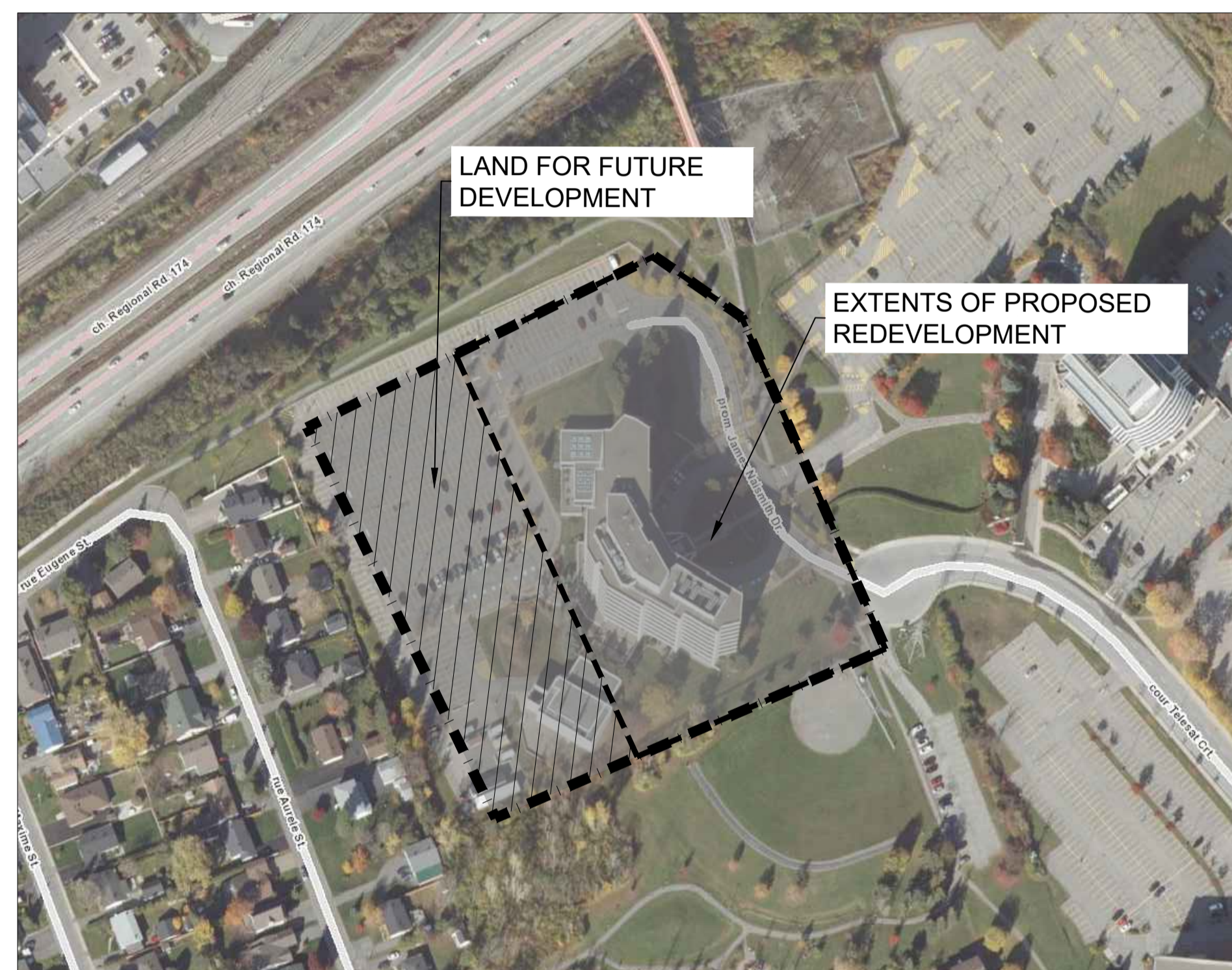


1600 JAMES NAISMITH DRIVE, OTTAWA, ONTARIO

REVISION 01



KEY PLAN (N.T.S.)

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STORMWATER MANAGEMENT PLAN	C601
PRE-DEVELOPMENT WATERSHED PLAN	C701
POST-DEVELOPMENT WATERSHED PLAN	C702
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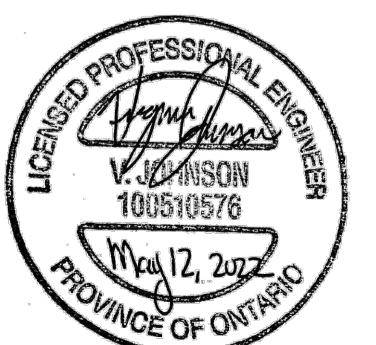


