

# Access Storage 125 Colonnade

125 Colonnade, Ottawa, Ontario K2E 7L9



ARCHITECTURE | 49

1345 ROSEMOUNT AVENUE  
CORNWALL, ONTARIO, CANADA K6J 3E5  
TEL: 613-933-5604 | FAX: 613-936-0335 | ARCHITECTURE49.COM

REVISED FOR CITY COMMENTS

DATE: DECEMBER 19 2022

<b>Zone:</b>	IG5 - General Industrial 5
<b>Permitted Uses (Condensed):</b>	Light Industrial Uses Office Warehouse Truck transport terminal
<b>Warehouse Use</b>	<b>Definition</b>
	Warehouse means a building used for the storage and distribution of goods and equipment including self-storage units and mini-warehouses and may include one accessory dwelling unit for a facility manager. (entrepôt)
<b>Minimum Lot Area</b>	1,000 sq. m.
<b>Minimum Lot Width</b>	NO MINIMUM
<b>Maximum lot coverage</b>	65%
<b>(d) Minimum front yard and corner side yard</b>	3 m
<b>(e) Minimum interior side yard</b>	(i) for uses listed in subsection 199(1) abutting a residential or institutional zone (ii) all other cases
	15 m 3 m
<b>(f) Minimum rear yard</b>	(i) for uses listed in subsection 199(1) abutting a residential or institutional zone (ii) all other cases
	15 m 3 m
<b>(g) Maximum floor space index</b>	(i) within 20 metres of a property line abutting a residential zone (ii) in all other cases
	2, unless otherwise shown on the zoning maps 22 m, unless otherwise shown on the zoning maps or schedules
<b>(h) Maximum building height</b>	(i) abutting a residential or institutional zone (ii) abutting a street (iii) in all other cases
	3 m 3 m No minimum
<b>Subzone IG5 Additional restrictions</b>	The following uses are prohibited
	animal care establishment automobile dealership car wash convenience store gas bar (OMB Order #PL080959 issued March 18, 2010) 2.4 per 100 sq. m. of gross floor area
<b>Parking</b>	Warehouse (Area C) 0.8 per 100 m <sup>2</sup> for the first 5000 m <sup>2</sup> of gross floor area 0.4 per 100 m <sup>2</sup> above 5000 m <sup>2</sup> of gross floor area

- SITE PLAN LEGEND**
- SHADED AREA DENOTES EXISTING BUILDING
  - HATCH AREA DENOTES PROPOSED BUILDINGS
  - HATCH AREA DENOTES CONCRETE
  - SHADED AREA DENOTES PROPOSED NEW ASPHALT
  - EXIT LOCATIONS
  - VEGETATION (REFER TO LANDSCAPE DRAWINGS)
  - DENOTES TO PROVIDE "NO PARKING/FIRE ACCESS ROUTE" SIGN AS PER CITY OF OTTAWA SPECIFICATIONS.
  - DENOTES TO PROVIDE "NO PARKING/BARRIER FREE PARKING" SIGN AS PER CITY OF OTTAWA SPECIFICATIONS.
- GENERAL NOTES**
- CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACTOR ADMINISTRATOR PRIOR TO CONSTRUCTION.
  - LAYOUT TO APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS.
  - ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL, REMOVALS, DISPOSALS AND ROUGH GRADING AS REQUIRED AS SHOWN ON ALL PLANS, DETAILS AND SPECIFICATIONS.
  - LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE AREA OF THE UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR MUST CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  - ALL EXISTING EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SLOPED AREAS, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CONTRACT ADMINISTRATOR'S APPROVAL AT THE CONTRACTOR'S OWN COSTS.
  - FOR LANDSCAPE, REFER TO LANDSCAPE DRAWINGS.
  - FOR UTILITIES, GRADING, ETC. REFER TO CIVIL DRAWINGS.
  - LEGAL SURVEY BOUNDARIES AND TOPOGRAPHICAL INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOTS 28 & 29 CONCESSION A (RIEUAU FRONT) PART OF LOT 29 CONCESSION B (RIEUAU FRONT) AND PART OF THE ROAD ALLOWANCE BETWEEN CONCESSIONS A & B (RIEUAU FRONT) (CLOSED BY BY-LAW No. 95 IN ST. CATHERINE'S, DATED MARCH 9, 2021, FROM THE OFFICE OF FARLEY, SMITH & DENNIS SURVEYING LTD.

**SITE PLAN INFORMATION**

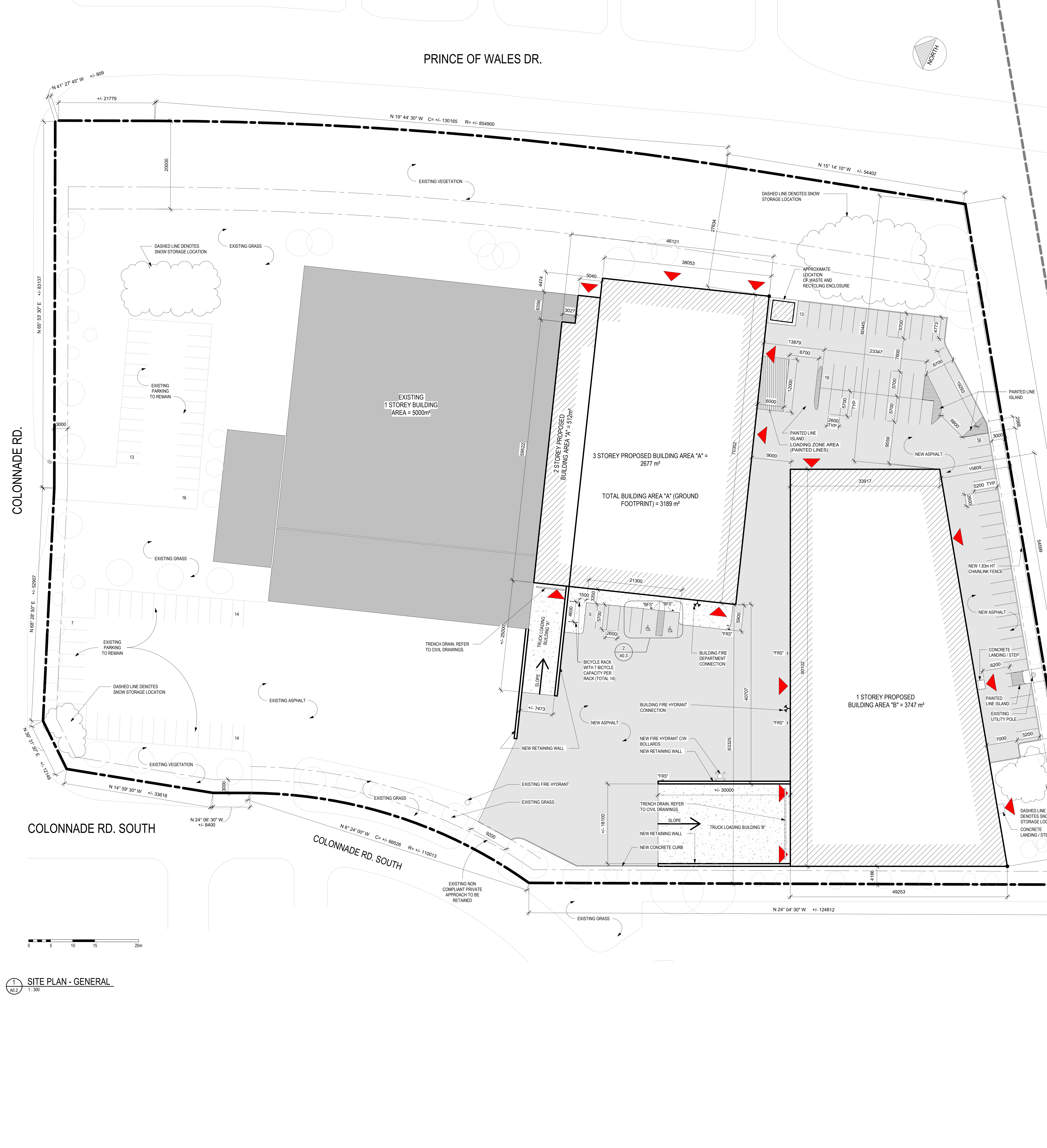
<b>LEGAL DESCRIPTION</b>	PART OF LOTS 28 & 29 CONCESSION A (RIEUAU FRONT) PART OF LOT 29 (RIEUAU FRONT) AND PART OF THE ROAD ALLOWANCE BETWEEN CONCESSIONS A & B (RIEUAU FRONT), CITY OF OTTAWA
<b>BEARINGS</b>	BEARINGS ARE GRID, AND ARE REFERRED TO THE WESTERLY LIMIT OF PRINCE OF WALES DRIVE, HAVING A BEARING OF N 24° 04' 30" W AS SHOWN ON PLAN AR-1565
<b>P.I.N.</b>	04052-0524
<b>SITE AREA</b>	34,600m <sup>2</sup>
<b>MAX. ALLOWABLE SITE COVERAGE</b>	65%
<b>MAX. SITE COVERAGE</b>	22,490m <sup>2</sup> (65%)
<b>EXISTING BUILDING</b>	5,000m <sup>2</sup>
<b>MAX. ALLOWABLE SITE COVERAGE</b>	17,490m <sup>2</sup> (50.55%)
<b>PROPOSED NEW BUILDING AREA</b>	6,936m <sup>2</sup>
<b>PROPOSED SITE COVERAGE</b>	5000m <sup>2</sup> + 6936m <sup>2</sup> / 34600 = 34%

