



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
PLANNING, DEVELOPMENT AND BUILDING SERVICES DEPARTMENT**

Site Location: 3150 Woodroffe Avenue

File No.: D07-12-22-0101

Date of Application: June 21, 2022

This SITE PLAN CONTROL application submitted by Tanya Farlinger, on behalf of 2741778 Ontario Inc., is APPROVED as shown on the following plan(s):

1. **Site Plan**, Drawing No. A-010, prepared by Arbaum Architects, Revision 4, dated 2022-09-19.
2. **Drawing List, Legend, Building Assemblies and Zoning Report**, Drawing No. A-001, prepared by Arbaum Architects, Revision 4, dated 2022-09-19.
3. **Removals Plan**, Sheet No. L1.1, prepared by CSW, Revision 2, dated Oct 23-25.
4. **Layout Plan**, Sheet No. L2.1, prepared by CSW, Revision 2, dated Oct 23-25.
5. **Planting Plan**, Sheet No. L3.1, prepared by CSW, Revision 2, dated Oct 23-25.
6. **Details**, Sheet No. L4.1, prepared by CSW, Revision 2, dated Oct 23-25.
7. **Site Servicing Plan**, Drawing No. C-1 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, revision #4 dated Nov 17-22.
8. **Existing Conditions, Removals & Decommissioning**, Drawing No. C-2 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #4, dated Nov 17-22.
9. **Grading Plan**, Drawing No. C-3 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #5, dated Nov 17-22.
10. **Erosion and Sediment Control & Drainage Plan**, Drawing No. C-4 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #4, dated Nov 17-22.

11. **Notes and Details**, Drawing No. C-5 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #4, dated Nov 17-22.
12. **Pre Development Drainage Plan**, Drawing No. C-6 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #4, dated Nov 17-22.
13. **Post Development Drainage Plan**, Drawing No. C-7 of 7, prepared by D.B. Gray Engineering Inc., Consultant's Project No. 22017, dated May 6-22, Revision #4, dated Nov 17-22.

And as detailed in the following report(s):

1. **Site Servicing Study and Stormwater Management Report - EXHALO SPA-3150 Woodroffe Avenue, Ottawa, Ontario**, prepared by D.B. Gray Engineering Inc., Consultant's File No. 22017, dated June 2, 2022, Revised dated November 17, 2022.
2. **Geotechnical Investigation - Proposed Parking Lot Expansion - 3150 Woodroffe Ave, Ottawa, Ontario**, prepared by Paterson Group, Consultant's File No. PG6256-LET.01, dated May 25, 2022, Revised dated, August 10, 2022.
3. **Geotechnical Review of Grading and Site Servicing Plans – Proposed Parking Lot Expansion – 3105 Woodroffe Avenue, Ottawa**, prepared by Paterson Group, File No. PG6256-MEMO.01, dated August 10, 2022.
4. **Geotechnical Response to City Comments – Proposed Parking Lot Expansion – 3105 Woodroffe Avenue, Ottawa**, prepared by Paterson Group, File No. PG6256-MEMO.02, dated August 10, 2022.
5. **Tree Conservation Report**, prepared by Urban Forestry and Forest Management Consulting, dated May 17-22.

And subject to the following Requirements:

Requirements

1. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation of the policy.

2. And subject to the following General and Special Conditions, through a Scoped Site Plan Agreement and a Letter of Undertaking.

Scoped Site Plan Agreement Conditions

General Conditions

1. Lapsing of Approval

The Owner shall enter into a Scoped Site Plan Control Agreement, including all standard and special conditions, financial and otherwise, as required by the City. In the event that the Owner fails to sign this Agreement, complete the conditions to be satisfied prior to the signing of this Agreement, and have the corresponding building permit(s) issued within three (3) years of Site Plan approval, the approval shall lapse.

Special Conditions

2. Road Widening (Woodroffe Avenue)

Prior to registration of this Agreement, the Owner acknowledges and agrees to convey to the City, at no cost to the City, an unencumbered road widening across the complete Woodroffe Avenue frontage of the lands, shown as Part 2 on R-Plan 5R11413. Upon conveyance to the City, said Part 2 should be assumed/dedicated as public highway.

3. Corner Sight Triangle

Prior to registration of this Agreement, the Owner acknowledges and agrees to convey to the City, at no cost to the City, an unencumbered corner sight triangle measuring 5mx5m at the intersection of Woodroffe Avenue and Deerfox Drive as shown as Part 2 on the draft 4R-Plan. Upon conveyance to the City, said Part 2 should be assumed/dedicated as public highway.

