

3150 Woodroffe Avenue – Exhalo SPA Planning rationale

1. Introduction

Arbaum Architects has been retained by Tanya Farlinger to prepare a Planning Rationale Report, to support the application to amend the City of Ottawa Zoning By-law LC 8 (250) H (11)h and the Official Plan Land Use Designation for the property addressed 3150 Woodroffe Avenue, Ontario. The proposed redevelopment was reviewed by City Staff at a Pre-Consultation Meeting, held by Arbaum Architects, D.B. Grey Engineering, and the owner, on March 15th, 2022.

This Report has been prepared in keeping with planning issues identified by City Staff in the meeting.

This Planning Rationale Report describes the subject site, reviews relevant planning policies, outlines the development proposal, and provides a planning rationale and recommendations. The comprehensive application package for 3150 Woodroffe Avenue includes this report, in addition to the following documents and drawings:

- Site Plan, prepared by Arbaum Architects
- Architectural demolition and new building floor plans, prepared by Arbaum Architects
- Architectural building elevations, prepared by Arbaum Architects
- Site servicing plan, prepared by D.B. Gray Engineering
- Existing conditions and decommissioning, prepared by D.B. Gray Engineering
- Grading plan and erosion & sediment control plan, prepared by D.B. Gray Engineering
- Pre- and Post- development drainage plans, prepared by D.B. Gray Engineering
- Site servicing Study & Stormwater Management Report, prepared by D.B. Gray Engineering
- Geotechnical Study, prepared by Pattenson Group
- Transportation Impact Assessment, prepared by CGH Transportation
- Survey plan, prepared by Fairhall, Moffatt & Woodland Limited
- Landscape plans prepared by CSW
- Tree Conservation Report prepared by IFS Associates
- Site lighting plan, prepared by VR Engineering Forward

The documents listed above form the initial material submissions that is required alongside the completed application form and necessary fees.

2. Site and surroundings

The subject parcel addressed 3150 Woodroffe Avenue has a total area of 3,391.94 meters squared (0.84 acres), with frontage on Woodroffe Avenue.

The site is currently occupied by one existing building, one-storey in height, and the current Building use is residential. The existing surface parking is located primarily on the northern portion of the site and it is accessed by the Deerfox Drive.

The property is in the City of Ottawa and zoned as LC 8 (LC – Local Commercial Zone). The surrounding neighbourhood is comprised of a variety of different land uses; mainly residential, commercial properties and green space lands located north of the proposed development.

The property is located on Arterial Transportation Road, Woodroffe Avenue, and is nearby another one Prince of Wales Drive.

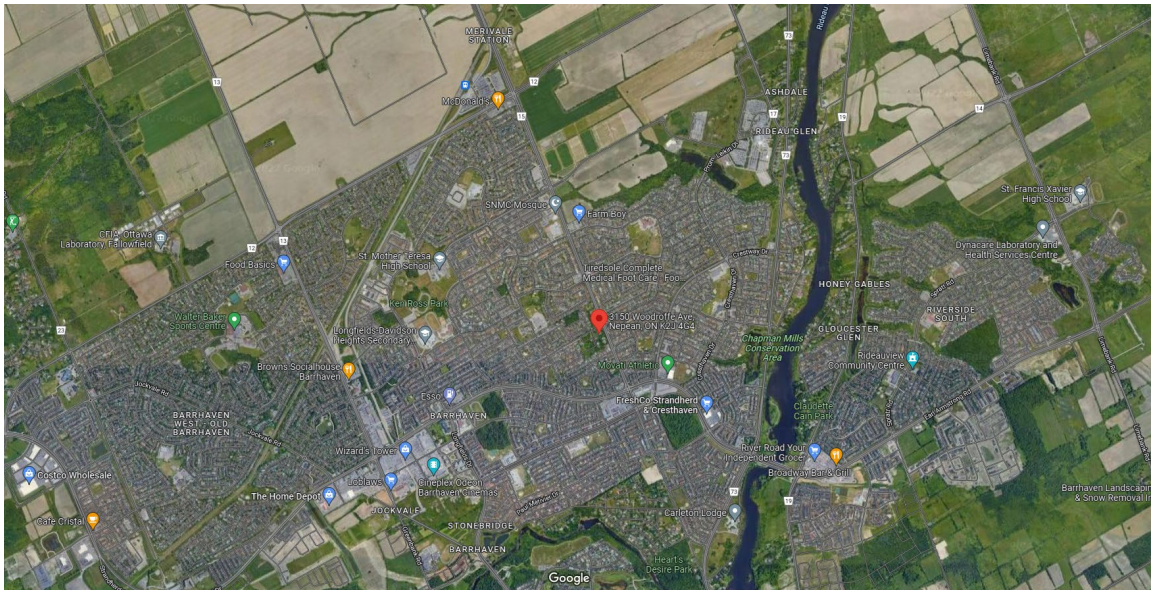


Figure 1: site view of the property.



Figure 2: street view of the property from Woodroffe Avenue.



Figure 3: street view of the property from Deerfox Drive.

3. The proposal

3.1. Project Scope

The project consists of the renovation of the ground floor of the existing 1-storey and the demolition of the of the existing enclosed sun porch. There is no addition proposed to be built on the main building. The area of the existing building is about 427 square meters.

Additionally, the project proposes the construction of a parking area with a total of 30 parking spaces, 2 of them accessible, to attend clients and the staff. The entrance will be recreated to attend the accessibility requirements with the construction of a new ramp and stairs.

The backyard will be renovated to accommodate new equipment like a sauna, a cold plunge, and a lounge area with a fire pit. There is currently a pool that will be renovated, and a new ramp will be constructed for accessibility purpose.

To reduce the environmental impact of the development, is specified permeable paving surfaces in the parking area and in part of the backyard. New landscape and planting are proposed in the exterior area.

3.2. Supporting studies –

3.2.1. Site Servicing Study & Stormwater Management Report

A Site servicing Report was prepared by D.B. Gray Engineering.

The report concludes that the post-development sanitary flow will be adequately handled by the proposed sanitary services and is expected to have an acceptable impact on the existing municipal sanitary sewer.

An Erosion and Sediment Control Plan to be implemented during construction was developed.

The proposed oil grit separator will achieve the water quality target recommended by the Rideau Valley Conservation Authority.

A reduction in the stormwater flow is expected and will have a positive impact on the existing municipal storm sewer.

3.2.2. Geotechnical Investigation

A Geotechnical Report Investigation Report was prepared by Paterson Group.

The report recommends the pavement structure for the parking areas based on the type of vehicle that is expected to be using the parking.

In the proposed project is expected to have only light vehicles therefore, the recommended pavement structure is presented on Table 1, on page 4 of the report.

3.2.3. Traffic Impact assessment

A Traffic Impact Assessment was prepared by CGH Transportation

The assessment recommends that the Safety Trigger does not require a TIA Review.

In addition, no traffic or transportation elements exclude the removal of the holding on the zoning.

4. Conclusion

Based on the comprehensive planning and zoning review, the addition application has demonstrated:

- Consistency with the zoning requirements
- Conformity with the intent of the City of Ottawa Official Plan.

Therefore, it is our professional planning opinion that the proposed project is sensitively sited and not to alter the character of the existing area.

If you have any questions about the provided information, please don't hesitate to contact us.



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