**PARKING**

<b>PARKING SPACES REQUIRED</b>	0.8 PER 100m <sup>2</sup> OF GFA (AREA 5,000m <sup>2</sup> ) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 40 REQUIRED, 64 SPACES PROVIDED
<b>PARKING REQUIRED FOR BUILDING A</b>	0.4 PER 100m <sup>2</sup> OF GFA (AREA 9,056m <sup>2</sup> ) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 36 SPACES
<b>PARKING REQUIRED FOR BUILDING B</b>	0.4 PER 100m <sup>2</sup> OF GFA (AREA 3,747m <sup>2</sup> ) FOR WAREHOUSE AND LIGHT INDUSTRIAL USE = TOTAL 15 SPACES
<b>TOTAL PARKING REQUIRED</b>	= 91 SPACES
<b>BARRIER-FREE PARKING SPACES</b>	= 2 REQUIRED, 2 PROVIDED
<b>TOTAL SITE PARKING PROVIDED</b>	= 121 SPACES PLUS 2 BARRIER FREE
<b>LOADING SPACES</b>	= 1 REQUIRED (LIGHT INDUSTRIAL <10,000m <sup>2</sup> GFA) = 4 PROVIDED

**BICYCLE PARKING**

<b>MINIMUM NUMBER OF BICYCLE PARKING SPACES: SEC 111, TABLE 111A (b)</b>	
WAREHOUSE: 1 PER 2000m <sup>2</sup> GFA	= 8,900m <sup>2</sup> / 2000 = 4.5 ROUNDED TO 5
LIGHT INDUSTRIAL: 1 PER 1000m <sup>2</sup> GFA	= 8,900m <sup>2</sup> / 1000 = 8.9 ROUNDED TO 9
<b>TOTAL REQUIRED BICYCLE PARKING</b>	= 14 BICYCLE SPACES REQUIRED



1 SITE PLAN - GENERAL  
 A0.2  
 1:300

CONSULTANT - SUB CONSULTANT  
 CONSULTANT - SUB CONSULTANT



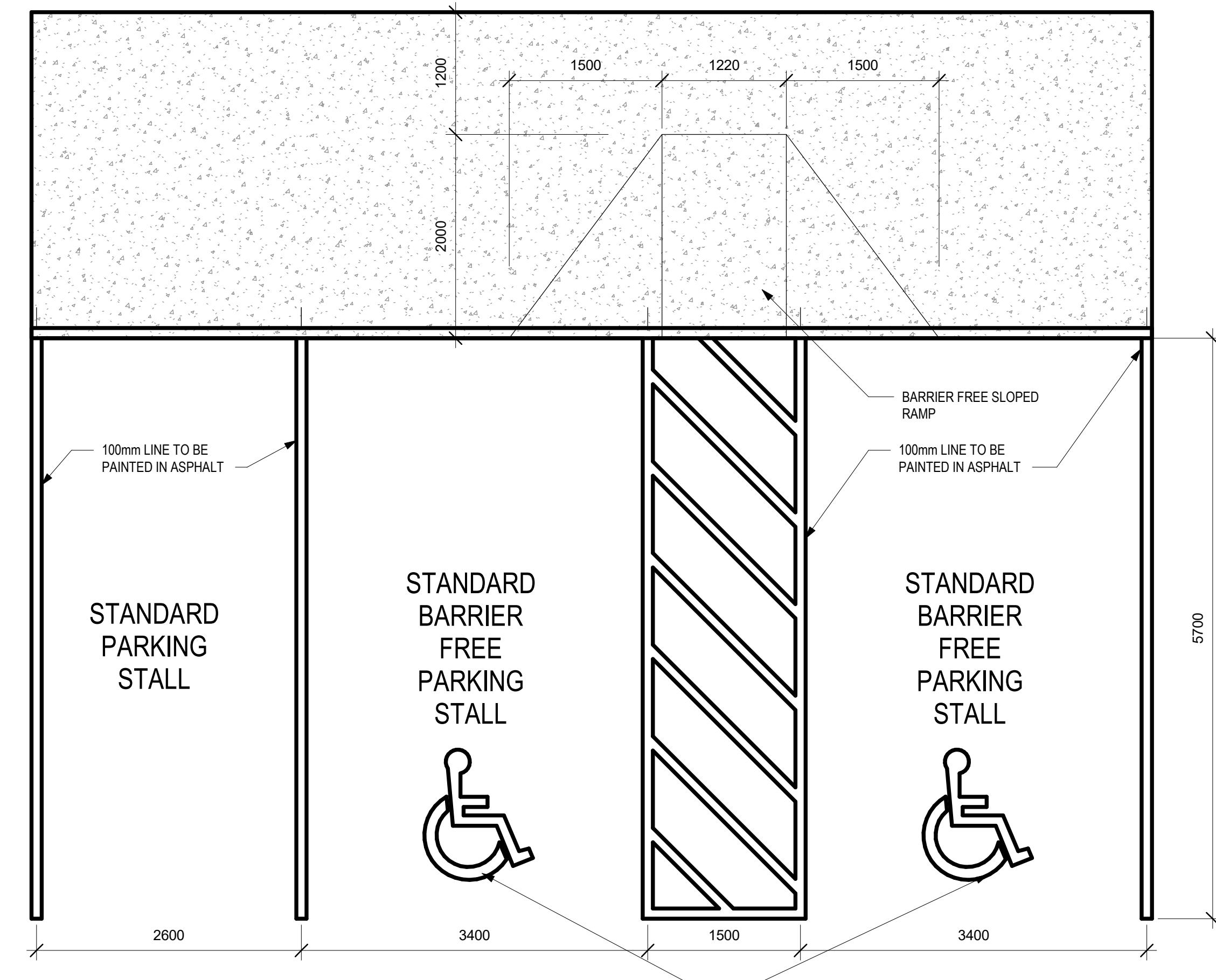
CLIENT REF. #  
 PROJECT:  
 ACCESS STORAGE 125 COLONNADE

KEY PLAN

DISCLAIMER: COPYRIGHT © 2022 ARCHITECTURE 49. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED AND SHALL NOT BE REPRODUCED OR IN ANY MANNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO ARCHITECTURE 49. THIS DRAWING IS NOT TO BE SCALED.

REVISED FOR REVIEW

1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION
IS	DATE	DESCRIPTION
PROJECT NO:	DATE:	
219-00095-00	MAY 30 2022	
ORIGINAL SCALE:	IF THIS BAR IS NOT SHOWN, PLEASE SCALE YOUR PLOTTING SCALE.	
As indicated		
DESIGNED BY:		
J.C.		
DRAWN BY:		
AS / SG		
CHECKED BY:		
ASB		
DISCIPLINE:	ARCHITECTURAL	
TITLE:	SITE PLAN - FIRE AND TRUCK ROUTE	
SHEET NUMBER:	A0.3	
DATE OF:		



2 TYP. PARKING AND B.F. PARKING DETAILS

1:40

PRINCE OF WALES DR.

COLONNADE RD.

COLONNADE RD.

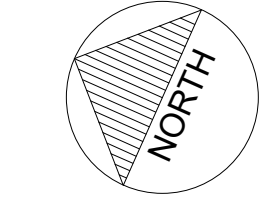
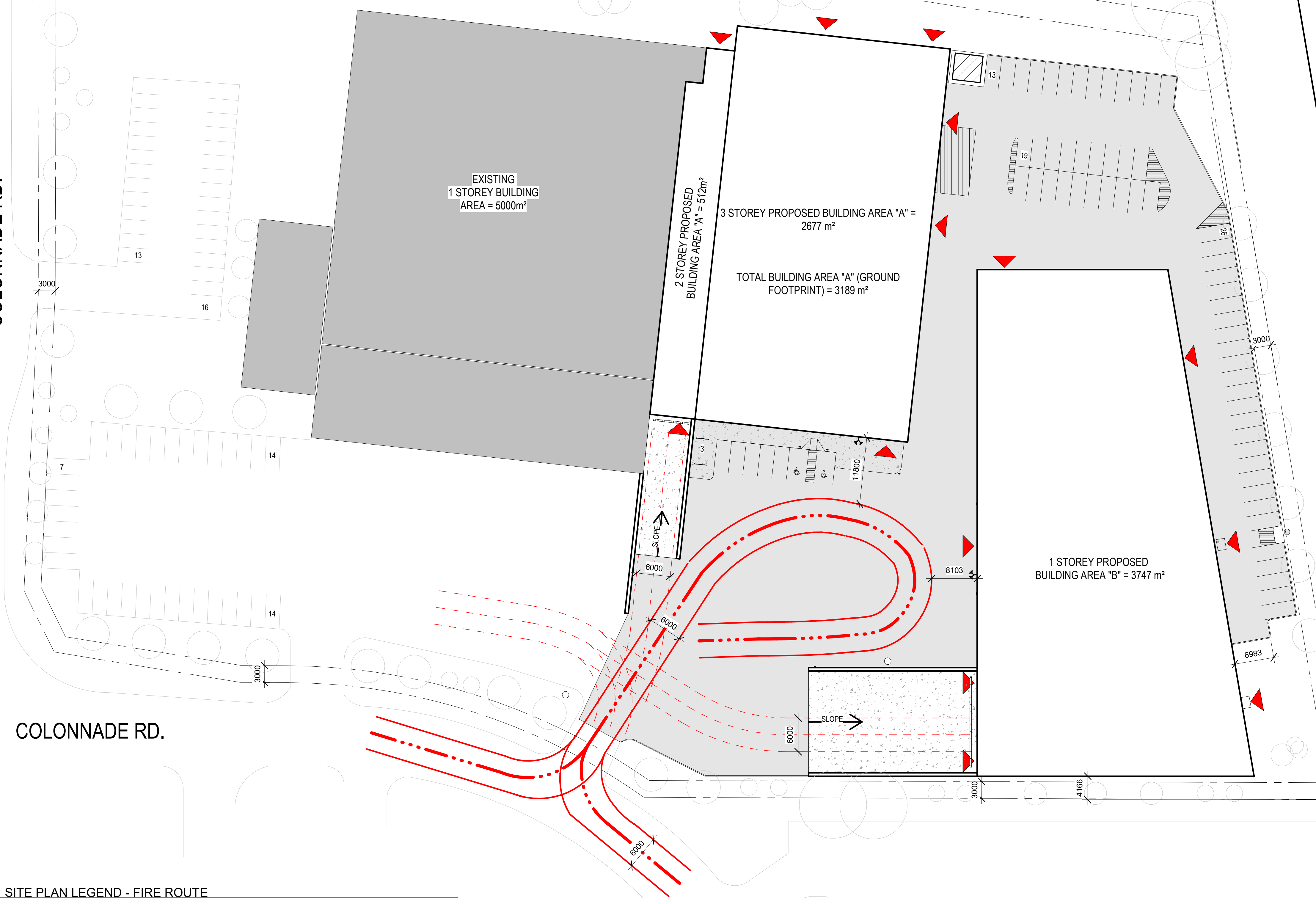
SITE PLAN LEGEND - FIRE ROUTE

