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2021-03-01

Re: Site Plan Application – Design Brief
393 McArthur Avenue

Section 1

Application Submission

This summary provides supplemental information for the Design Brief as part of a Site Plan Control application for a proposed development at 393 McArthur Avenue, in Ottawa.

The proposed development is for a 6-storey mixed-use building over one basement parking level. The building will contain apartment dwellings as well as ground floor commercial space facing McArthur Avenue.

Legal Description:

Part Lot 7, Junction Gore, Being all of PIN 04241-0135 (LT), in the City of Ottawa.

Municipal Address:

393 McArthur Avenue

Purpose of the Application:

Refer to planning rationale for details.

Overall Vision Statement:

The overall plan is to develop a mixed use building that integrates into the existing fabric of the neighbourhood. The building will provide commercial space at grade along McArthur to maintain the commercial presence along the main street. The building will provide high quality housing intended for young professionals. The development will take advantage of local amenities, the proximity to transit and the existing cycling infrastructure nearby.

Response to City Documents

Refer to planning rationale for details.

Context Plan

Contextual Analysis:

The project site is located at the corner of McArthur Avenue And Belisle Street. McArthur is a commercial main street with a mix of commercial, retail and residential buildings. The street is a designated Traditional Main Street. McArthur features multiple bus routes to provide connections to various parts of the city. McArthur has designated bike lanes that connect to the bike network throughout the city

North

Immediately North of the site are multiple low rise apartment buildings. On the opposite side of the Belisle (North East) are a series of row house buildings. To the North West of the site is a single storey school and associated playgrounds and fields.

East

Immediately East of the site is a two storey commercial building. The Ground Floor is a series of retail spaces containing a variety of business including a tanning salon, convenience store, salon and grocery stores. Although one building the spaces are individually owned and it is unlikely the building will be developed in the near future.

South

To the South of the property is McArthur Avenue. Immediately across from the site are low rise commercial buildings, that contain a medical centre and physiotherapy and massage clinic. Along McArthur is a mix of low rise commercial and residential buildings.

West

To the West of the site is Belisle Road. The property on the opposite side of the street contains a one storey commercial building (Dairy Queen) with a surface parking lot.

Photographs:



Context Map



Image 01. Adjacent property to West of site.

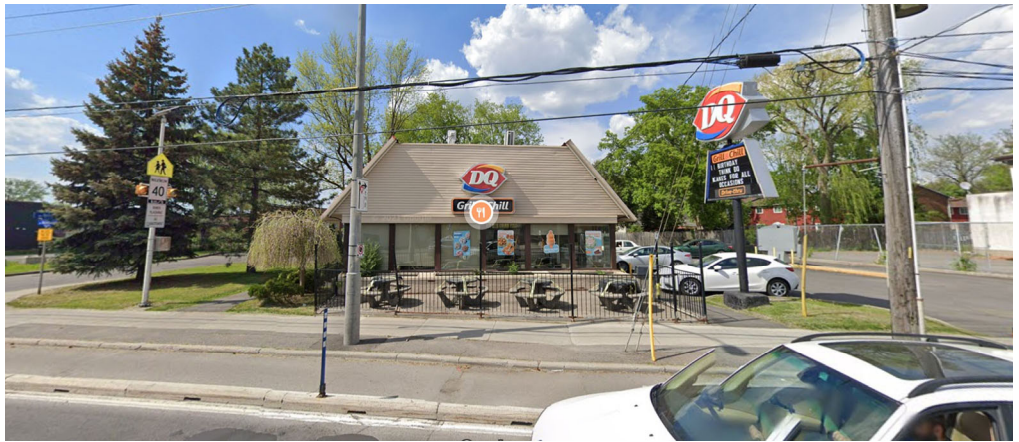


Image 02. Adjacent property to East of site.



Image 03. Adjacent property to North of site.



Image 04. Townhouses to the North East of site.



Image 04. Property to the South of project site.

Section 2 - Design Proposal

Building Massing and Scale

Building Massing

The proposed building complies in general with the applicable Traditional Main Street zoning for the property. The front is located as close to the permitted setback as permitted except as limited by additional setbacks imposed by Ottawa Hydro. The corner side yard setback along Belisle Street conforms to the bylaw as well as the stepped setback required for the rear yard.