4. Road Widening (Deerfox Drive)

Prior to registration of this Agreement, the Owner acknowledges and agrees to convey to the City, at no cost to the City, an unencumbered road widening across the complete Deerfox Drive frontage of the lands, measuring 12 metres from the existing centreline of pavement shown as Part 1 on the draft 4R-Plan. Upon conveyance to the City, said Part 1 should be assumed/dedicated as public highway.

Letter of Undertaking Conditions

General Conditions

5. Lapsing of Approval

The Owner shall enter into this Letter of Undertaking, including all standard and special conditions, financial and otherwise, as required by the City. In the event that the Owner fails to sign this Letter of Undertaking, complete the conditions to be satisfied prior to the signing of this Agreement, and have the corresponding building permit(s) issued within three (3) years of Site Plan approval, the approval shall lapse.

6. Execution of Letter of Undertaking

The Owner shall execute the City's standard Letter of Undertaking and satisfy the conditions contained within this Delegated Authority Report. In the event the Owner fails to execute the required Letter of Undertaking, submit any required fees and/or securities within three (3) years, and attain permits, this approval shall lapse.

7. Barrier Curbs

The Owner acknowledges and agrees that the parking areas and entrances shall have barrier curbs and shall be constructed in accordance with the drawings of a design professional, such drawings to be approved by the General Manager, Planning, Development and Building Services.

8. Water Supply for Fire Fighting

The Owner shall provide adequate water supply for fire fighting for the building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.

9. Construction Fencing

The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Development and Building Services.

10. Extend Internal Walkway

The Owner shall extend internal walkways beyond the limits of the subject lands to connect to existing or proposed public sidewalks, at the sole expense of the Owner, to the satisfaction of the General Manager, Planning, Development and Building Services.

11. **Completion of Works**

The Owner acknowledges and agrees that no new building will be occupied on the lands until all requirements with respect to completion of the Works as identified in this Agreement have been carried out and received Approval by the General Manager, Planning, Development and Building Services, including the installation of municipal numbering provided in a permanent location visible during both day and night and the installation of any street name sign on relevant streets. Notwithstanding the non-completion of the foregoing Works, occupancy of a lot or structure may otherwise be permitted, if in the sole opinion of the General Manager, Planning, Development and Building Services, the aforesaid Works are proceeding satisfactorily toward completion. The Owner shall obtain the prior consent of the General Manager, Planning, Development and Building Services for such occupancy in writing.

Until all requirements with respect to completion of the Works as identified in this Agreement have been carried out and received Approval by the General Manager, Planning, Development and Building Services, the Owner shall give notice to the City of a proposed conveyance of title to any building at least thirty (30) days prior to any such conveyance. No conveyance of title to any building shall be effective unless the Owner has complied with this provision.

Nothing in this clause shall be construed as prohibiting or preventing the approval of a consent for severance and conveyance for the purposes of obtaining financing.

Special Conditions

12. **Geotechnical Investigation**

The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation - Proposed Parking Lot Expansion - 3150 Woodroffe Ave, Ottawa, Ontario, prepared by Paterson Group (the "Report"), referenced in Schedule "E" herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Development and Building Services with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to completion of the Works, which confirmation shall

be to the satisfaction of the General Manager, Planning, Development and Building Services.

13. Professional Engineering Inspection

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, referenced in Schedule "E" herein. The Owner further acknowledges and agrees to provide the General Manager, Planning, Development and Building Services with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports referenced in Schedule "E" herein.

14. Waste Collection

The Owner acknowledges and agrees that garbage, recycling, and organic waste collection will not be provided by the City and it shall make appropriate arrangements with a private contractor for garbage, recycling, and organic waste collection at the Owner's sole expense. The Owner shall consult a private contractor regarding any access requirements for garbage and/or recycling and organic waste collection.

15. Sanitary Sewer Extension

Prior to the release of securities, the Owner acknowledges and agrees to provide confirmation from City of Ottawa inspectors that the sanitary services have been extended to the property line of 3150 Woodroffe Avenue, with associated lateral connections. As-built drawings are completed and approved by the City of Ottawa inspector and in-service memo is issued.

16. Private Storm Sewer Connection to City Sewer System

The Owner acknowledges and agrees that any new storm sewers to be installed as part of this development shall not be connected to the City's existing storm sewer system until such time as a certificate of conformance and As-built Drawings have been received from a Professional Engineer, licensed in the Province of Ontario, certifying that all required inlet control devices have been properly installed to City Standards or Specifications, and that the storm sewer system has been installed in accordance with the approved engineering drawings for site development and City Sewer Design Guidelines. The inlet control devices shall be free of any debris.

