

FENGATE/CANDEREL LIMITED PARTNERSHIP

1209 ST LAURENT BLVD.

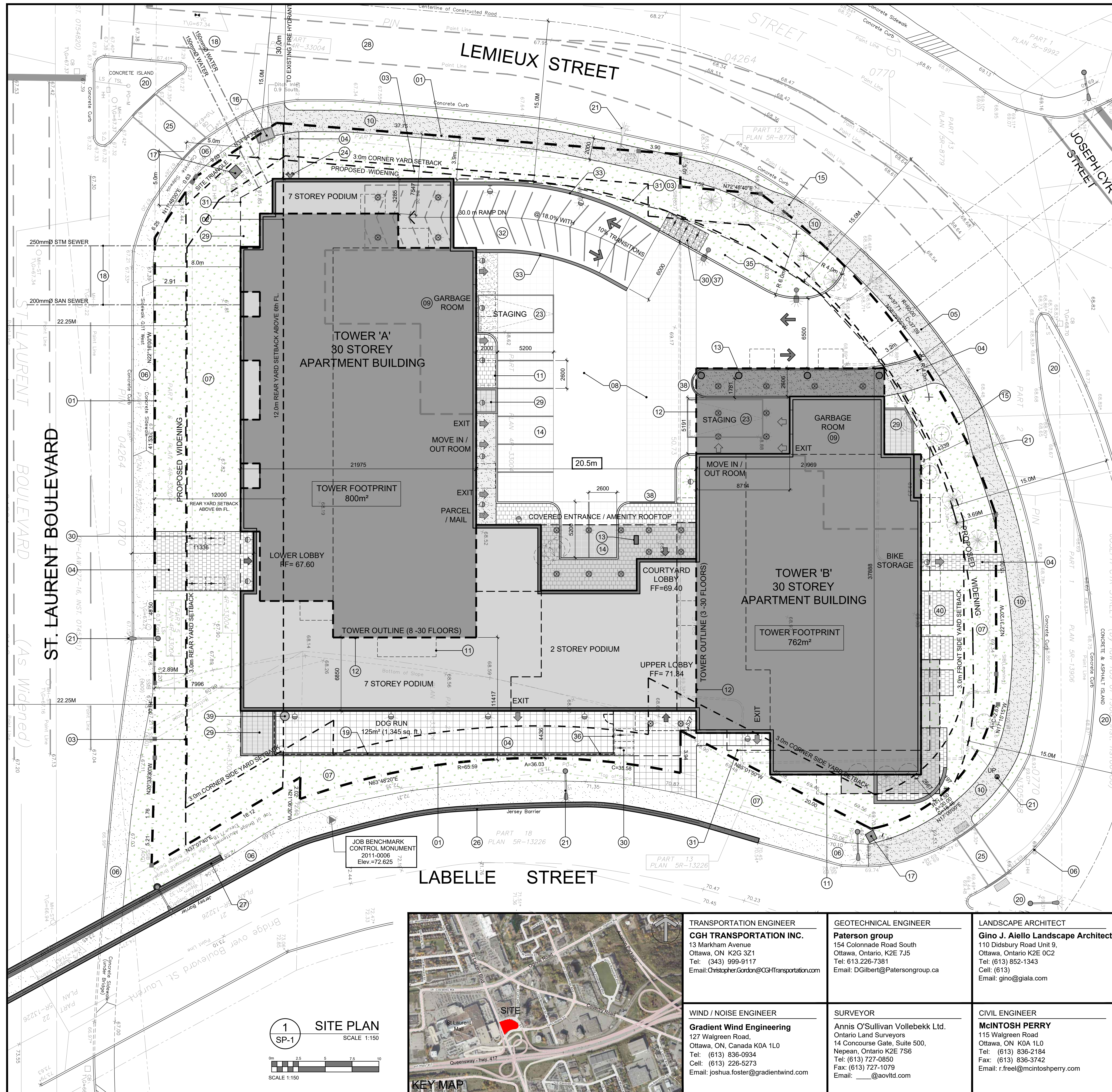
K1J 1A2, OTTAWA, ONTARIO

RLA PROJECT #: 2203

ISSUED FOR SPC 1st COMMENT RESPONSE

2022-12-14





PROJECT INFORMATION

Zoning By-law 2006-250 Consolidation TD3 SITE AREA 0.428 ha 4,279.77 sq. m 31,399 sq. ft.

ZONING	REQUIRED	PROVIDED
BUILDING HEIGHT	30 STOREYS / 90.0m	30 STOREYS / 95.0m
GRADE (GEODETTIC ELEVATION - ASL)	69.20m ASL	69.20m ASL
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0m	4.6m
DENSITY - MINIMUM 350 units/hectare	122 UNITS	276 UNITS
TOWER SEPARATION	24.0m	20.5m
FRONT YARD SETBACK	3.0m	0.0m
CORNER YARD SETBACK (North - Lemieux / South - Labelle)	3.0m / 3.0m	3.0m / 0.0m
REAR YARD SETBACK (GROUND TO 5th FLOOR)	0.0m	8.0m
REAR YARD SETBACK (ABOVE 6th STOREY)	12.0m	8.0m
PUBLIC STREET SETBACK FOR BUILDINGS WITHIN 10m OF A LOT LINE AT EITHER 2nd THROUGH 7th FLOOR	2.5m	0.0m
AMENITY AREA - TOTAL PER UNIT	6.0m ²	7.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0m ²	3.2m ²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	85.6m ²	125.0m ²
VEHICLE PARKING - RESIDENTIAL (AREA "Z" - MIN. 0 / MAX. 1.75 PER UNIT)	NOT REQUIRED	299
VEHICLE PARKING - VISITOR ONLY (MAX. 30 PER BUILDING AFTER 12 UNITS)	60	60
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	322	658
BIKE STORAGE	322	658
BIKE STORAGE	322	658
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m
ACTIVE STREET FRONTAGE FOR ST. LAURENT (50% OF LOT WIDTH)	29.26m L	49.0m L

DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACKS
- PROPOSED ROAD WIDENING
- HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
- DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, SEE CIVIL
- EXISTING STREET CURB AND SIDEWALK
- SOFT LANDSCAPING, SEE LANDSCAPE PLAN
- ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
- INTERNAL GARAGE ROOM
- 2.0m WIDE CONCRETE SIDEWALK
- OUTLINE OF PRIVATE BALCONY ABOVE
- OUTLINE OF TOWER ABOVE
- STRUCTURAL SUPPORT FOR BUILDING ABOVE
- SURFACE PARKING SPACE 2.6 X 5.2 M
- EXISTING TREE TO BE REMOVED
- EXISTING STORM GRATE
- EXISTING UTILITY KIOSK
- PROPOSED SERVICES
- RETAINING WALL, SEE CIVIL FOR HEIGHT
- EXISTING CONCRETE / ASPHALT ISLAND
- EXISTING UTILITY / LIGHT POLE
- 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
- 3.5 X 7.0m LOADING SPACE
- SIAMSE CONNECTION
- EXISTING CROSSWALK WITH DEPRESSED CURBS
- EXISTING CONCRETE JERSEY BARRIER
- EXISTING CONCRETE OVERPASS GUARDRAIL WITH METAL PIPE RAILING
- EXISTING FIRE HYDRANT
- INTAKE / EXHAUST GRILL
- BICYCLE PARKING SPACE WITH RACK
- OUTLINE OF BELOW GRADE PARKING DECK
- HEATED GARAGE RAMP WITH TRENCH DRAIN
- CONCRETE RETAINING WALL WITH GUARD RAILING
- RELOCATE UTILITY / LIGHT POLE AS NEEDED
- TEMPORARY SNOW STORAGE - SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
- PRIVACY FENCE
- WASHED PEA-STONE SURFACE
- DEPRESSED CURB
- ACCESS TO INTERNAL CISTERN
- AT GRADE PRIVATE PATIOS

GROSS BUILDING FLOOR AREA

(OTTAWA ZONING DEFINITION)

BELOW GRADE PARKING LEVEL	TOWER A	TOWER B	TOTAL
GROUND FLOOR	199.6 sq. m	2,149.8 sq. m	2,349.4 sq. m
2nd FLOOR - TOWER 'A'	694.6 sq. m	7,477.7 sq. m	8,172.3 sq. m
2nd FLOOR - TOWER 'B'	485.5 sq. m	5,226.5 sq. m	5,712.0 sq. m
3rd - 7th FLOOR - TOWER 'A'	5 x 864.9 sq. m	4,324.6 sq. m	4,324.6 sq. m
3rd - 7th FLOOR - TOWER 'B'	5 x 9,310.9 sq. m	46,550.5 sq. m	46,550.5 sq. m
8th FLOOR - TOWER 'A'	5 x 644.8 sq. m	3,224.2 sq. m	3,224.2 sq. m
8th FLOOR - TOWER 'B'	5 x 6,009.9 sq. m	30,049.5 sq. m	30,049.5 sq. m
9th - 20th FLOOR - TOWER 'A'	12 x 622.8 sq. m	7,473.8 sq. m	7,473.8 sq. m
9th - 20th FLOOR - TOWER 'B'	12 x 6,704.5 sq. m	80,448.0 sq. m	80,448.0 sq. m
21st - 30th FLOOR - TOWER 'A'	10 x 626.8 sq. m	6,268.8 sq. m	6,268.8 sq. m
21st - 30th FLOOR - TOWER 'B'	10 x 6,706.6 sq. m	67,066.0 sq. m	67,066.0 sq. m
9th - 30th FLOOR - TOWER 'B'	22 x 587.3 sq. m	12,921.3 sq. m	12,921.3 sq. m
9th - 30th FLOOR - TOWER 'A'	22 x 6,322.5 sq. m	139,084.5 sq. m	139,084.5 sq. m
TOTAL AREA ABOVE GRADE		36,797.9 sq. m	36,797.9 sq. m

UNIT STATISTICS

	TOWER A	TOWER B	TOTAL
STUDIO	15	18	33
1 BEDROOM UNIT	184	164	348
2 BEDROOM UNIT	136	127	263
TOTAL	335	309	644

CAR PARKING

REQUIRED

VISITOR - TOWER A	-0.1 PER UNIT AFTER 12 UNITS	30
VISITOR - TOWER B	-0.1 PER UNIT AFTER 12 UNITS	30
TOTAL		60

MAXIMUM PARKING AS PER TABLE 103 = 1.75 PER UNIT 1,175

PROVIDED

RESIDENCE	-0.46 PER UNIT (644 UNITS)	299
VISITOR	-0.093 PER UNIT (644 UNITS)	60
TOTAL		359

STANDARD PARKING SPACE 2.6m X 5.2m
SMALL CAR PARKING SPACE 2.4m X 4.6m
LOADING SPACE 3.5m X 7.0m

BICYCLE PARKING

REQUIRED - 0.5 PER UNIT (644 UNITS) 322

PROVIDED

INTERIOR	622
EXTERIOR	14
TOTAL	636

AMENITY AREA

GRADE EXTERIOR - COMMUNAL	125.0 sq. m
1st FLOOR INTERIOR - COMMUNAL	546.0 sq. m
2nd FLOOR INTERIOR - COMMUNAL	467.0 sq. m
2nd FLOOR TERRACE - COMMUNAL	114.0 sq. m
31st FLOOR INTERIOR - COMMUNAL	245.0 sq. m
31st FLOOR TERRACE - COMMUNAL	548.0 sq. m
BALCONIES / TERRACE - PRIVATE	2,500.0 sq. m
TOTAL	4,545.0 sq. m
TOTAL COMMUNAL	2,045.0 sq. m
REQUIRED (644 UNITS X 6 m ²) = 3,864 sq. m	
REQUIRED COMMUNAL @ 50% = 1,023 sq. m	