LINE DENOTES FIRE ACCESS ROUTE

LINE DENOTES TRUCK ACCESS ROUTE

1 SITE PLAN - VEHICULAR TURNING MOVEMENTS

1:40



**ONTARIO ASSOCIATION OF ARCHITECTS**  
MEMBER SINCE 2008

DATE: 10/20/22

PROJECT: ACCESS STORAGE 125 COLONNADE

ARCHITECT: JANE BOSCHETTI ARCHITECTURE

**PROVISIONS**

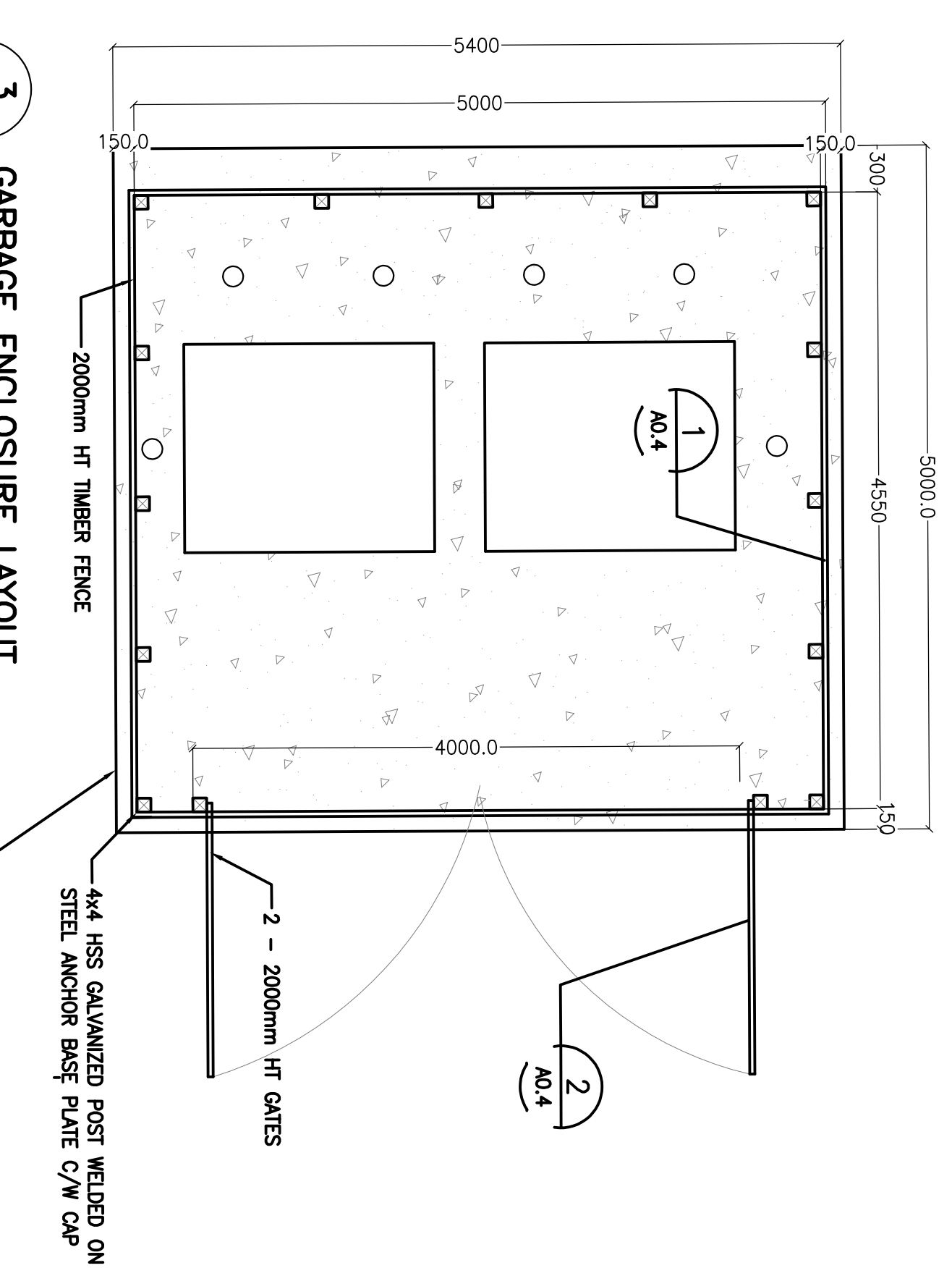
NO.	DESCRIPTION
1	2022 I.B.C.
2	2021 O.C.A.
3	2021 O.C.A. COMMENTS
4	2021 O.C.A. COMMENTS
5	2021 O.C.A. COMMENTS

**NOTES**

1. CONSULTANT HAS REVIEWED ALL COMMENTS AND APPROVED FOR CONSTRUCTION.
2. ALL COMMENTS ARE TO BE ADDRESSED BY THE ARCHITECT.
3. ALL COMMENTS ARE TO BE ADDRESSED BY THE ARCHITECT.
4. ALL COMMENTS ARE TO BE ADDRESSED BY THE ARCHITECT.