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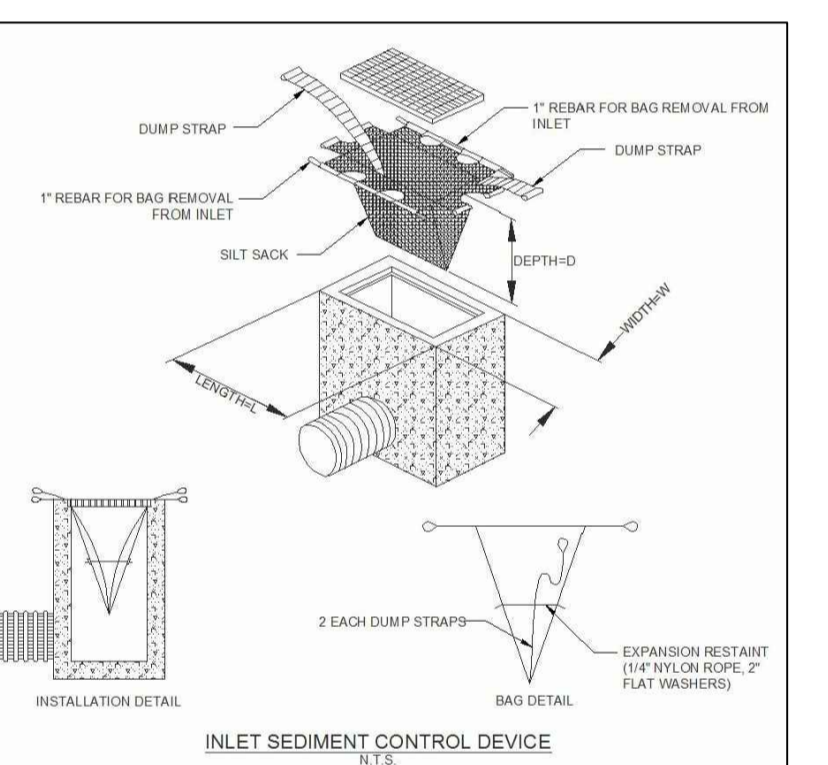
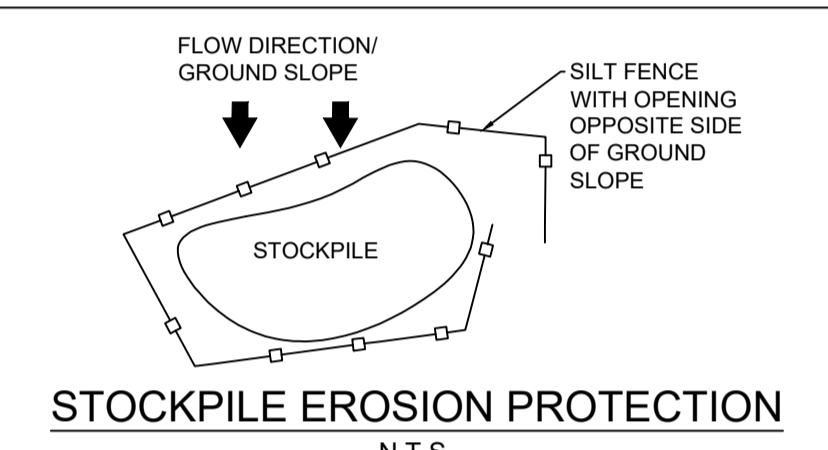
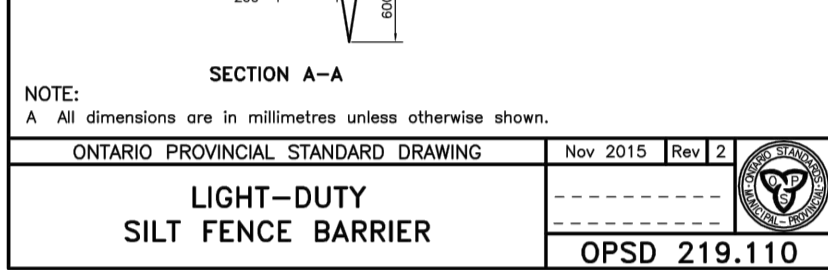
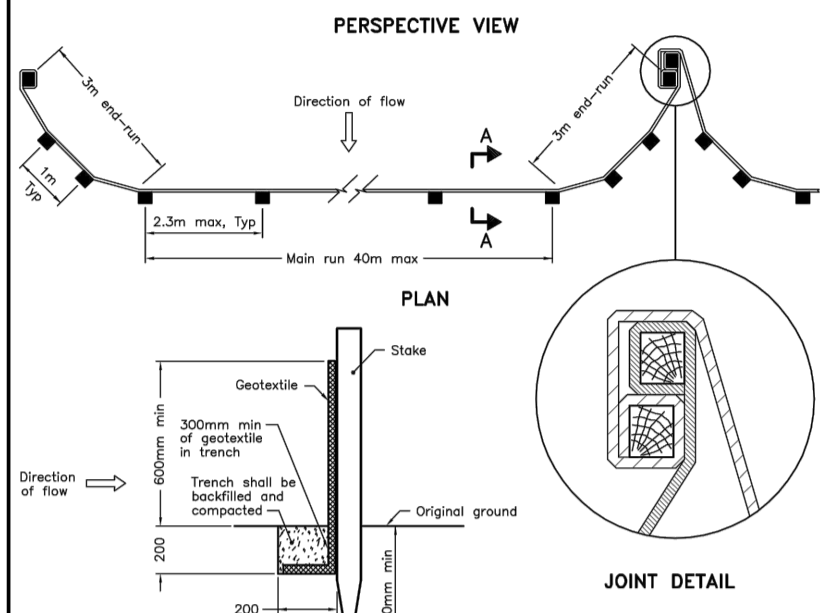
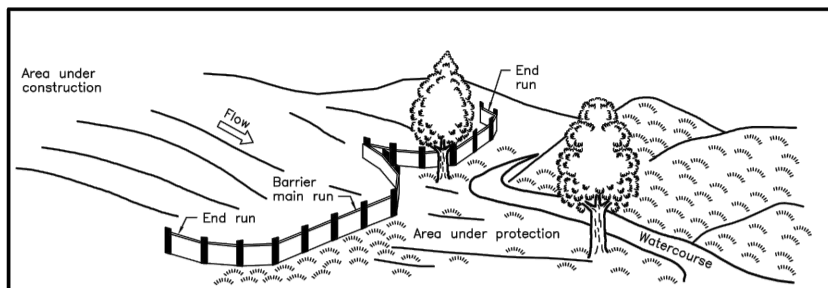
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www.lrl.ca | (613) 842-3434