SITE COVERAGE

BUILDING FOOTPRINT	46.3%	1,979.5 sq. m
DRIVING SURFACE	17.9%	766.4 sq. m
LANDSCAPE AREA	35.8%	1,533.9 sq. m
TOTAL	100.0%	4,279.77 sq. m

REFUGES REQUIREMENT (644 UNITS)

GARBAGE	-0.11 PER UNIT	71 YARDS
RECYCLING GMP	-0.018 PER UNIT	12 YARDS
RECYCLING FIBER	-0.038 PER UNIT	25 YARDS
COMPOST	-240L PER 50 UNITS	7

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- PROPOSED CONCRETE SURFACE
- SOFT LANDSCAPING
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- UNIT BALCONY DOOR / FIRE EXIT
- PROPERTY LINE
- PROPOSED WIDENING
- EXISTING TREE TO BE REMOVED

REVISIONS

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC ROUND 1 CITY COMMENT	Dec 14, 22
2	REVISED AS PER OWNER REQUEST	Nov 11, 22
3	ISSUED FOR GENERAL UPDATES	July 12, 22
4	ISSUED FOR SPC APPLICATION	May 20, 22
5	ISSUED FOR OWNER / CONSULTANT REVIEW	May 18, 22
6	ISSUED FOR OWNER / CONSULTANT REVIEW	May 13, 22
7	ISSUED FOR OWNER / CONSULTANT REVIEW	Apr 27, 22
8	ISSUED FOR DESIGN CONCEPT	Apr 12, 22

CLIENT

FENGATE Asset Management
Canderel

ARCHITECT: **RODERICK LAHEY ARCHITECT INC.**
56 Beech Street, Ottawa, Ontario K1S 3J6
1.613.724.9932 1.613.724.1209 www.rodericklahey.ca

PROJECT TITLE: **1209 ST LAURENT BLVD.**

OTTAWA ONTARIO
SHEET TITLE: **SITE PLAN**


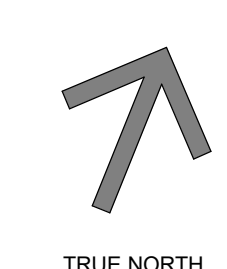
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No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS: DDMMYY

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

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PROJECT TITLE:
1209 ST LAURENT BLVD.

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 SHEET TITLE:
P2-4 PLAN

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PROJECT No: 2203	

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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:

P1 PLAN

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PROJECT No: 2203	


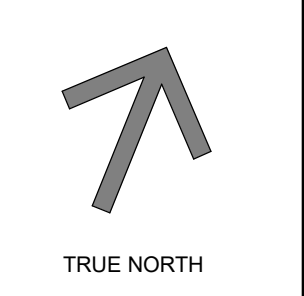
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11	FOR COORD	22-12-12

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PROJECT TITLE:
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SHEET TITLE:
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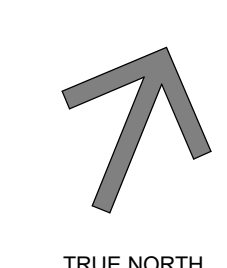
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:
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 K1J 1A2

SHEET TITLE:
GROUND FLOOR PLAN

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PROJECT No: 2203	


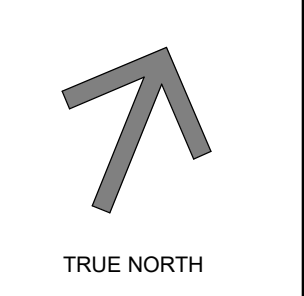
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:
L2 PLAN

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PROJECT No: 2203	

ST LAURENT BLVD.

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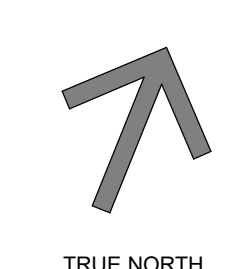
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:

1209 ST LAURENT BLVD.

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SHEET TITLE:

L3-L7- TYPICAL PODIUM PLAN


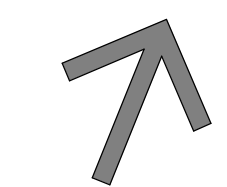
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12	SPC Comment Response 1	22-12-14
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1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:
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SHEET TITLE:
L8 PLAN

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PROJECT No: 2203	


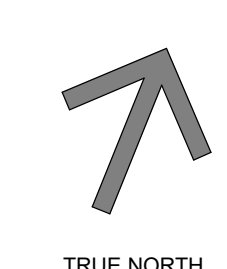
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SHEET TITLE:
 TYPICAL TOWER PLAN 1