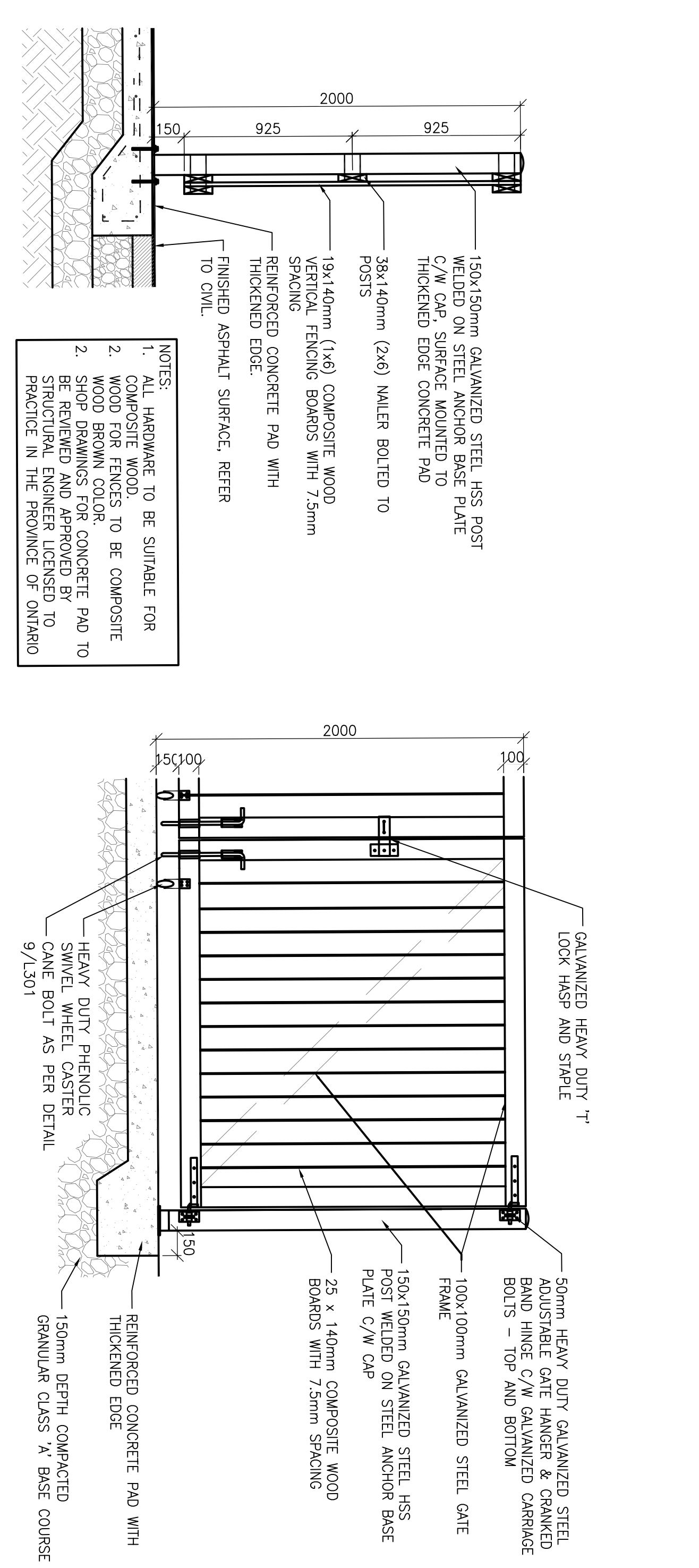
**4 BIKE RACK DETAIL**

NOT TO SCALE



**3 GARBAGE ENCLOSURE LAYOUT**

A0.2 A0.3 1:40

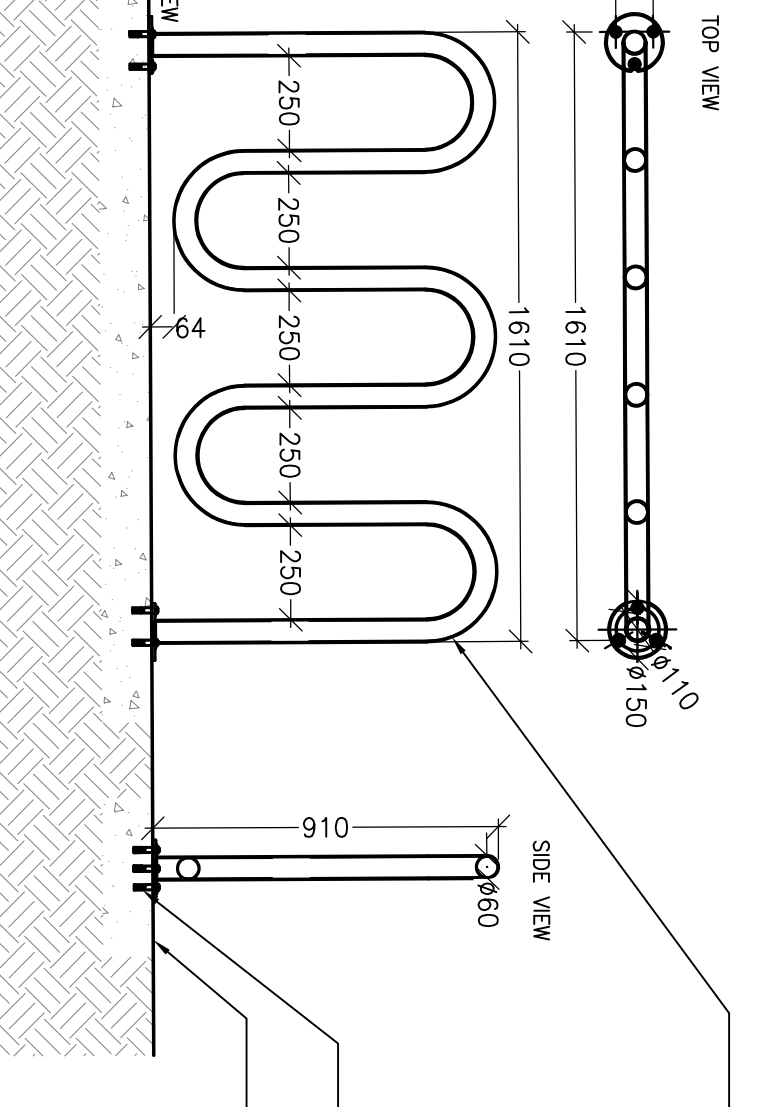


**1 GARBAGE ENCLOSURE FENCE**

A0.2 A0.4 1:20

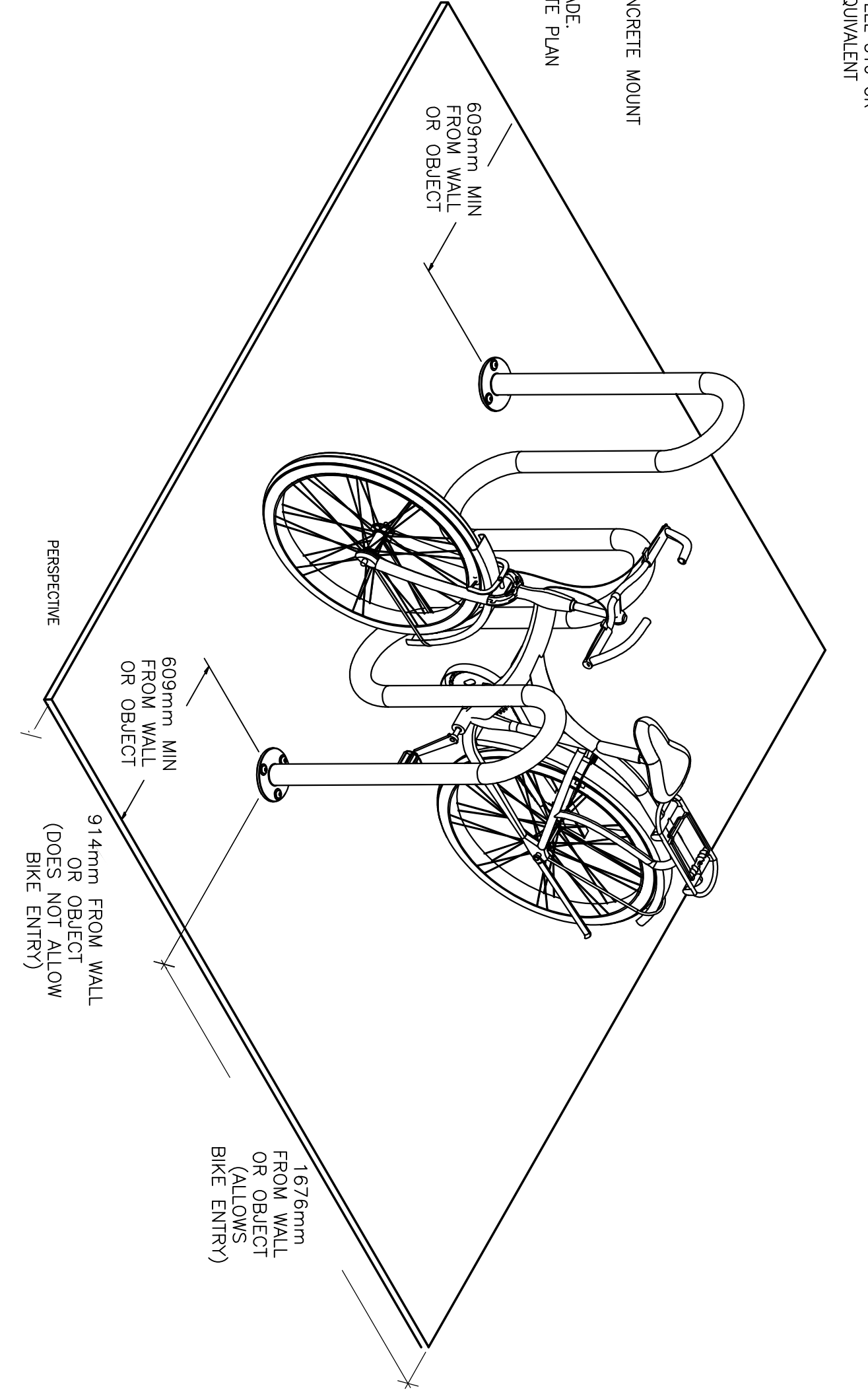
**2 GARBAGE ENCLOSURE GATE**

A0.2 A0.3 1:20



**4 BIKE RACK DETAIL**

A0.2 A0.4 NOT TO SCALE



A 11 10 9 8 7 6 5 4 3 2 1

H 10 9 8 7 6 5 4 3 2 1

G 10 9 8 7 6 5 4 3 2 1

F 10 9 8 7 6 5 4 3 2 1

E 10 9 8 7 6 5 4 3 2 1

D 10 9 8 7 6 5 4 3 2 1

C 10 9 8 7 6 5 4 3 2 1

B 10 9 8 7 6 5 4 3 2 1

A 10 9 8 7 6 5 4 3 2 1

#48809

CONSULTANT - SEE CONSULTANT

CONSULTANT - SEE CONSULTANT



CLIENT REF. #

PROJECT:  
 ACCESS STORAGE 125 COLONADE  
 SELF STORAGE BUILDING A

KEY PLAN

DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE 49 INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THIS DRAWING IS NOT TO BE SCALED.

REVISIONS FOR REVIEW

NO.	DATE	DESCRIPTION
1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION

PROJECT NO.	219-00059-00	DATE	MAY 30, 2022
ORIGINAL SCALE	1:200	IF THIS BAR IS NOT PRINTED, PLEASE CONTACT YOUR PLOTTING SCALE	
DESIGNED BY:	JIC	DRAWN BY:	AS
CHECKED BY:	AB	DATE:	DECEMBER 19, 2022

DISCIPLINE: ARCHITECTURAL

TITLE: BLOCK PLANS

SHEET NUMBER: A-A1.1

DATE OF: DECEMBER 19, 2022

DEPARTMENT LEGEND

- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES

DEPARTMENT LEGEND

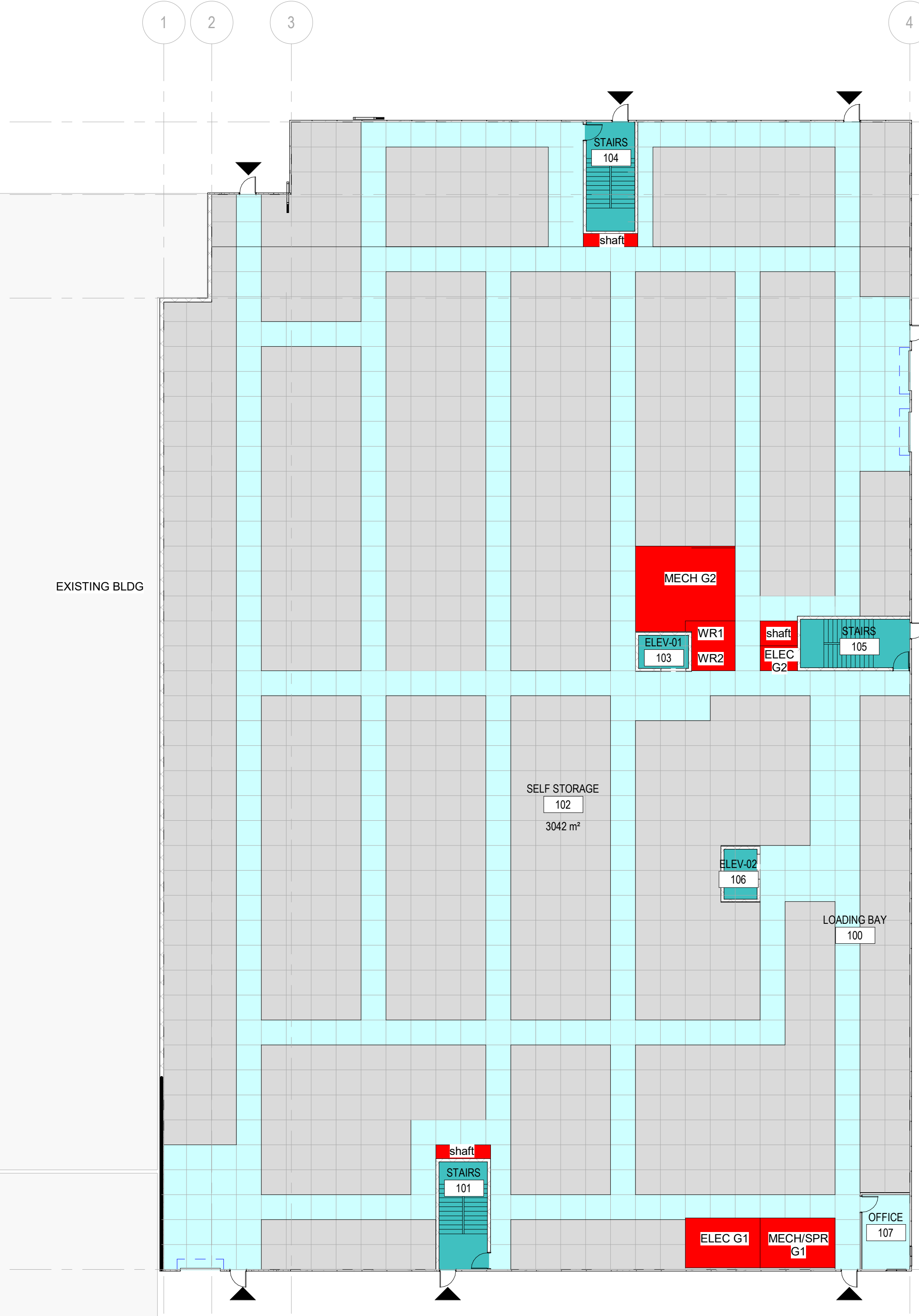
- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES

DEPARTMENT LEGEND

- SELF STORAGE
- SELF STORAGE CIRCULATION
- BUILDING SERVICES

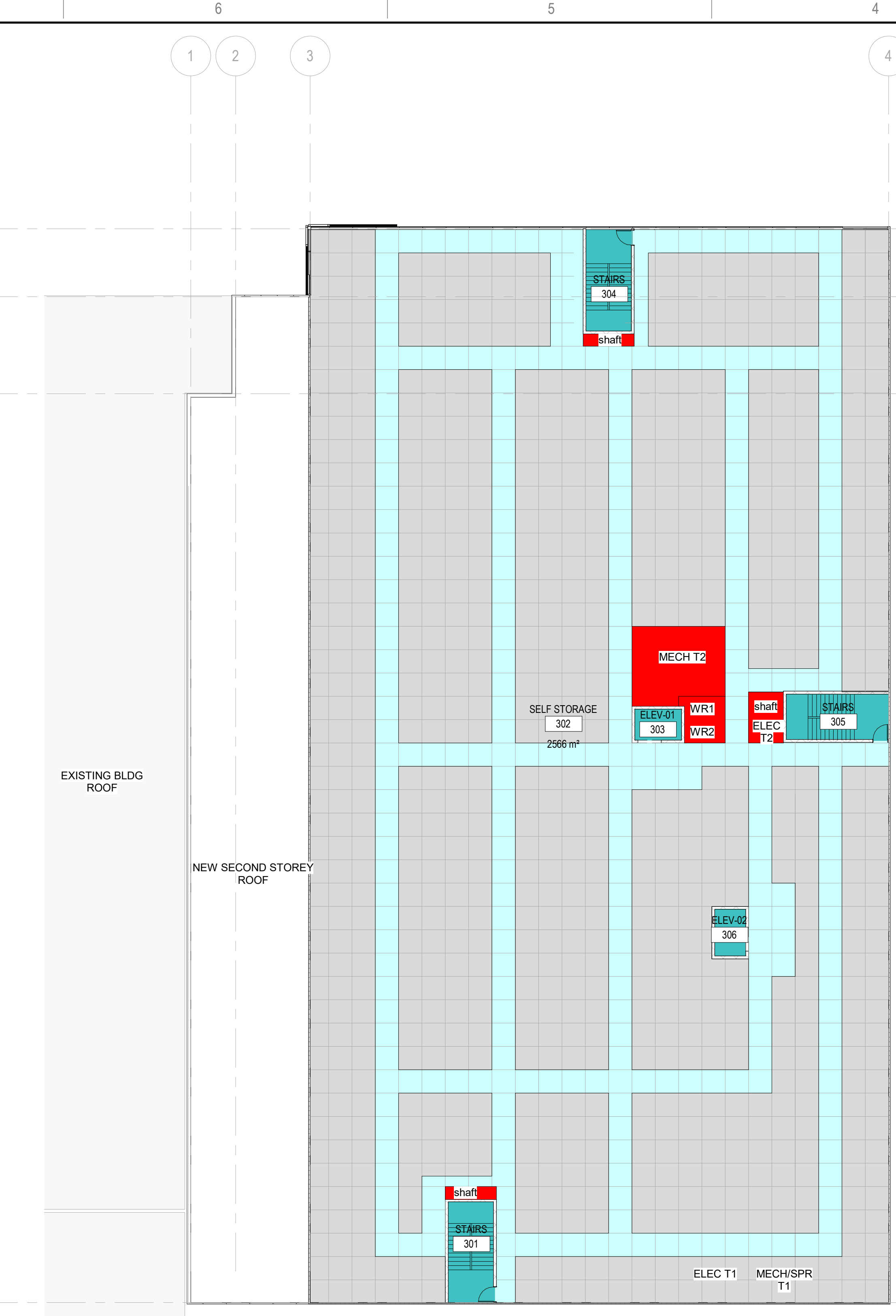
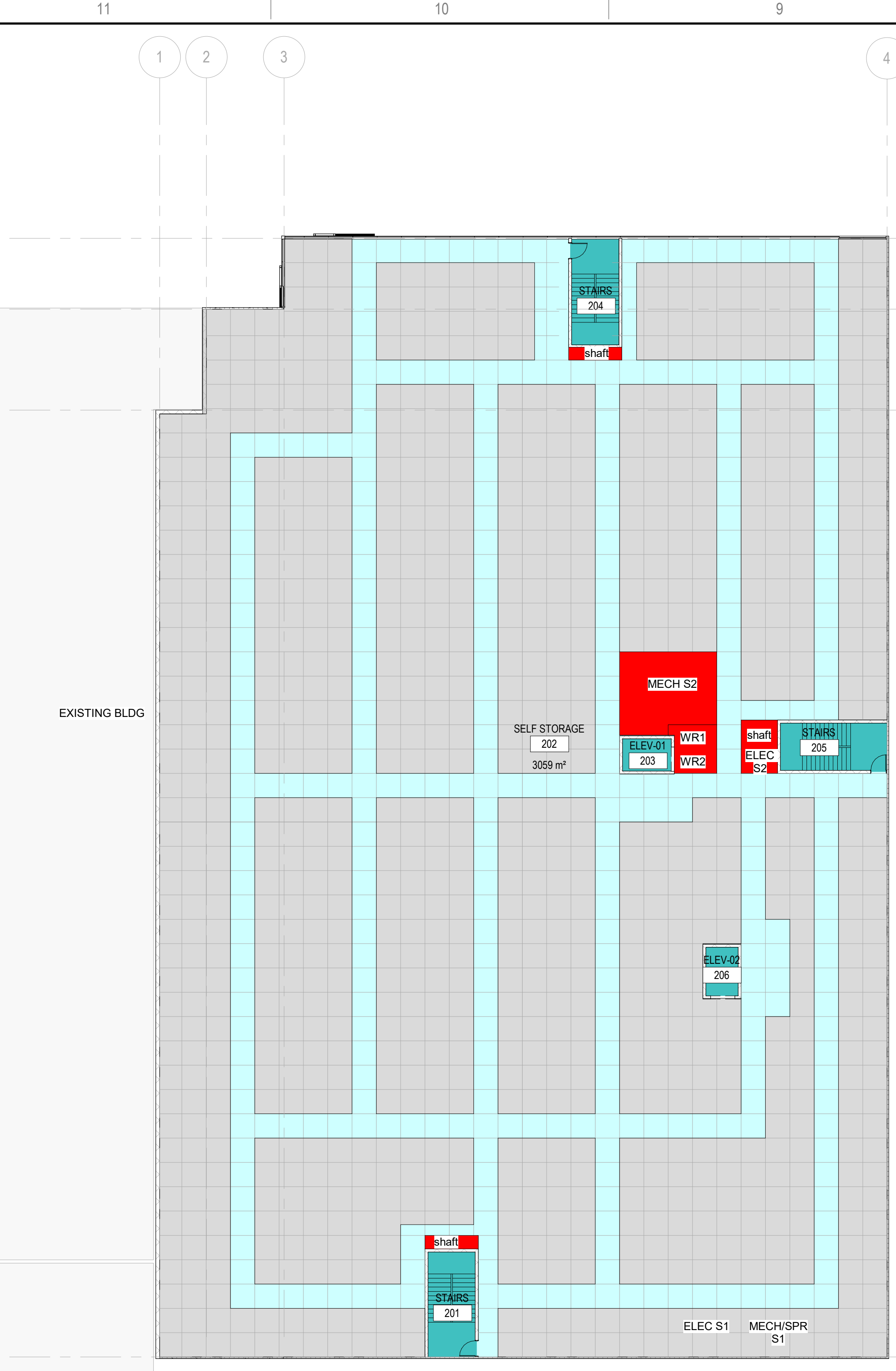
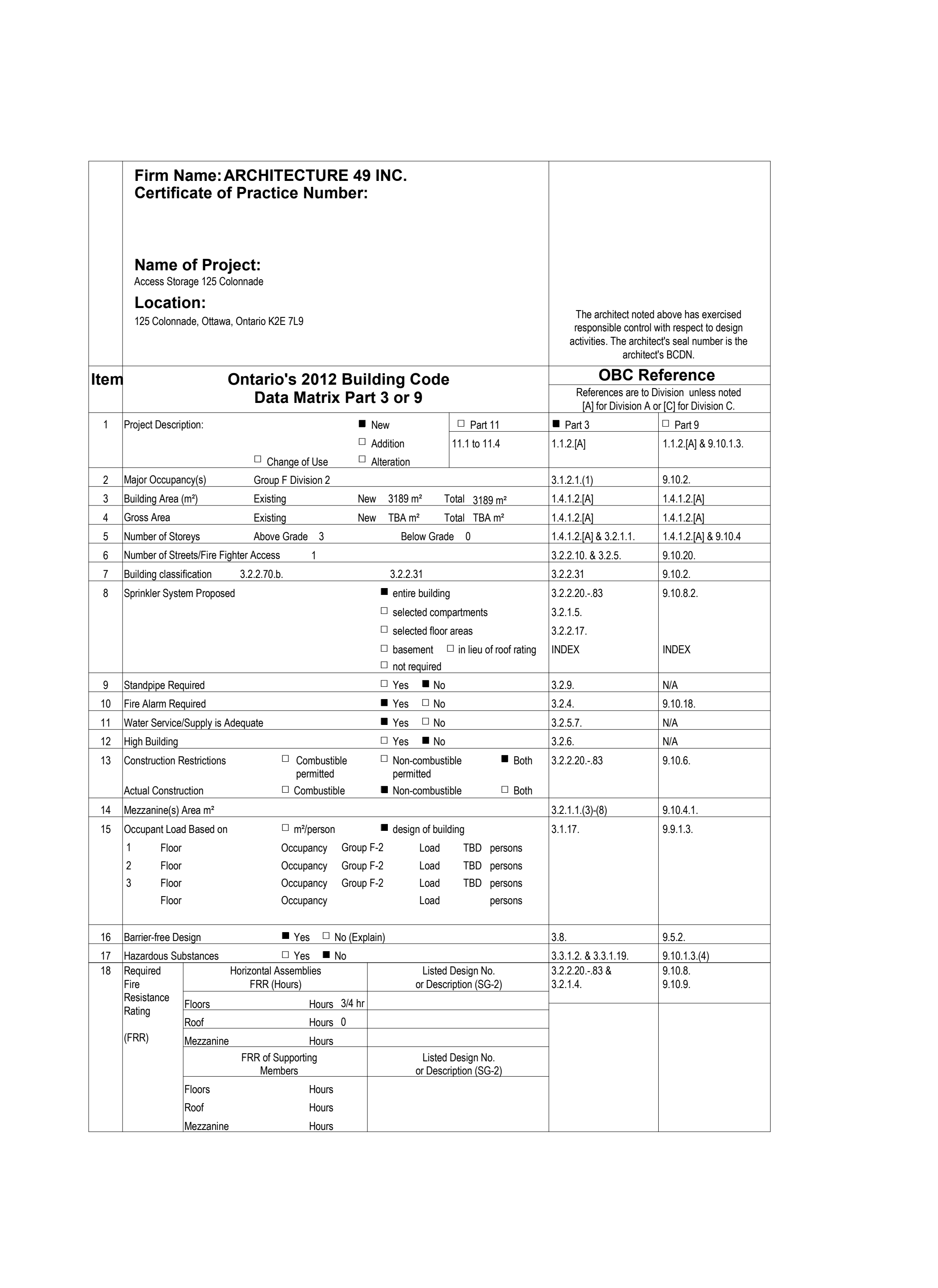
<b>Firm Name: ARCHITECTURE 49 INC.</b> Certificate of Practice Number:		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BC20N.	
<b>Name of Project:</b> Access Storage 125 Colonnade			
<b>Location:</b> 125 Colonnade, Ottawa, Ontario K2E 7L9			
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC Reference	
Reference are to Division, unless noted [A] for Division A or [C] for Division C.			
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 11.1 to 11.4 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 3 1.1.2 [A]	<input type="checkbox"/> Part 9 1.1.2[A] & 9.10.1.3
2	Major Occupancy Group: Division 2	3.1.2.1(1)	9.10.2
3	Building Area (m <sup>2</sup> ): Existing New 3189 m <sup>2</sup> Total 3189 m <sup>2</sup>	1.4.1.2[A]	1.4.1.2[A]
4	Gross Area: Existing New TBA m <sup>2</sup> Total TBA m <sup>2</sup>	1.4.1.2[A]	1.4.1.2[A]
5	Number of Storeys: Above Grade 3 Below Grade 0	1.4.1.2[A] & 3.2.1.1	1.4.1.2[A] & 9.10.4
6	Number of Streets/Fire Fighter Access: 1	3.2.2.10 & 3.2.5	9.10.20
7	Building classification: 3.2.2.7(b)	3.2.2.31	9.10.2
8	Sprinkler System Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX INDEX
9	Standpipes Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4	9.10.18
11	Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible permitted <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-83	9.10.6
14	Mezzanine Area (m <sup>2</sup> ): <input type="checkbox"/> m/person <input checked="" type="checkbox"/> design of building	3.2.1.1(3)-(8)	9.10.4.1
15	Occupant Load Based on: 1 Floor: Occupancy Group F-2 Load TBD persons 2 Floor: Occupancy Group F-2 Load TBD persons 3 Floor: Occupancy Group F-2 Load TBD persons	3.1.17	9.9.1.3
16	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8	9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR): Horizontal Assemblies: Listed Design No. or Description (SG-2) FRR (hours): Hours 3/4 hr Roof: Hours 0 Mezzanine: Hours FRR of Supporting Members: Listed Design No. or Description (SG-2) Floors: Hours Roof: Hours Mezzanine: Hours	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9