1600 JAMES NAISMITH
OTTAWA, ONTARIO
REV.01 - ISSUED FOR MUNICIPAL APPROVAL - MAY 012, 2022
LRL PROJECT no: 220142



NOT AUTHENTIC UNLESS SIGNED AND DATED



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
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	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED RIP RAP

EROSION AND SEDIMENT CONTROL MEASURES:

** CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION, MONITORING, REPAIR AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL FEATURES **

** THE SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY **

- PRIOR TO START OF CONSTRUCTION:**
 - PRIOR TO THE REMOVAL OF ANY VEGETATIVE COVER, MOVING OF SOIL AND CONSTRUCTION:
 - INSTALL SILT FENCE IMMEDIATELY DOWNSTREAM FROM AREAS TO BE DISTURBED (SEE PLAN FOR LOCATION)
 - INSTALL GEOSOCK INSERTS WITH AN OVERFLOW IN ALL THE DOWNSTREAM CATCHBASINS AND MANHOLES
 - INSTALL SILTSACK FILTERS IN ALL CONCRETE CATCH BASINS STRUCTURES
 - INSPECT MEASURES IMMEDIATELY AFTER INSTALLATION.
- DURING CONSTRUCTION:**
 - MINIMIZE THE EXTENT OF DISTURBED AREAS AND THE DURATION OF EXPOSURE.
 - PROTECT DISTURBED AREAS FROM RUNOFF.
 - PROVIDE TEMPORARY COVER SUCH AS SEEDING OR MULCHING IF DISTURBED AREA WILL NOT BE REHABILITATED WITHIN 30 DAYS.
 - INSPECT SILT FENCES, FILTER CLOTHS AND CATCH BASINS WEEKLY AND AFTER EVERY MAJOR STORM EVENT. CLEAN AND REPAIR WHEN NECESSARY.
 - PLAN TO BE REVIEWED AND REVISED AS REQUIRED DURING CONSTRUCTION
 - EROSION CONTROL FENCINGS TO BE ALSO INSTALLED AROUND THE BASE OF ALL STOCKPILES.
 - DO NOT LOCATE TOPSOIL PILES AND EXCAVATION MATERIAL CLOSER THAN 2.5m FROM ANY PAVED SURFACE, OR ONE WHICH IS TO BE PAVED BEFORE THE PILE IS REMOVED. ALL TOPSOIL PILES ARE TO BE SEEDED IF THEY ARE TO REMAIN ON SITE LONG ENOUGH FOR SEEDS TO GROW (LONGER THAN 30 DAYS).
 - CONTROL WIND-BLOWN DUST OFF SITE TO ACCEPTABLE LEVELS BY SEEDING TOPSOIL PILES AND OTHER AREAS TEMPORARILY (PROVIDE WATERING AS REQUIRED).
 - ALL EROSION CONTROL STRUCTURE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
 - NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THIS CONSULTING ENGINEER AND THE CITY DEPARTMENT OF PUBLIC WORKS.
 - CONTRACTOR RESPONSIBLE FOR CITY ROADWAY AND SIDEWALK TO BE CLEANED OF ALL SEDIMENT FROM VEHICULAR TRACKING ETC. AT THE END OF EACH WORK DAY.
 - PROVIDE GRAVEL ENTRANCE WHEREVER EQUIPMENT LEAVES THE SITE TO PREVENT MUD TRACKING ONTO PAVED SURFACES. GRAVEL BED SHALL BE A MINIMUM OF 15m LONG, 4M WIDE AND 0.3m DEEP AND SHALL CONSIST OF COARSE (50mm CRUSHER RUN LIMESTONE) MATERIAL. MAINTAIN GRAVEL ENTRANCE IN CLEAN CONDITION.
 - DURING WET CONDITIONS, TIRES OF ALL VEHICLES/EQUIPMENT LEAVING THE SITE ARE TO BE SCRAPPED.
 - ANY MUD/MATERIAL TRACKED ONTO THE ROAD SHALL BE REMOVED IMMEDIATELY BY HAND OR RUBBER TIRE LOADER.
 - TAKE ALL NECESSARY STEPS TO PREVENT BUILDING MATERIAL, CONSTRUCTION DEBRIS OR WASTE BEING SPILLED OR TRACKED ONTO ADJUTING PROPERTIES OR PUBLIC STREETS DURING CONSTRUCTION AND PROCEED IMMEDIATELY TO CLEAN UP ANY AREAS SO AFFECTED.
- AFTER CONSTRUCTION:**
 - PROVIDE PERMANENT COVER CONSISTING OF TOPSOIL AND SEED TO DISTURBED AREAS.
 - REMOVE STRAW BALE FLOW CHECK DAMS, SILT FENCES AND FILTER CLOTHS ON CATCH BASINS AND MANHOLE COVERS AFTER DISTURBED AREAS HAVE BEEN REHABILITATED AND STABILIZED.
 - INSPECT AND CLEAN CATCH BASIN SUMPS AND STORM SEWERS.