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PROJECT No: 2203	


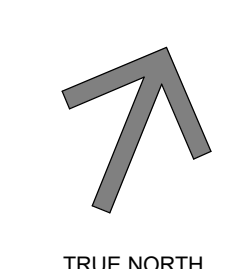
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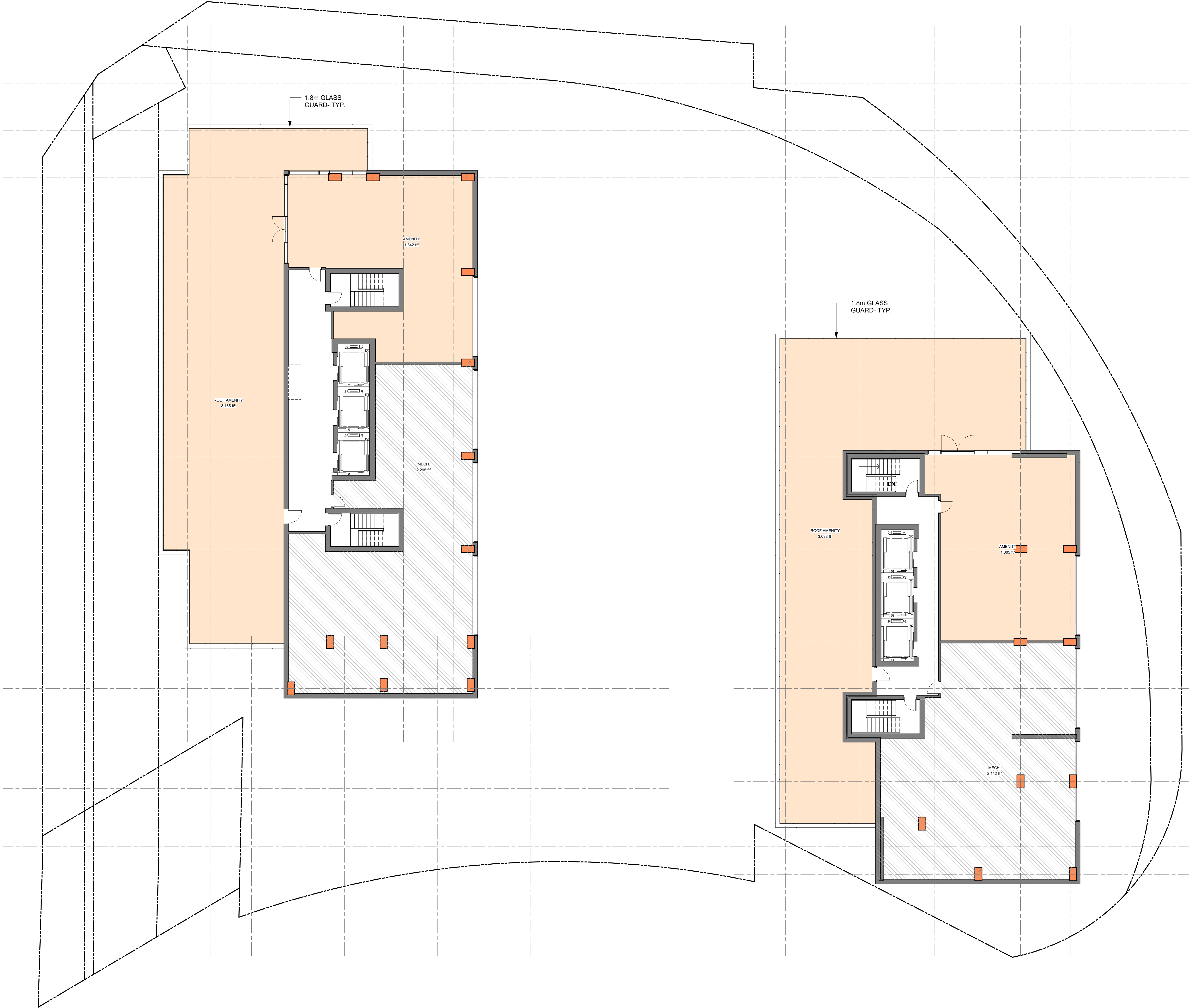
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TYPICAL TOWER PLAN 2


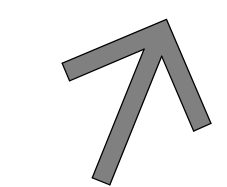
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11	FOR COORD	22-12-12