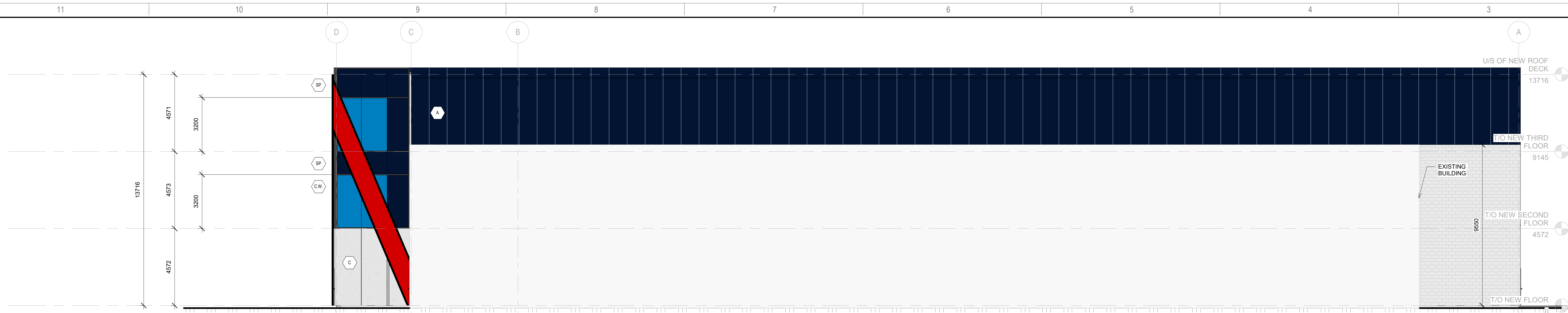
2 BLOCK PLAN - SECOND FLOOR  
 1:200



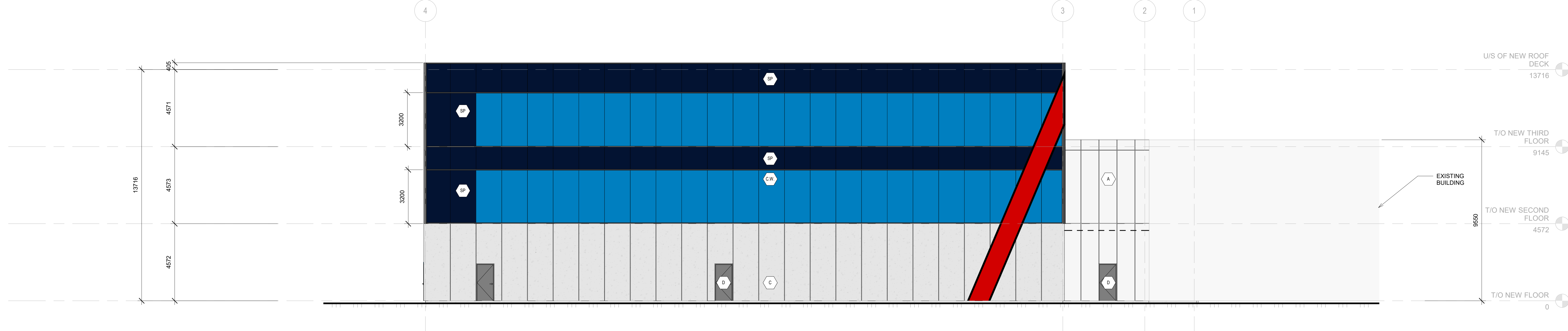
1 BLOCK PLAN - GROUND FLOOR  
 1:200

3 BLOCK PLAN - THIRD FLOOR  
 1:200

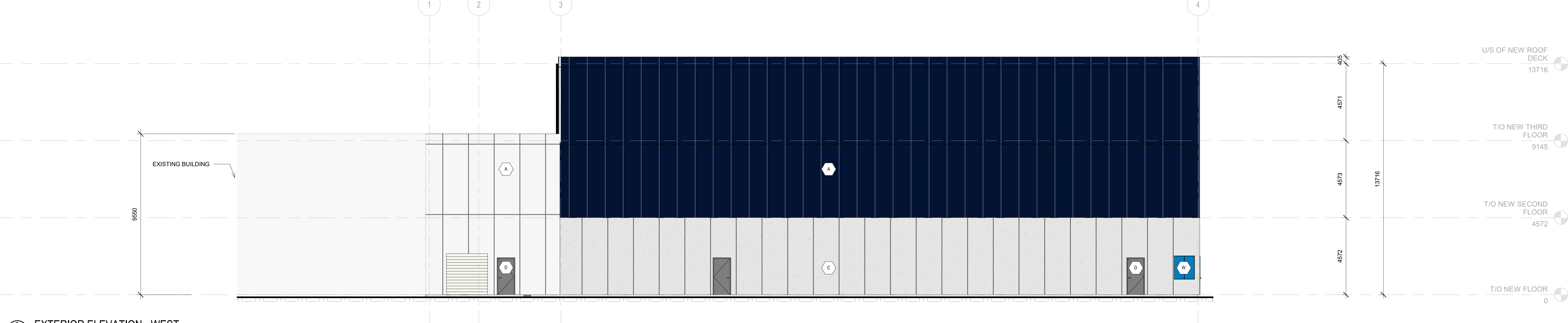




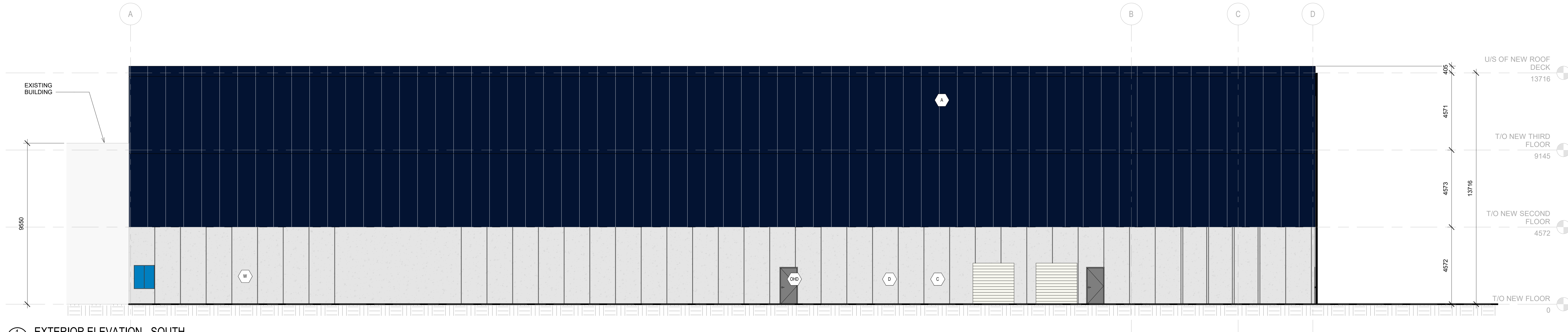
1 EXTERIOR ELEVATION - NORTH  
1:100



3 EXTERIOR ELEVATION - EAST  
1:100



2 EXTERIOR ELEVATION - WEST  
1:100



4 EXTERIOR ELEVATION - SOUTH  
1:100

- LEGEND**
- (A) PRE-FINISHED INSULATED METAL PANELS
  - (C) PRE-CAST CONCRETE WALL PANEL
  - (D) EXTERIOR DOOR
  - (DH) OVER-HEAD DOOR CW DOCK SEALS, DOCK LEVELER AND DOCK BUMPERS
  - (CW) ALUMINUM CURTAIN WALL SYSTEM
  - (SP) SPANDREL PANEL
  - (W) ALUMINUM WINDOW

CONSULTANT - SUB CONSULTANT  
CONSULTANT - SUB CONSULTANT



CLIENT REF. #  
PROJECT:  
ACCESS STORAGE 125 COLONNADE  
SELF STORAGE  
BUILDING A

KEY PLAN

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ISSUED FOR REVIEW

IS	RE	DATE	DESCRIPTION
1	2022.12.19	2022.06.01	REVISED FOR CITY COMMENTS ISSUED FOR SITE PLAN APPLICATION

PROJECT NO:	219-00059-00	DATE:	MAY 30, 2022
ORIGINAL SCALE:	As indicated	IF THIS BAR IS NOT	SHOWING, PLEASE
DESIGNED BY:	JIC	YOUR PLOTTING SCALE	
DRAWN BY:	AS		
CHECKED BY:	AB		

DISCIPLINE:	ARCHITECTURAL
TITLE:	EXTERIOR ELEVATIONS
SHEET NUMBER:	A-A4.1

DATE OF:	DECEMBER 19, 2022	REV. #	1
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CLIENT REF. #  
 PROJECT:  
**ACCESS STORAGE 125 COLONNADE  
 WAREHOUSE  
 BUILDING B**

REV. PLAN

DISCLAIMER: COPYRIGHTED  
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REVISED FOR: REVISION

IS	RE	DATE	DESCRIPTION
1	2022.12.19	2022.06.01	REVISED FOR CITY COMMENTS ISSUED FOR SITE PLAN APPLICATION

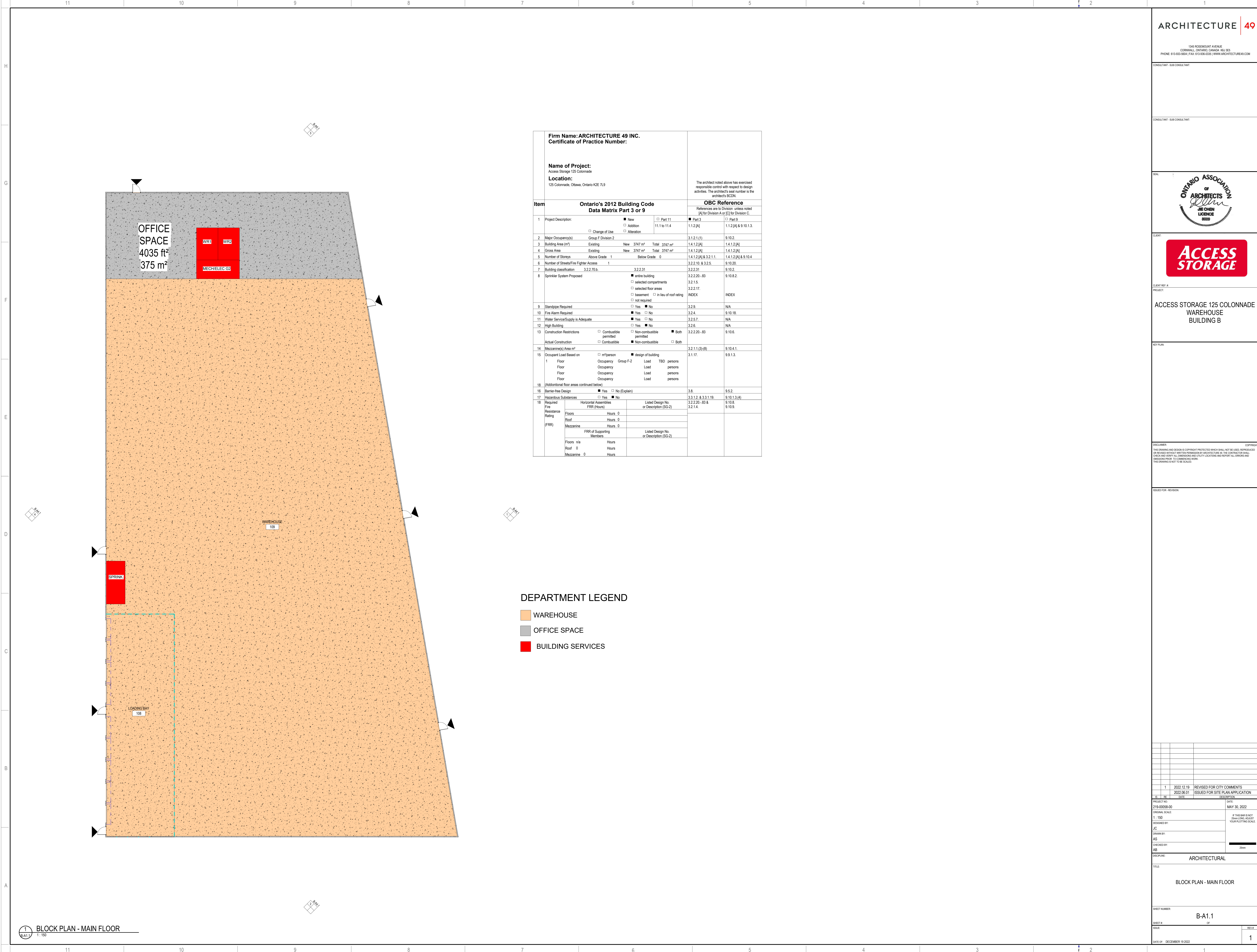
PROJECT NO: 219-00059-00  
 ORIGINAL SCALE: 1:150  
 DATE: MAY 30, 2022  
 IF THIS BAR IS NOT PRINTING, PLEASE YOUR PLOTTING SCALE.  
 DESIGNED BY: JIC  
 DRAWN BY: AS  
 CHECKED BY: ASB

DISCIPLINE: ARCHITECTURAL  
 TITLE: BLOCK PLAN - MAIN FLOOR  
 SHEET NUMBER: B-A1.1  
 SHEET # OF: 1  
 DATE OF: DECEMBER 19, 2022

<b>Firm Name: ARCHITECTURE 49 INC.</b>		<b>Certificate of Practice Number:</b>	
<b>Name of Project:</b> Access Storage 125 Colonnade		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.	
<b>Location:</b> 125 Colonnade, Ottawa, Ontario K2E 7L9			
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC Reference	
References are to Division, unless noted [A] for Division A or [C] for Division C.			
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 11.1 to 11.4	<input type="checkbox"/> Part 3 1.1.2[A] 1.1.2[A] & 9.10.1.3
2	Major Occupancy(s) Group F, Division 2	3.1.2.1.(1)	9.10.2
3	Building Area (m <sup>2</sup> ) Existing: 3747 m <sup>2</sup> New: 3747 m <sup>2</sup> Total: 3747 m <sup>2</sup>	1.4.1.2[A]	1.4.1.2[A]
4	Gross Area Existing: 3747 m <sup>2</sup> New: 3747 m <sup>2</sup> Total: 3747 m <sup>2</sup>	1.4.1.2[A]	1.4.1.2[A]
5	Number of Storeys Above Grade: 1    Below Grade: 0	1.4.1.2[A] & 3.2.1.1	1.4.1.2[A] & 9.10.4
6	Number of Streets/Fire Fighter Access: 1	3.2.2.10 & 3.2.5	9.10.2B
7	Building classification: 3.2.2.70.b	3.2.2.31	9.10.2
8	Sprinkler System Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-.83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
9	Standpipe Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4	9.10.1B
11	Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6.7	N/A
12	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible permitted <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both permitted	3.2.2.20-.83	9.10.6
14	Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.1.1.(3)&(8)	9.10.4.1
15	Occupant Load Based on: <input type="checkbox"/> m/person <input checked="" type="checkbox"/> design of building	3.1.17	9.9.1.3
16	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8	9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies: FRR (Hours) Floors: Hours 0 Roof: Hours 0 Mezzanine: Hours 0 FRR of Supporting Members: Floors: n/a Hours Roof: 0 Hours Mezzanine: 0 Hours	Listed Design No. or Description (SS-2) 9.10.8 3.2.1.4	9.10.8 9.10.9