- The front building wall is angled parallel to McArthur with a ground floor retail facade to support the intended character of the traditional main street.
- The south elevation facing McArthur has an open retail base at the ground floor with a high proportion of glazing in support the traditional Main Street.
- The upper two storeys along Belisle are set back from the lower four storeys to establish a transition from the higher density of McArthur to the neighbourhood behind



East - West Section



North - South Section

Views



Perspective 1. View looking North-West at development site.



Perspective 2. View looking North-East at development site.



Perspective 3. View looking West at along McArthur Avenue.



Perspective 4. View looking South along Belisle.

Building Transition



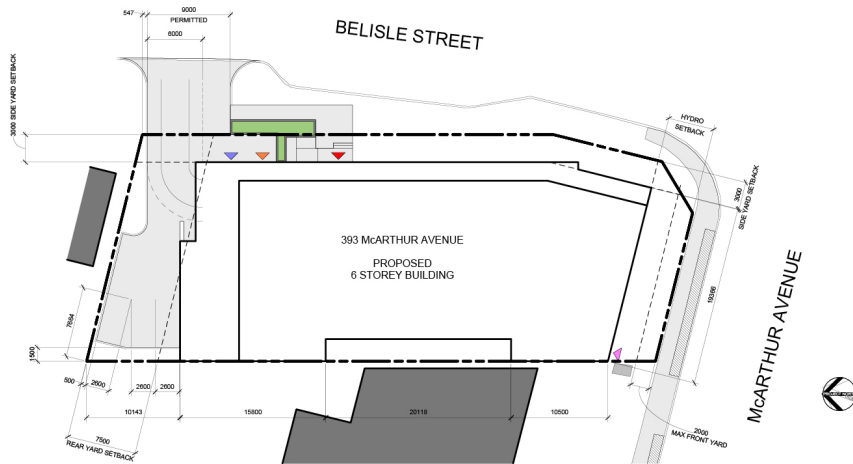
- Change in materiality between Ground Floor and Second Floor to align with height of adjacent buildings and emphasize at grade uses and connection to pedestrian realm

- Canopy along South side of Building to align with adjacent low rise buildings. This also serves as a covered area for the bus stop
- Increased glazing on commercial space to increase transparency and connection to street
- Outdoor patios for residential units along Belisle to activate facade
- Building steps back at 5th floor to reduce perceived height at street level
- Change in materiality at upper floors (5 and 6) to reduce perceived height
- Building steps back on North side to fit within angular plane.
- West façade steps in to allow for glazing and reduce amount of blank wall along property line (refer to West Elevation).

Grading

The site has a gentle slope towards the South towards McArthur. Refer to grading plan for detailed grading information.

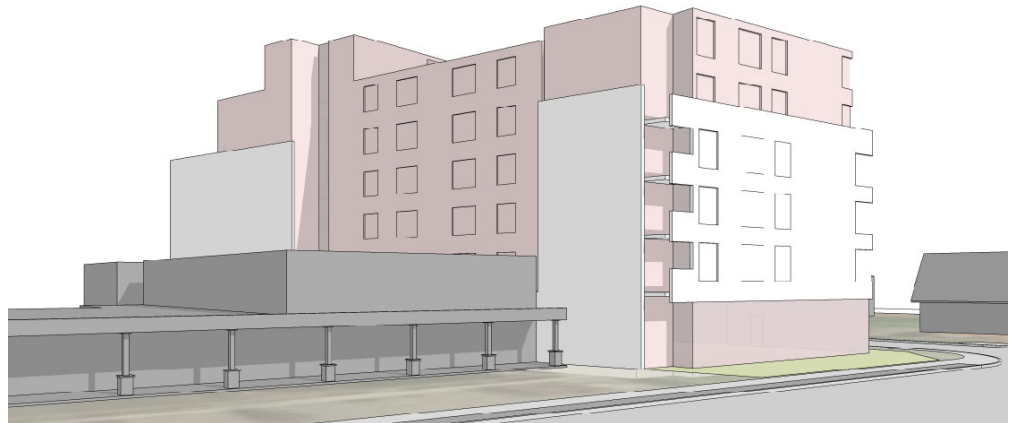
Alternative Building Massing



Previous site layout presented at pre-consultation meeting.