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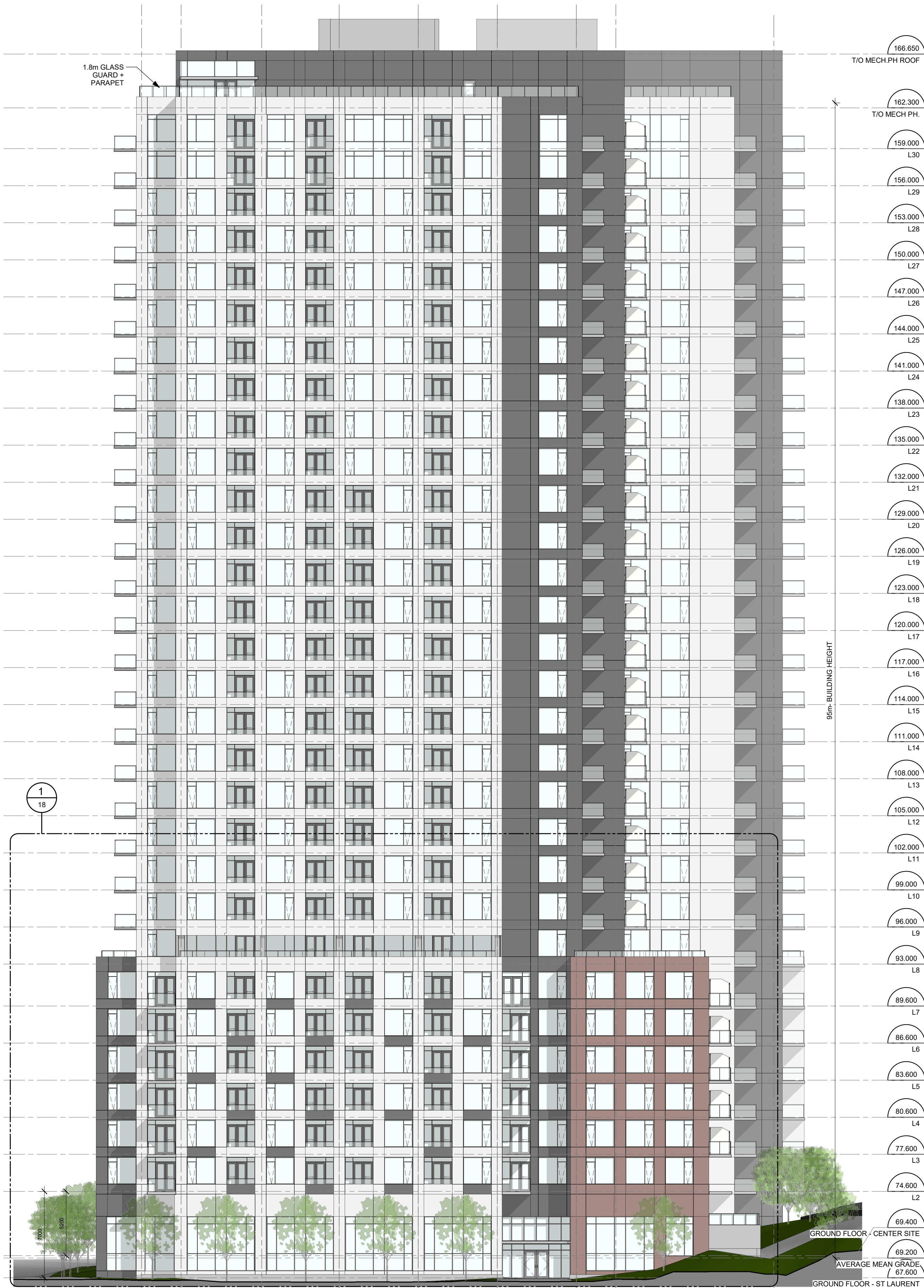
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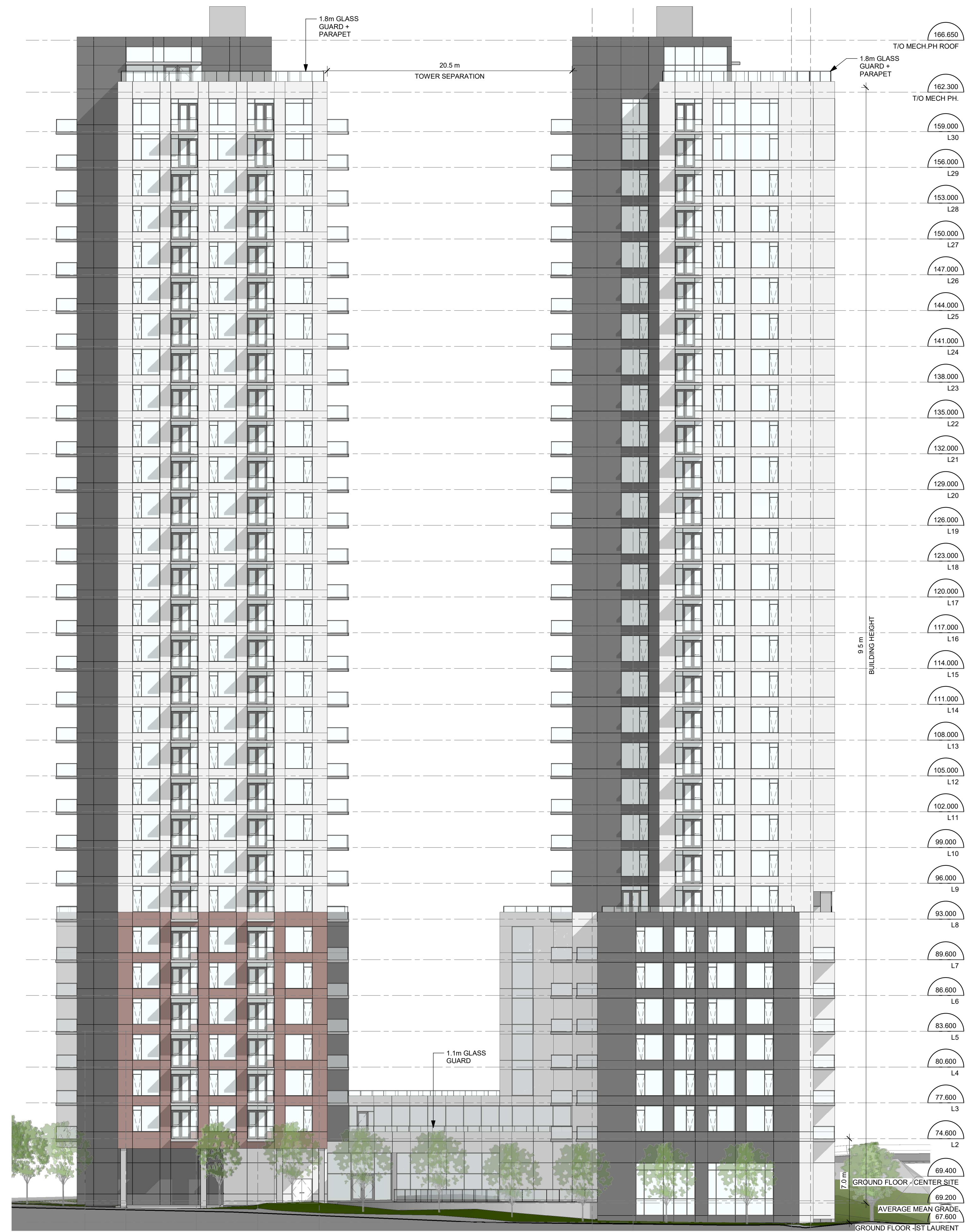
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PROJECT No: 2203	

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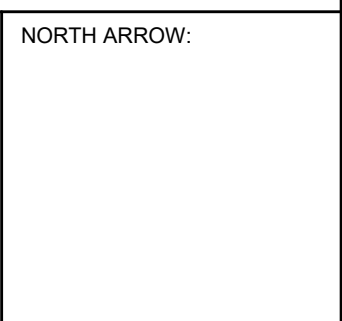