**DEPARTMENT LEGEND**

- WAREHOUSE
- OFFICE SPACE
- BUILDING SERVICES



**BLOCK PLAN - MAIN FLOOR**  
 1:150

CONSULTANT - SUB CONSULTANT

CONSULTANT - SUB CONSULTANT



CLIENT REF. #  
 PROJECT:  
**ACCESS STORAGE 125 COLONNADE  
 WAREHOUSE  
 BUILDING B**

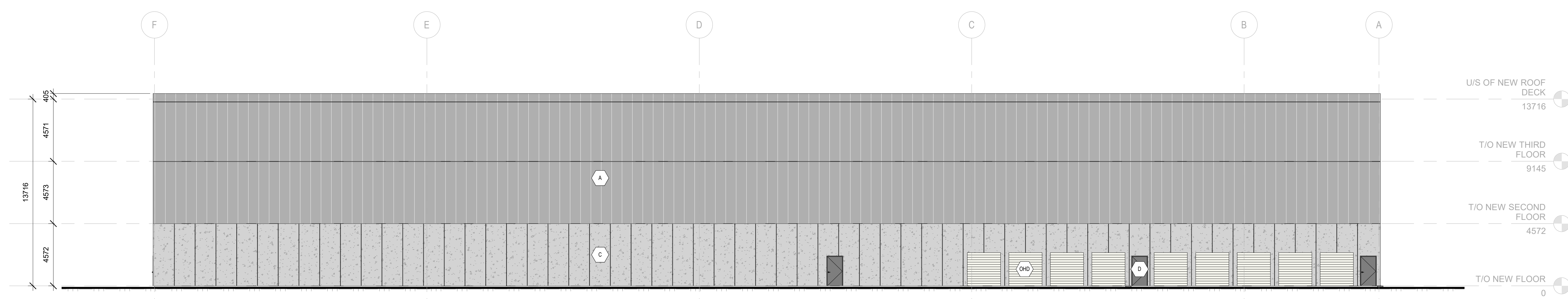
KEY PLAN

DISCLAIMER: COPYRIGHT © ARCHITECTURE 49  
 THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS TO ARCHITECTURE 49 IMMEDIATELY UPON DISCOVERY.  
 THIS DRAWING IS NOT TO BE SCALED.

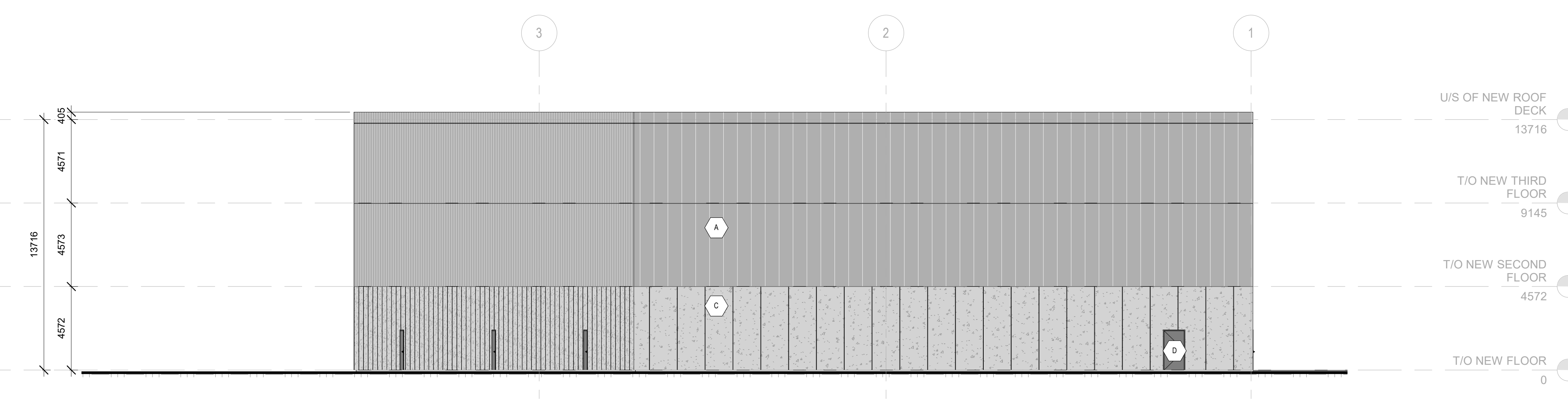
REVISED FOR: REVISION

1	2022.12.19	REVISED FOR CITY COMMENTS
2	2022.06.01	ISSUED FOR SITE PLAN APPLICATION
PROJECT NO.	219-00059-00	DATE: MAY 30, 2022
ORIGINAL SCALE:	As indicated	IF THIS BAR IS NOT SHOWN, PLEASE ADJUST YOUR PLOTTING SCALE.
DESIGNED BY:	JJC	
DRAWN BY:	AS	
CHECKED BY:	ASB	
DISCIPLINE:	ARCHITECTURAL	
TITLE:	EXTERIOR ELEVATIONS	
SHEET NUMBER:	B-A4.1	
SHEET #	1	
DATE OF:	DECEMBER 19, 2022	

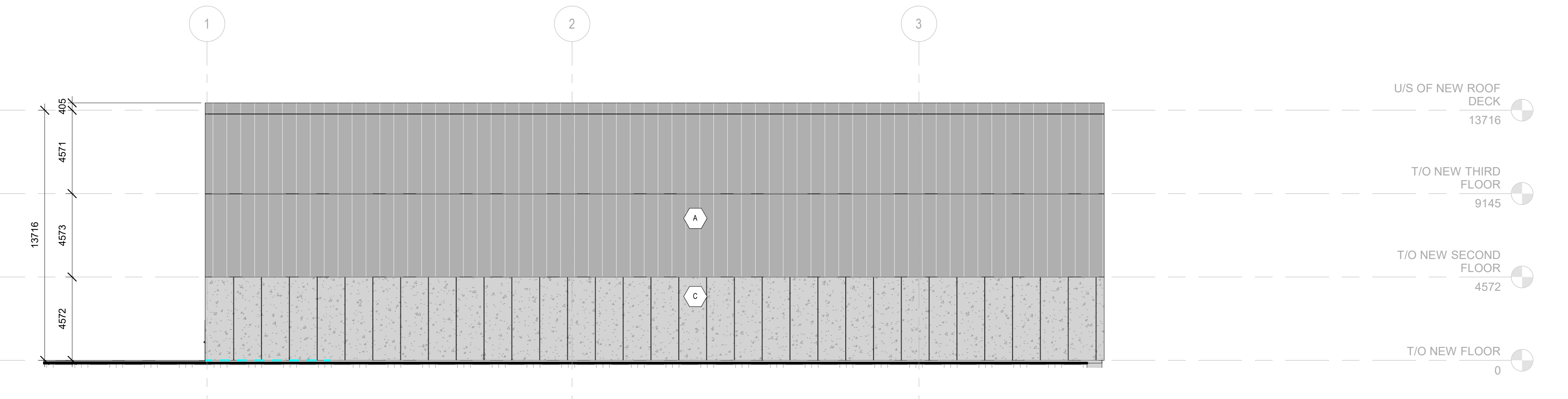
- LEGEND**
- (A) PRE-FINISHED INSULATED METAL PANELS
  - (C) PRE-CAST CONCRETE WALL
  - (D) EXTERIOR DOOR
  - (WD) OVER HEAD DOOR CW DOOK SEALS, DOCK LEVELER AND DOCK BUMPERS



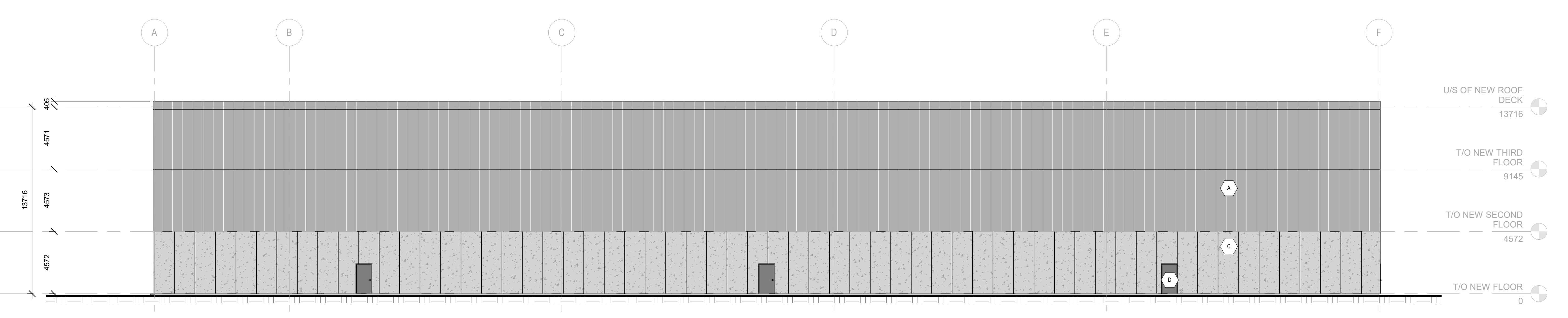
4 EXTERIOR ELEVATION - NORTH  
 1:150



3 EXTERIOR ELEVATION - EAST  
 1:150



2 EXTERIOR ELEVATION - WEST  
 1:150



1 EXTERIOR ELEVATION - SOUTH  
 1:150