NOTE:

IF AT THE TIME OF CONSTRUCTION OF THIS DEVELOPMENT A NEW ACCESS TO THE NORTHERN PARKING LOT AT 1595 TELESAT CRT HAS NOT BEEN PROVIDED BY WAY OF A SEPARATE DEVELOPMENT AGREEMENT THEN ACCESS TO THE PARKING AREA VIA 1600 JAMES NAISMITH DRIVE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.

USE AND INTERPRETATION OF DRAWINGS:

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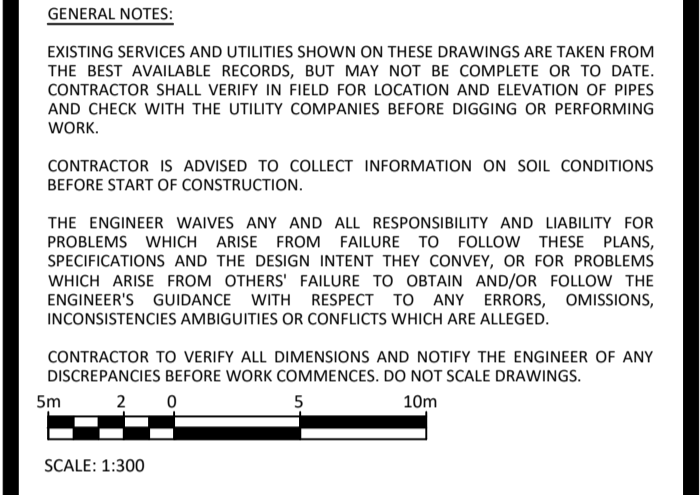
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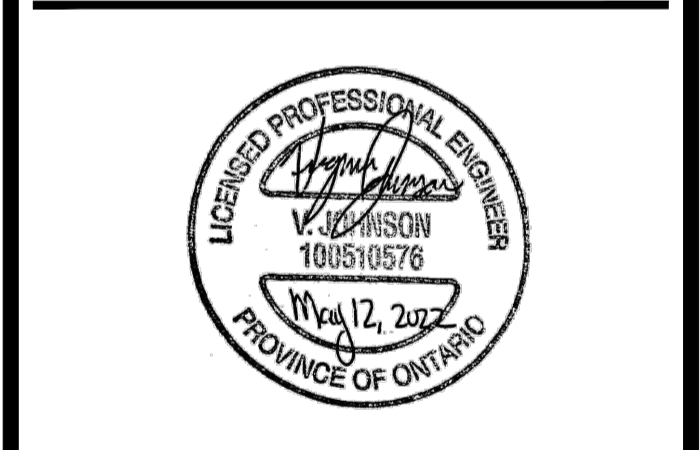
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SCALE: 1:300



SUBJECT TO APPROVAL

01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	12 MAY 2022
No.	REVISIONS	BY	DATE



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CLIENT
1600 JAMES NAISMITH LP
1460 THE QUEENSWAY, SUITE M264,
TORONTO, ON, M8Z 1S4

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

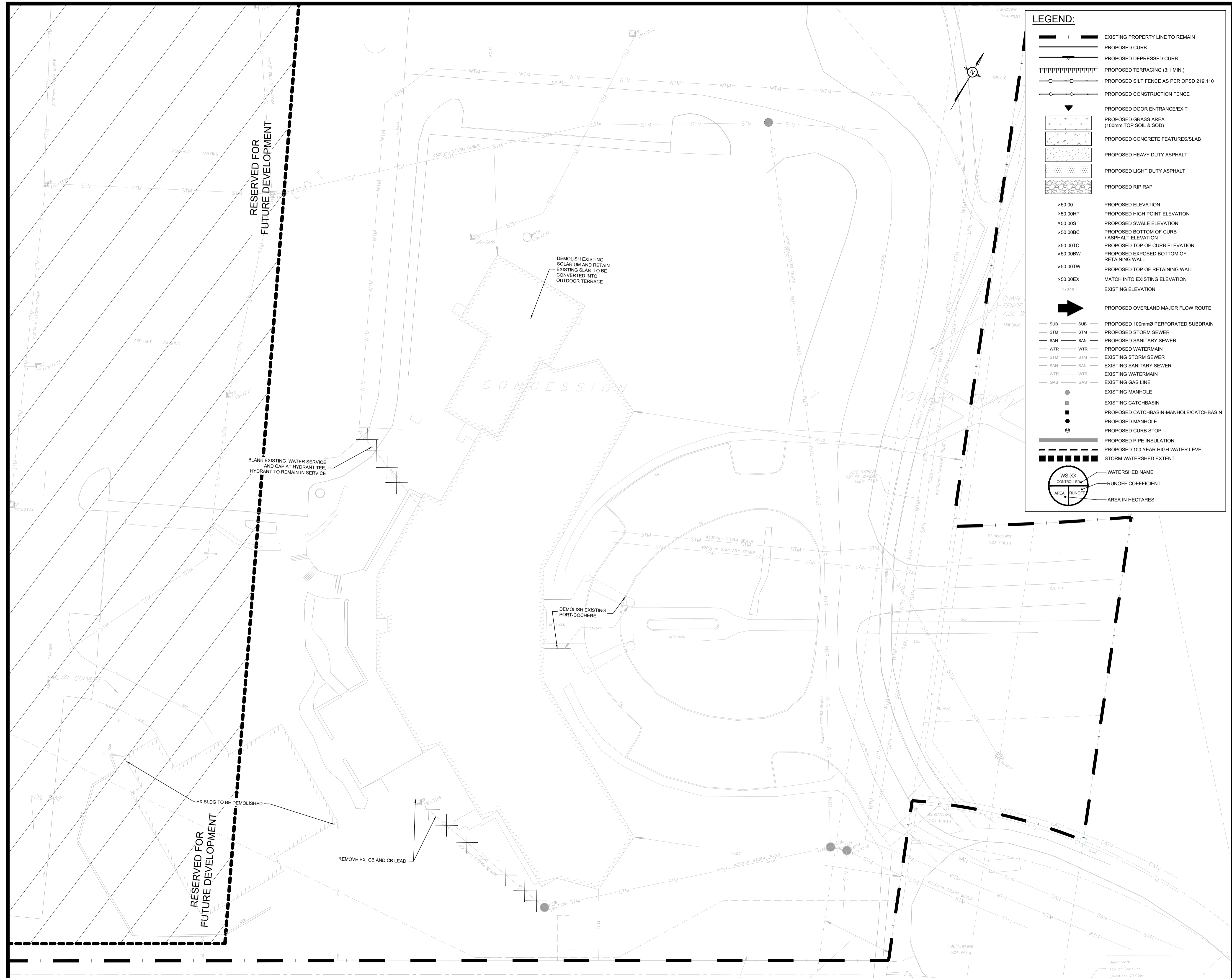
PROJECT
PROPOSED 8 STOREY APARTMENT BUILDING
1600 JAMES NAISMITH DRIVE
OTTAWA, ON

DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.
220142

DATE
MARCH 2022

C101



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
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- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
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- PROPOSED 100mmØ PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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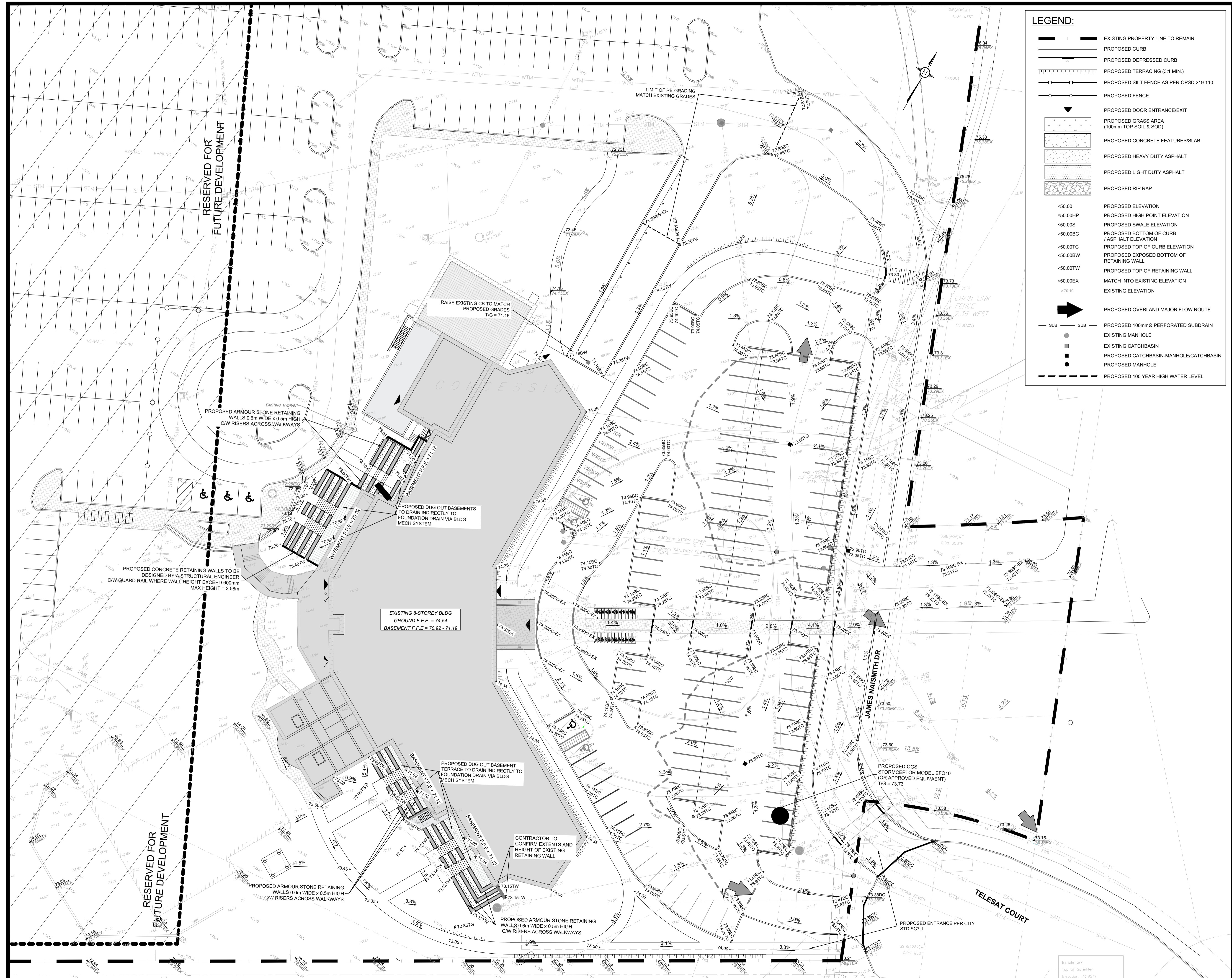
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DRAWING TITLE
DEMOLITION PLAN