WEST ELEVATION - ST LAURENT



NORTH ELEVATION - LEMIEUX

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

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ARCHITECT: **rla/architecture**
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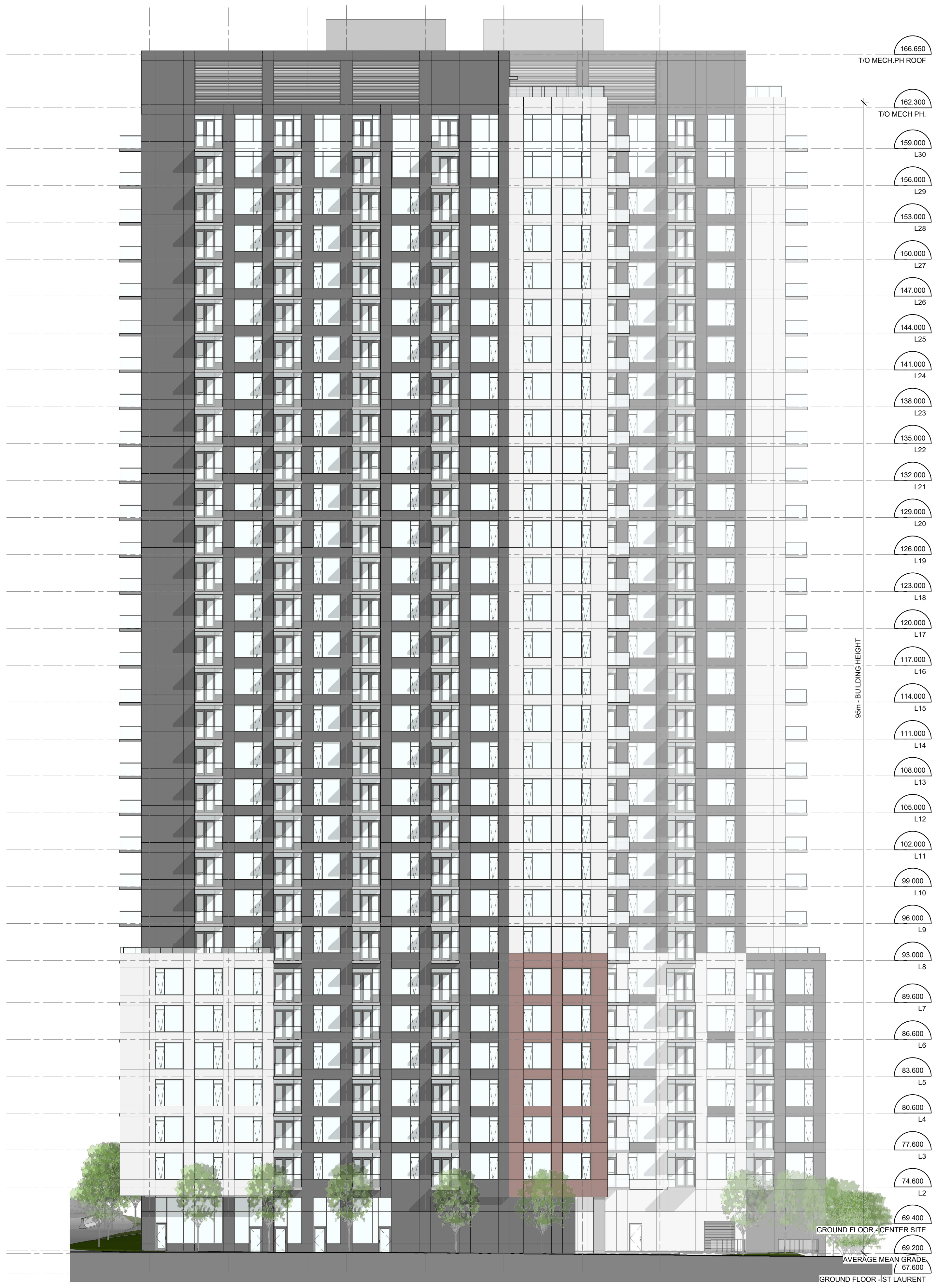
PROJECT TITLE:
1209 ST LAURENT BLVD.
K1J 1A2