Previous massing presented at pre-consultation meeting.



Previous massing presented at pre-consultation meeting.

Public Realm

Streetscape



- Change in materiality between Ground Floor and Second Floor to align with height of adjacent buildings and emphasize at grade uses and connection to pedestrian realm
- Canopy along South side of Building to align with adjacent low rise buildings. This also serves as a covered area for the bus stop
- Increased glazing on commercial space to increase transparency and connection to street
- Outdoor patios for residential units along Belisle to activate facade
- Building steps back at 5th floor to reduce perceived height at street level
- Change in materiality at upper floors (5 and 6) to reduce perceived height
- Increased setback along McArthur to create a public space adjacent to bus stop

Relationship to Public Realm

The McArthur façade with open ground floor retail supports the strong street frontage intended for the Traditional Main Street. The ground floor residential units along Belisle with their outdoor amenity spaces contributes to a safe and human scaled street level environment. The level of detail that is intended in the design of these outdoor spaces using grade changes, vegetation, and other landscape features will provide the finely textured transition of public to private space that will enhance the human scaled street environment.

Full cut-off lighting along the McArthur and Belisle frontages will provide safety without light pollution.

A generously landscaped buffer along Belisle will soften the impact of the building on the street as well as providing shade to building and pedestrians, habitat, and establish the transition in character to the adjacent residential neighbourhood.

BUILDING DESIGN

A range of factors arising out of the location, planning requirements, grading, and functional requirements of the building has led to a design which has the following attributes:

- Ground floor commercial space is located along McArthur Avenue, with direct level access off of the sidewalk.
- Ground floor residential units are provided behind the commercial space along Belisle. These ground floor units have access to private outdoor landscaped spaces which will include paved patios, buffered from the street with planting. Due to a gradual slope as grades drop along Belisle, these patios will be raised with a low retaining wall to create some privacy and separation from the sidewalks
- An additional benefit of this higher ground floor above grade is that the length of the ramp down to the parking level as well as the depth of excavation over the whole site (and need for shoring) is optimized.
- The main entrance with a stair and elevator lobby for the apartment building is located from Belisle towards the north end of the building.
- The drop in grade down along Belisle from McArthur results in the inclusion of a ramped access to make up the grade to the main entrance, in addition to a walkway and steps.
- The location of the main entrance provides several benefits including:
 - This entrance gives residents direct and convenient access to a bicycle room and waste vestibule adjacent to the main interior waste room.
 - Proximity to one of the exit stairs provides residents with a convenient alternative to the elevator which can enhance resident well-being and has sustainability benefits
 - Visitor parking is close to the main entrance
 - Access for pickup of waste is integrated with the main driveway entrance, which optimizes the width of driveways and amount of asphalt
- Access is provided from Belisle to 3 surface parking spaces in the rear yard as well as a ramped internal driveway to basement parking.

Refer to drawings A.100 Site Plan, A.200 Floor Plans, A.201 Floor Plans and A.301 Elevations for detailed graphics.

SUSTAINABLE DESIGN

Following are some of the sustainable measures provided in this design:

- An exterior building form that limits windows to approximately 25% of the envelope area will reduce seasonal envelope heat losses and gains by approximately 1/3 compared to buildings that use glazed window wall systems.
- A compact building form will reduce envelope heat losses
- Small compact unit design and shared amenity space will reduce overall building area per person with associated reduction in embodied carbon and operating costs

- Optimized site and landscape design limits vehicular asphalt surfaces to the minimum. Paved surfaces are used in low-load locations and at pedestrian areas.
- Light colours on many of the exterior wall surfaces will help reduce heat island
- The location of the building on a traditional main street and provision of on-site amenity space will provide residents with aspects of a walkable community.
- Convenient interior bike parking will provide residents with an alternative to car use.

Heritage

There is no heritage designation for the property or any adjacent properties.