PROJECT NO.
220142

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DRAWING TITLE
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PROJECT NO.
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C301



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- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED 100mm PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
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- PROPOSED CURB STOP
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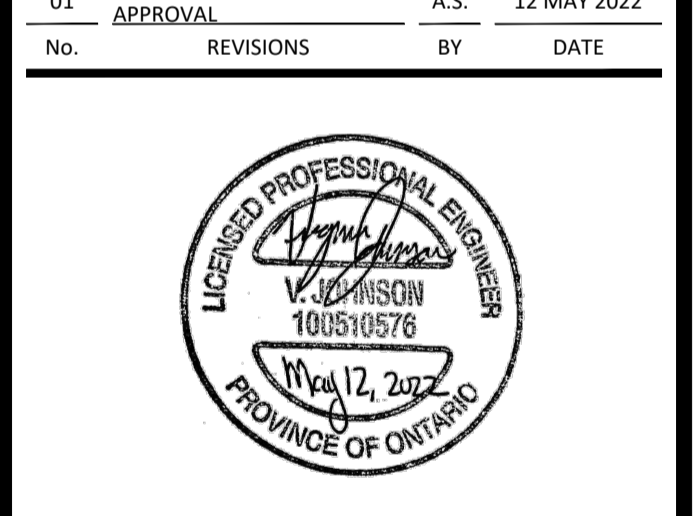
SCALE: 1:300

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SUBJECT TO APPROVAL

No.	ISSUED FOR MUNICIPAL APPROVAL	REVISIONS	BY	DATE
01	ISSUED FOR MUNICIPAL APPROVAL		A.S.	12 MAY 2022



NOT AUTHENTIC UNLESS SIGNED AND DATED

LRJ
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: 1600 JAMES NAISMITH LP
1460 THE QUEENSWAY, SUITE M264, TORONTO, ON, M8Z 1S4

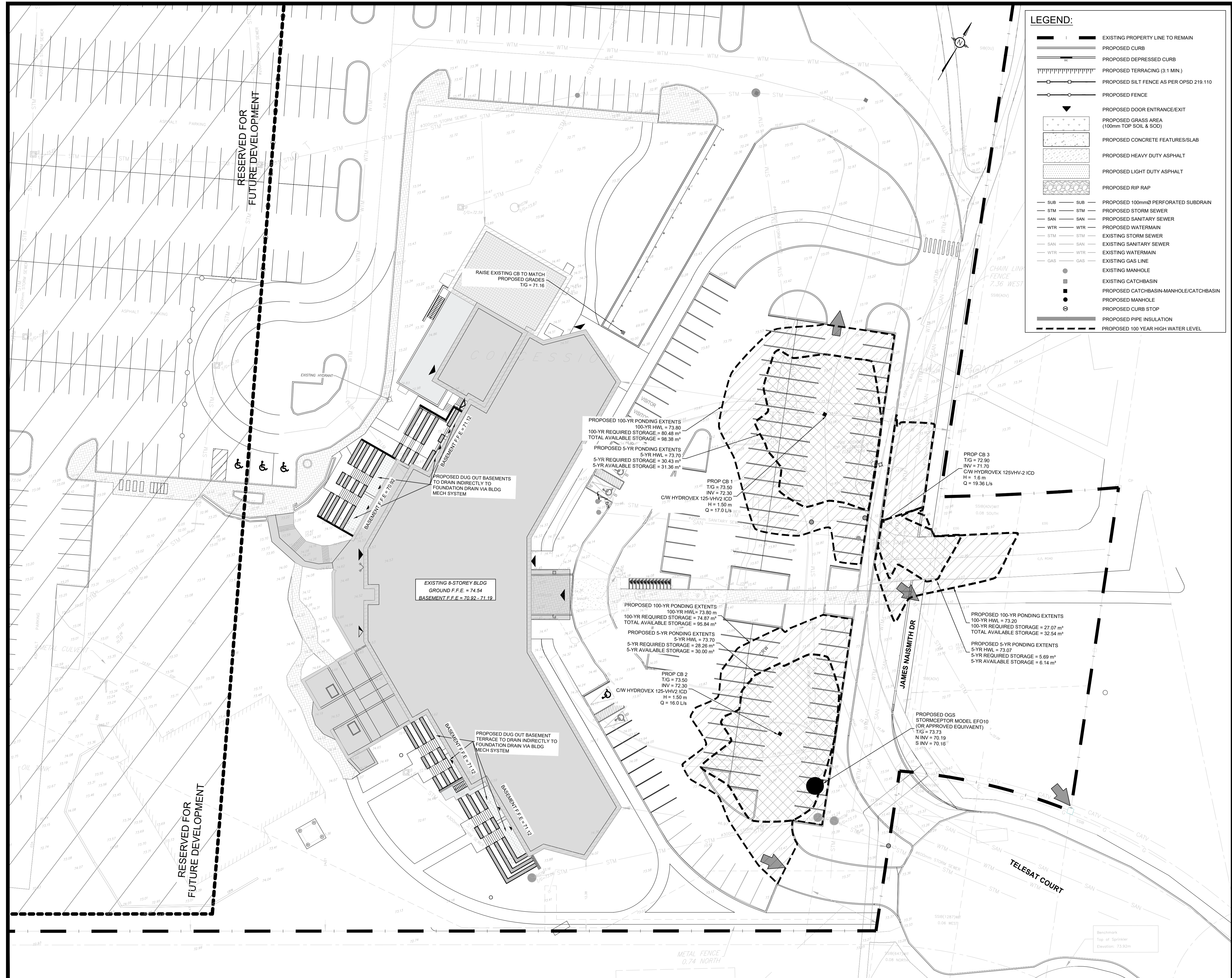
DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: PROPOSED 8 STOREY APARTMENT BUILDING 1600 JAMES NAISMITH DRIVE OTTAWA, ON