SHEET TITLE:
WEST AND NORTH ELEVATIONS

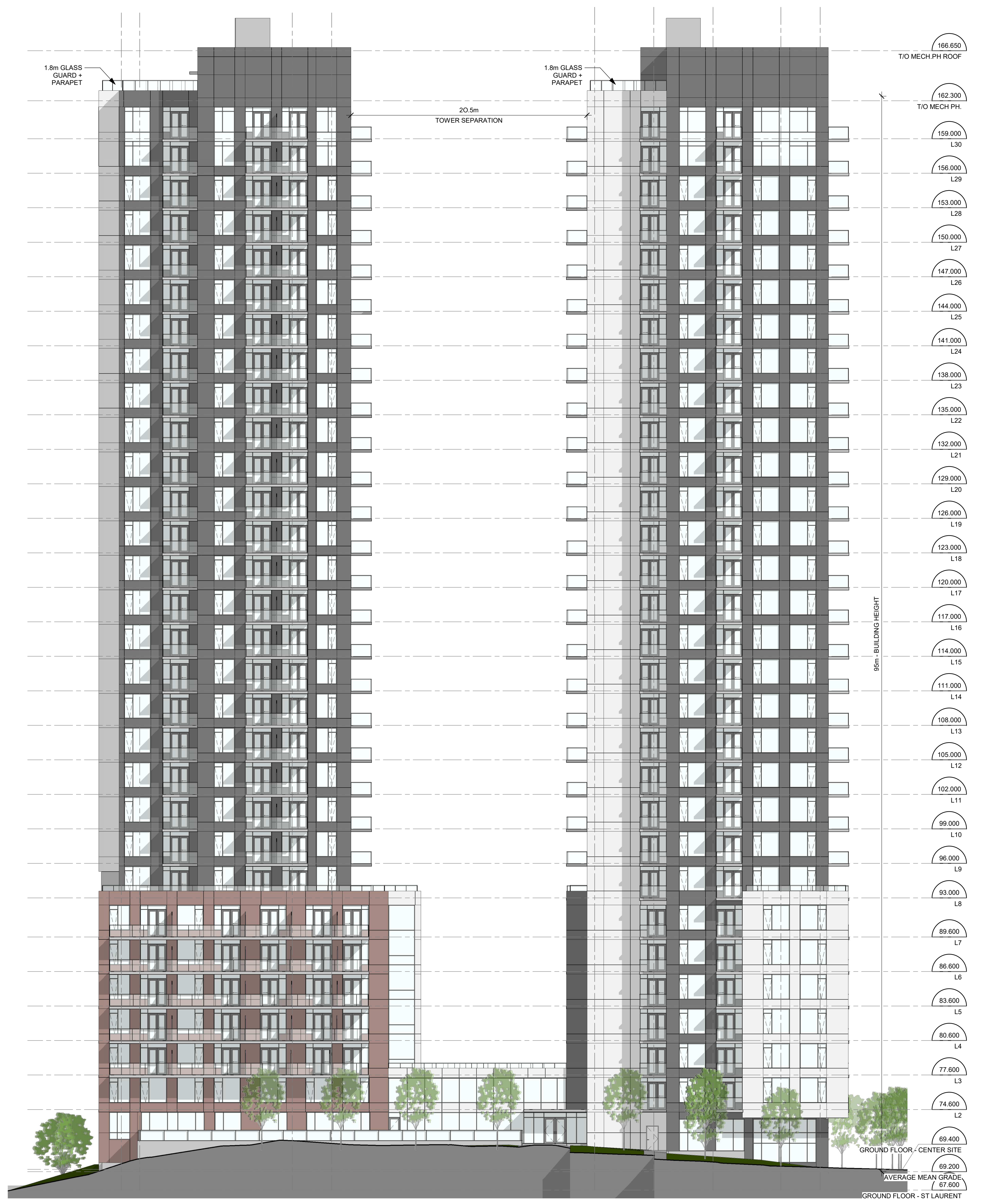
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PROJECT No: 2203	

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EAST ELEVATION - LEMIEUX



SOUTH ELEVATION - QUEENSWAY

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **FENGATE** Asset Management
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ARCHITECT: **rla/architecture**
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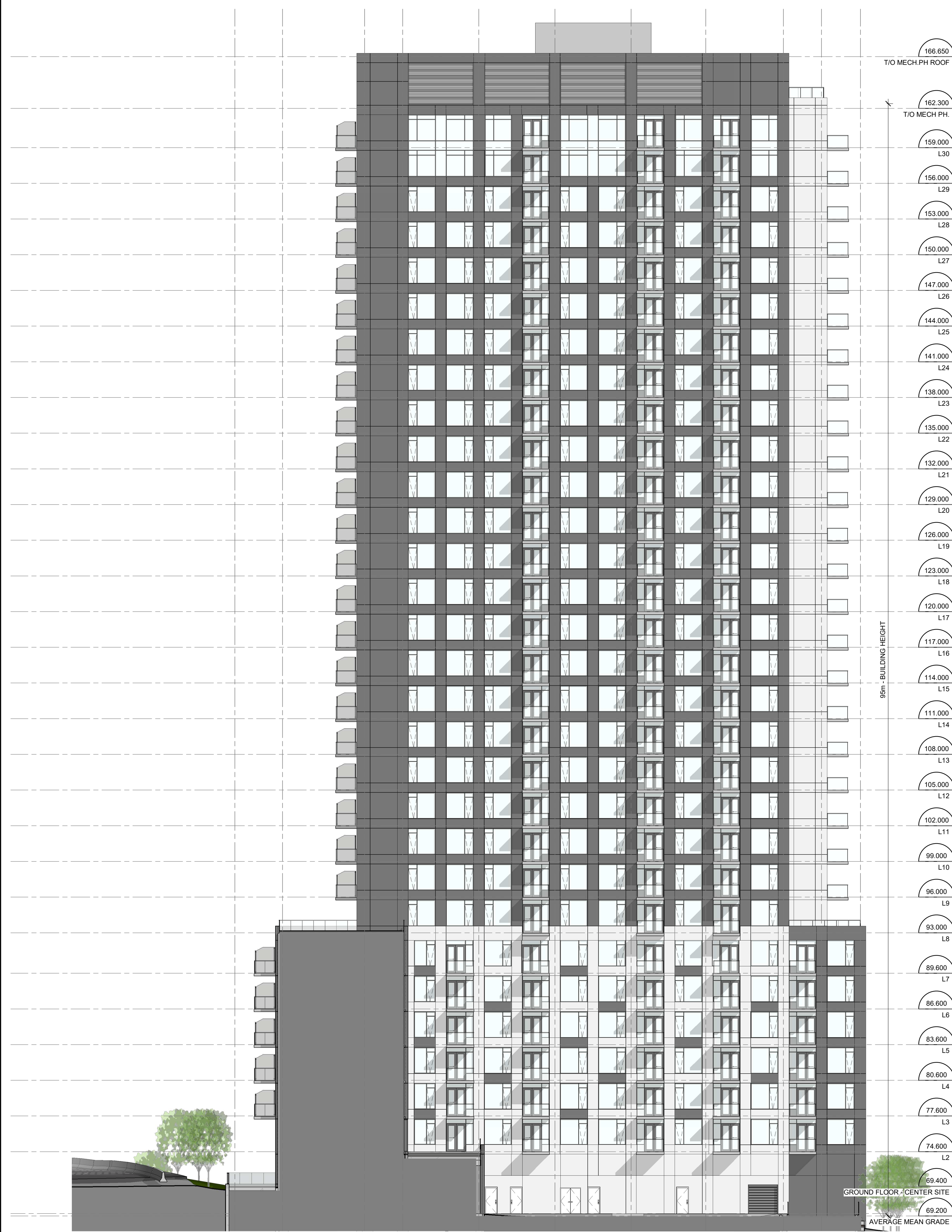
PROJECT TITLE:
1209 ST LAURENT BLVD.
 K1J 1A2