17. Site Lighting Certificate

(a) In addition to the requirements contained in Clause 19 of Schedule "C" hereto, the Owner acknowledges and agrees, prior to the issuance of a building permit, to provide the City with a certificate from an acceptable professional engineer, licensed in the Province of Ontario, which certificate shall state that the exterior site lighting has been designed to meet the following criteria:

- (i) it must be designed using only fixtures that meet the criteria for full cut-off (sharp cut-off) classification, as recognized by the Illuminating Engineering Society of North America (IESNA or IES); and
- (ii) it must result in minimal light spillage onto adjacent properties. As a guideline, 0.5 fc is normally the maximum allowable spillage.

(b) The Owner acknowledges and agrees that, upon completion of the lighting Works and prior to the City releasing any associated securities, the Owner shall provide certification satisfactory to the General Manager, Planning, Development and Building Services, from a Professional Engineer, licensed in the Province of Ontario, that the site lighting has been constructed in accordance with the Owner's approved design plan.

18. Permits

The Owner shall obtain such permits as may be required from municipal or provincial authorities and shall file copies thereof with the General Manager, Planning, Development and Building Services.

19. Works on City Road Allowances

Any Works required to be done by the Owner on City road allowances shall be according to the specifications and by-laws of the City. The Owner, or its contractor, shall be required to obtain all the necessary permits for road cuts prior to the disruption of the City road allowance and it is further understood and agreed that the aforementioned cuts shall be reinstated to the satisfaction of the Director, Infrastructure Services.

20. Signage on City Road Allowance

The Owner acknowledges and agrees that signage should not be placed within the City's Right-of-Way, including the corner triangle. If the Owner wishes to locate any signs within the City's Right-of-Way, they must apply for and be approved for an Encroachment Agreement. All costs to be borne by the Applicant.

21. Video Examination

Video examination of storm and sanitary sewers 200mm or larger in diameter shall be required by the General Manager, Planning, Development and Building Services, at the Owner's expense, before final Acceptance or Approval of the Works.

22. Provision of As-Built Drawings

The Owner shall supply to the General Manager, Planning, Development and Building Services, a digital copy, in a form that is compatible with the City's computerized systems, of the as-constructed road, grading and service drawings including the location of all Works, certified under seal by a Professional Engineer, licensed in the Province of Ontario, for City records upon Acceptance and Approval of the Works.

October 17, 2025

Date



Geraldine Wildman
Manager, Development Review South,
Planning, Real Estate and Economic
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information



SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-22-0101

SITE LOCATION

3150 Woodroffe Avenue, and as shown on Document 1.

SYNOPSIS OF APPLICATION

3150 Woodroffe is located on the southwest corner of the Woodroffe Avenue and Deerfox Drive intersection. The lands to the west and south are predominantly residential. On the north side of Deerfox Drive, the lands are a mixture of proposed and existing commercial and residential uses.

The Site Plan Control Application proposes a change of use from residential to commercial through the interior renovation of the existing 1-storey residential dwelling to accommodate a spa. No additions are proposed to the main building. The backyard will be renovated to accommodate sauna equipment, and the pool will be renovated according to accessibility requirements. A parking area with 30 spaces, including 2 accessible spaces, is to be constructed. Some of the trees on site were removed through a tree permit in 2024.

Related Applications

The following applications are related to this proposed development:

- Zoning By-law Amendment (Lifting of Holding) - D07-07-22-0010.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The subject site is designated as Minor Corridor within the Suburban transect and is within the Evolving Neighborhood overlay. The Minor Corridor designation permits the development of commercial, and service uses on the ground floor of otherwise residential, office and institutional buildings with a strong emphasis on uses needed to contribute to 15-minute neighbourhoods.
- The previous holding provision was lifted at Council on Sept 10, 2025, and the site is now zoned LC8 H(11), which permits the proposed spa use.
- The proposed development represents good planning.

PARKLAND DEDICATION

Parkland dedication, in accordance with By-law 2022-280, is not applicable to this development.

CONSULTATION DETAILS

Councillor's Comments

Councillor Wilson Lo was aware of the application related to this report. Councillor has concurred with the proposed conditions of approval.

Public Comments

This application was not subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.

Technical Agency/Public Body Comments

Summary of Comments –Technical

Technical comments were also received for the sanitary extension across Woodroffe Avenue from Stoneway Drive to Deerfox Drive. This sanitary extension services the subject site but was reviewed under a site plan control application for 3130 Woodroffe Avenue, (D07-12-22-0055) which will also be serviced by the sanitary extension.