DRAWING TITLE: SERVICING PLAN

PROJECT NO: 220142
DATE: MARCH 2022





LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIST
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED RIP RAP
	PROPOSED 100mm PERFORATED SUBDRAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED CURB STOP
	PROPOSED PIPE INSULATION
	PROPOSED 100 YEAR HIGH WATER LEVEL

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SCALE: 1:300

01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	12 MAY 2022
No.	REVISIONS	BY	DATE

SUBJECT TO APPROVAL

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRJ
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www.lri.ca | (613) 842-3434

CLIENT

1600 JAMES NAISMITH LP
1460 THE QUEENSWAY, SUITE M264,
TORONTO, ON, M8Z 1S4

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT

PROPOSED 8 STOREY APARTMENT BUILDING
1600 JAMES NAISMITH DRIVE
OTTAWA, ON

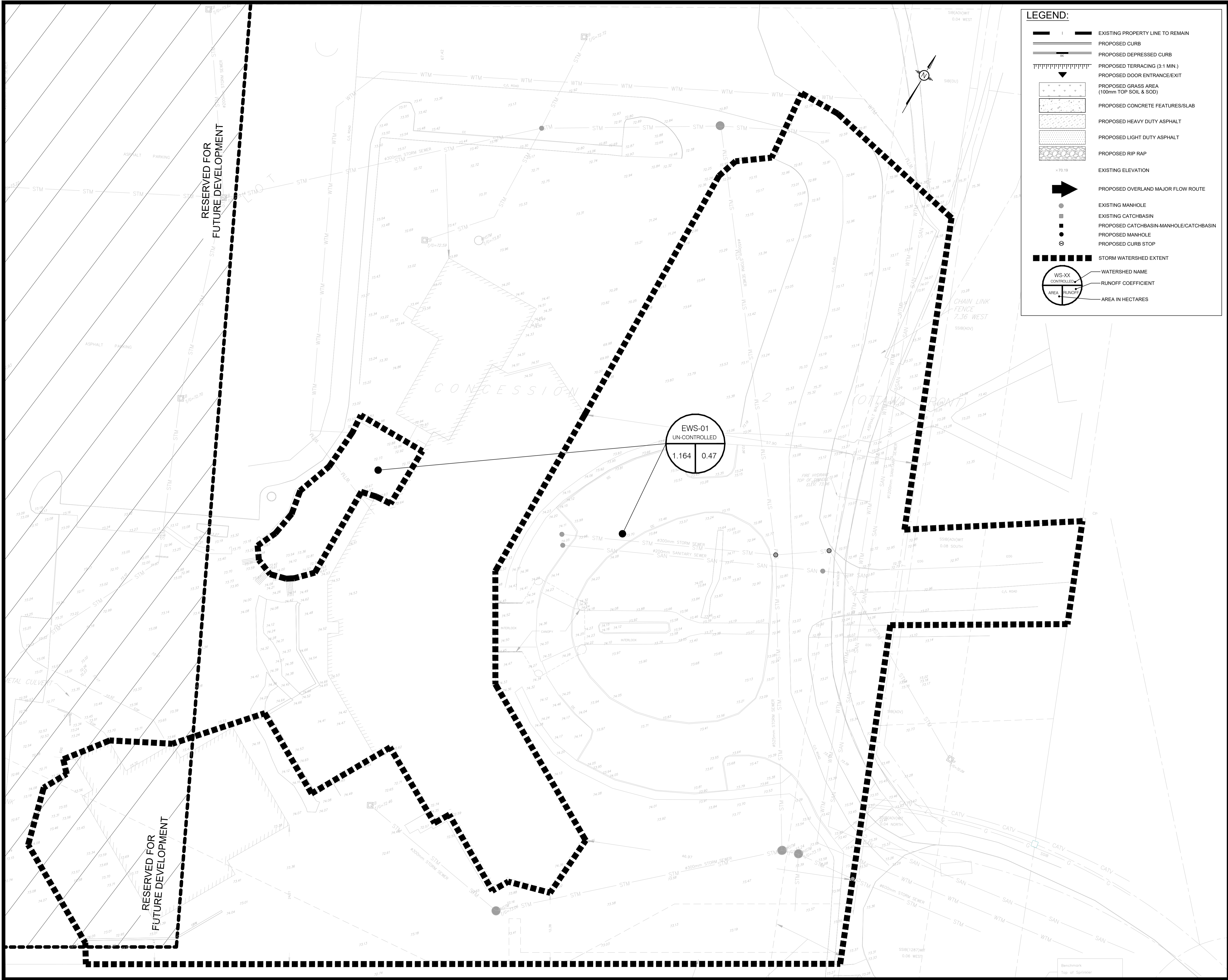
DRAWING TITLE

STORMWATER MANAGEMENT PLAN