SHEET TITLE:
EAST AND SOUTH ELEVATIONS

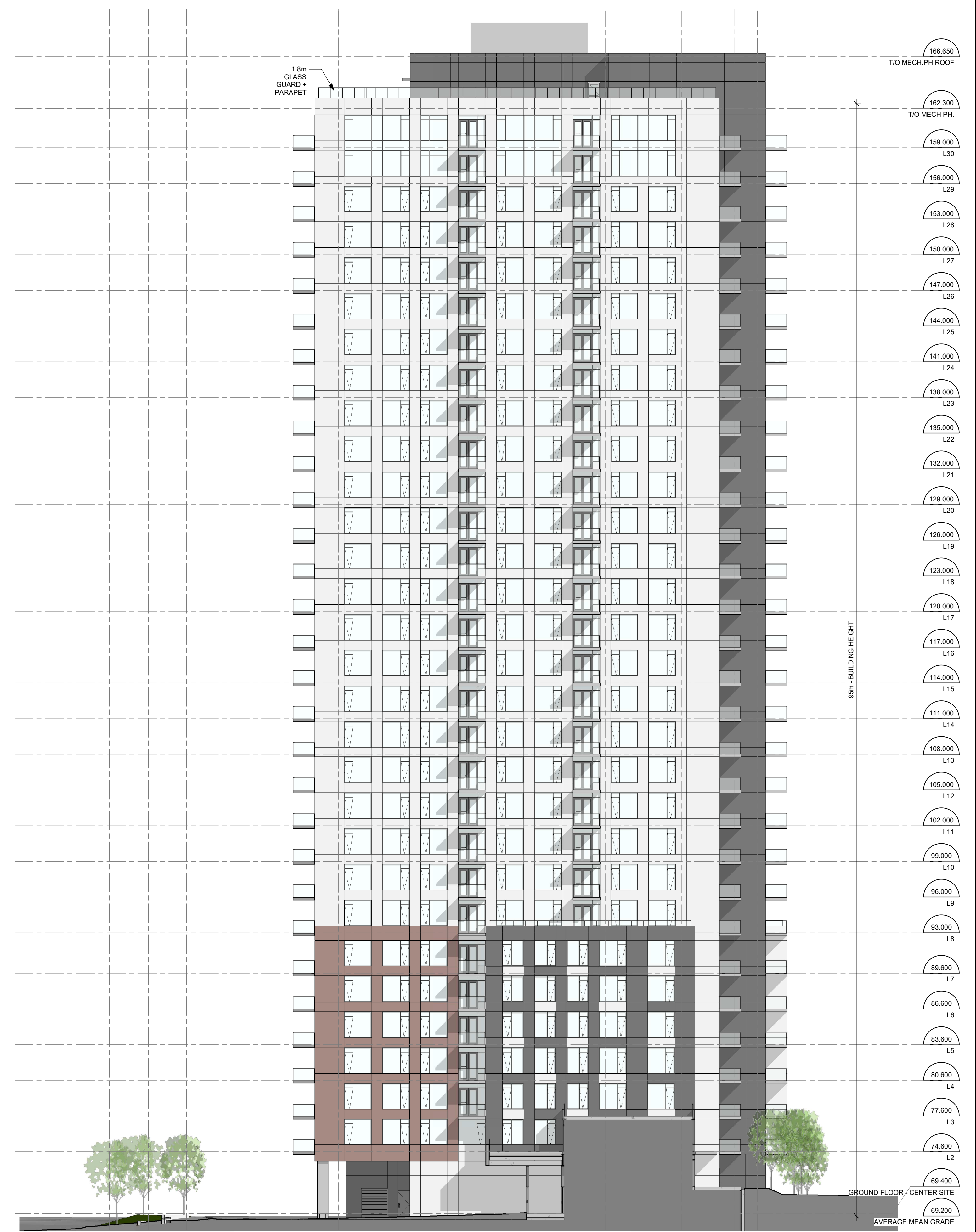
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SCALE: 1 : 200	SHEET No: 13
PROJECT No: 2203	

PAPER SIZE: ISO Full (B1) (1070.00 x 1000.00mm) PLOT SCALE: 1:1

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INTERNAL ELEVATION - TOWER A



INTERNAL ELEVATION - TOWER B

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

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PROJECT TITLE:

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SHEET TITLE:

INTERNAL COURTYARD ELEVATIONS

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SCALE: 1 : 200	SHEET No: 14
PROJECT No: 2203	

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No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

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PROJECT TITLE:

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K1J 1A2

SHEET TITLE:

MATERIALS

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SCALE: 1 : 100	SHEET No: 18
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm)
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VIEW SOUTH FROM ST LAURENT



VIEW NORTH FROM THE QUEENSWAY



VIEW SOUTH FROM JOSEPH CYR

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No.	DESCRIPTION	DDMMYY
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

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PROJECT TITLE:

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K1J 1A2

SHEET TITLE:

PERSPECTIVES

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: 19
PROJECT No: 2203	

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VIEW NORTH-EAST OVER BRIDGE



VIEW NORTH-WEST FROM LEMIEUX/LABELLE



VIEW SOUTH FROM ST LAURENT



VIEW SOUTH-WEST FROM JOSEPH CYR

12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24
No.	DESCRIPTION	DDIMMY

REVISIONS:

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PROJECT TITLE:
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 SHEET TITLE:
PERSPECTIVES

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: 20
PROJECT No: 2203	

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