Response to Comments –Technical

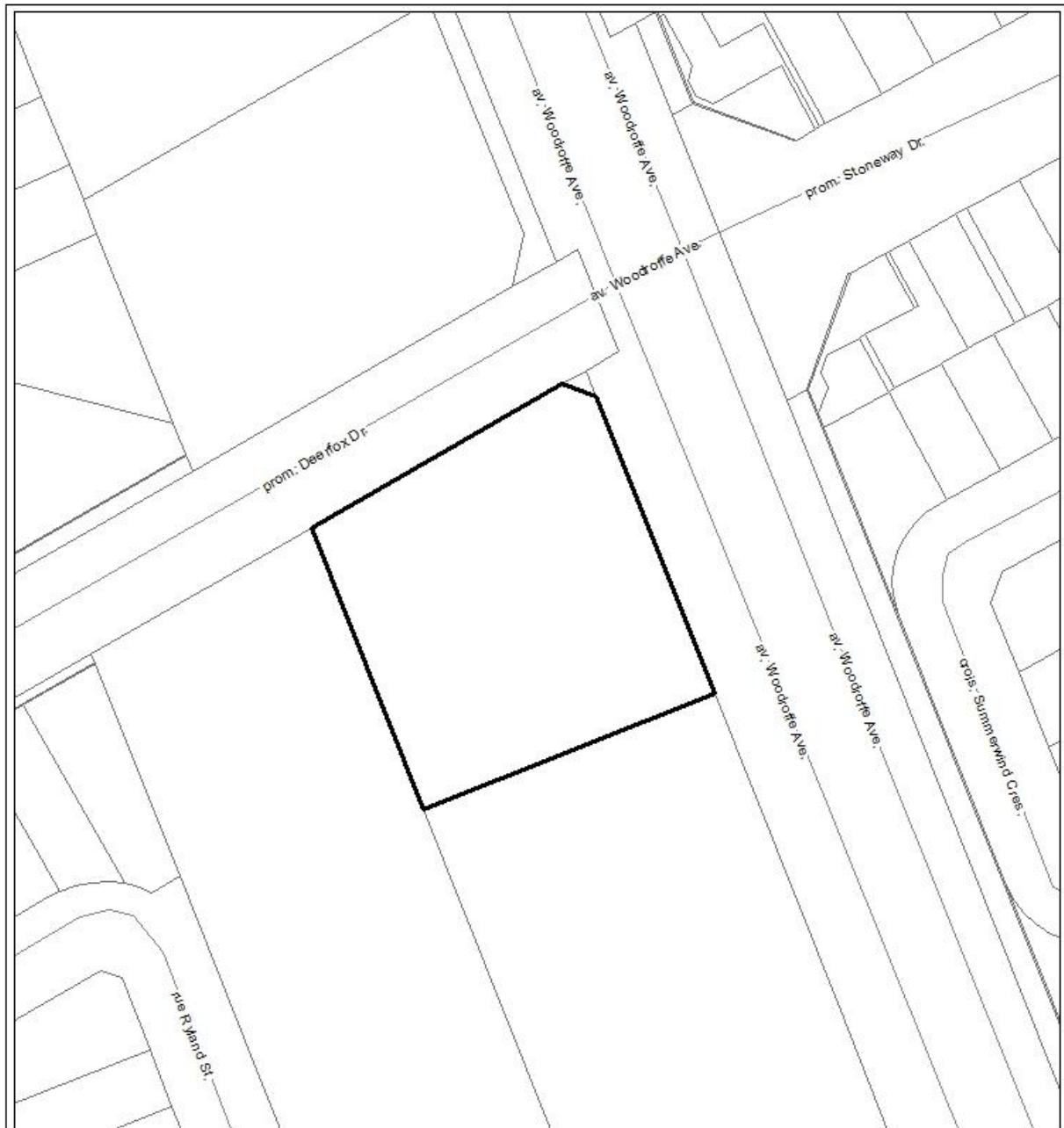
Technical issues were reviewed and resolved to the City's satisfaction. The sanitary extension is in the process of being installed and will be inspected by City staff and accepted as municipal infrastructure prior to the occupancy permit being issued.

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application processed by the On Time Decision Date due to the requirement for the sanitary sewer extension and lifting of the holding bylaw to be in place before the Site Plan Control application could be approved.

Contact: Tracey Scaramozzino Tel: 613-325-6976 or e-mail: tracey.scaramozzino@ottawa.ca

Document 1 – Location Map



 D07-12-22-0101 22-0633-K HCO\2022\Site\Woodroffe_3150 <small>Parcel data is owned by Terreal Enterprises Inc. and its suppliers. All rights reserved. May not be reproduced without permission. THIS IS NOT A PLAN OF SURVEY.</small> Quels données de parcelles appartiennent à Terreal Enterprises Inc. si à ses fournisseurs. Tous droits réservés. Ne peut être reproduit sans autorisation. CECI N'EST PAS UN PLAN D'ARPENTAGE REVISION / RÉVISION - 2022 / 06 / 23	<p>LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT</p> <p><input type="checkbox"/> avenue 3150 Woodroffe Avenue</p> <p> N NETTE SCALE</p>
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