PROJECT NO. 220142

DATE MARCH 2022

C601



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
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- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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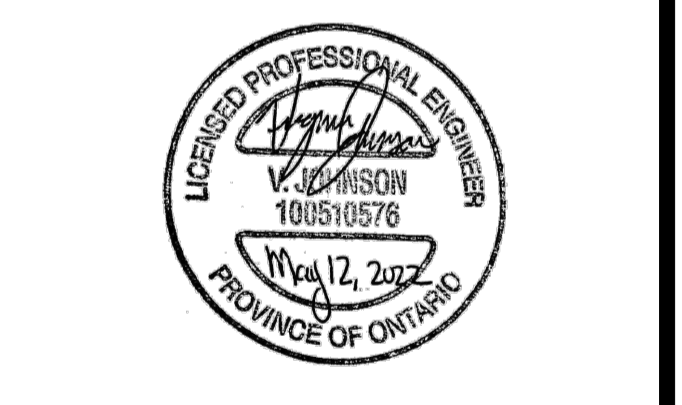
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CLIENT
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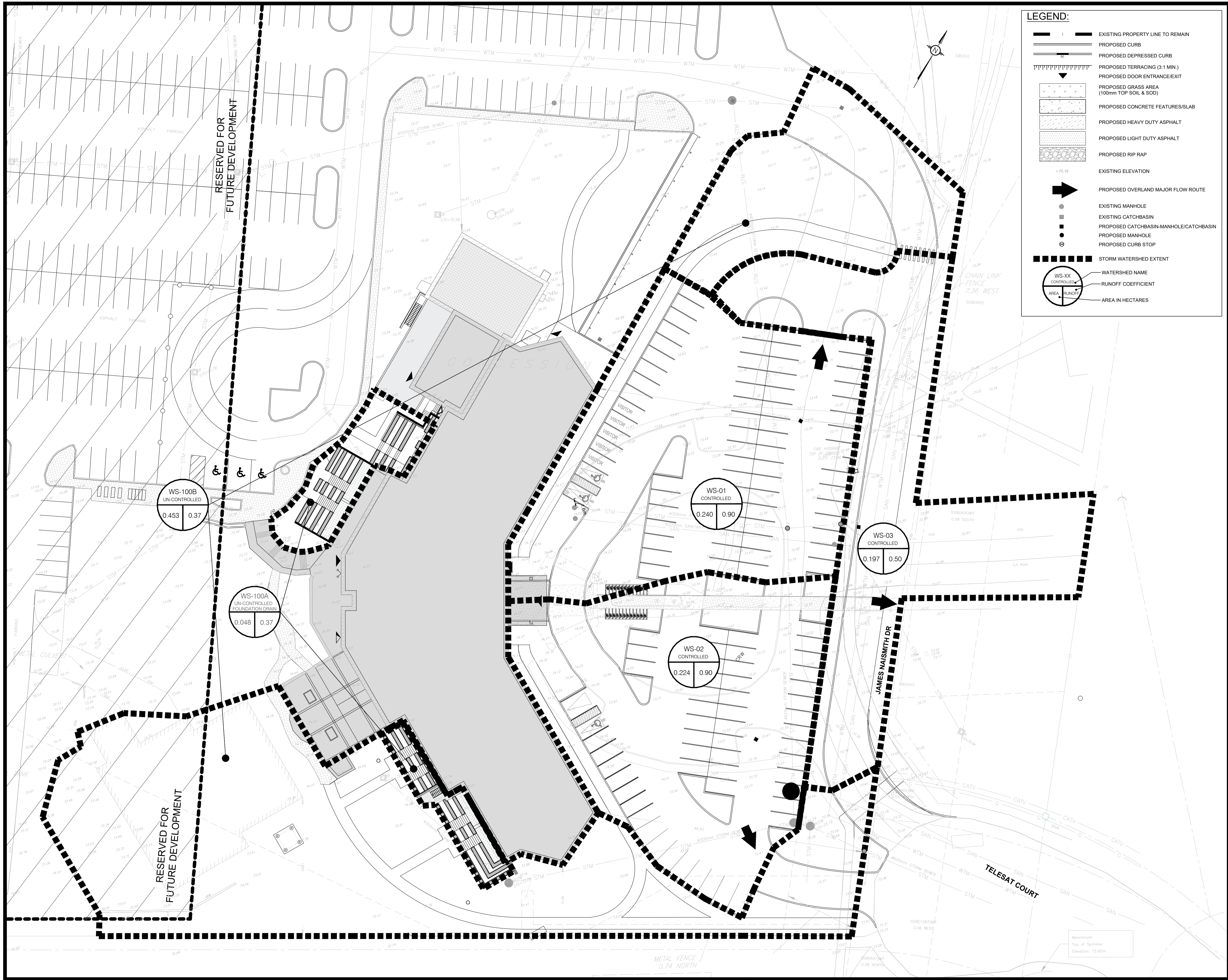
PROJECT
PROPOSED 8 STOREY APARTMENT BUILDING
1600 JAMES NAISMITH DRIVE
OTTAWA, ON

DRAWING TITLE
PRE-DEVELOPMENT
WATERSHED PLAN

PROJECT NO.
220142

DATE
MARCH 2022

C701



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
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DESIGNED BY:	DRAWN BY:	APPROVED BY:
A.S.	A.S.	V.J.

PROJECT: PROPOSED 8 STOREY APARTMENT BUILDING
 1600 JAMES NAISMITH DRIVE
 OTTAWA, ON

DRAWING TITLE: POST-DEVELOPMENT
 WATERSHED PLAN

PROJECT NO.	220142
DATE	MARCH 2022

C702

