



BYRON APARTMENTS

522 LOWER BYRON AVE, OTTAWA ON.

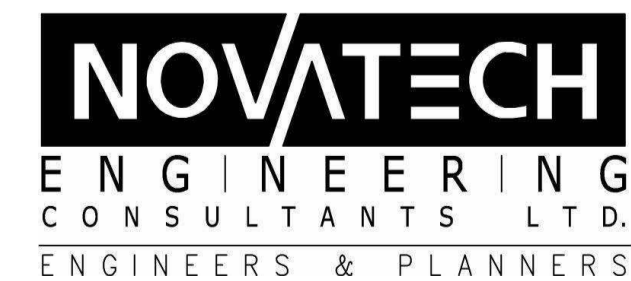
ISSUED FOR REZONING AND SITE PLAN CONTROL 2022.07.07

ARCHITECTURAL DRAWINGS



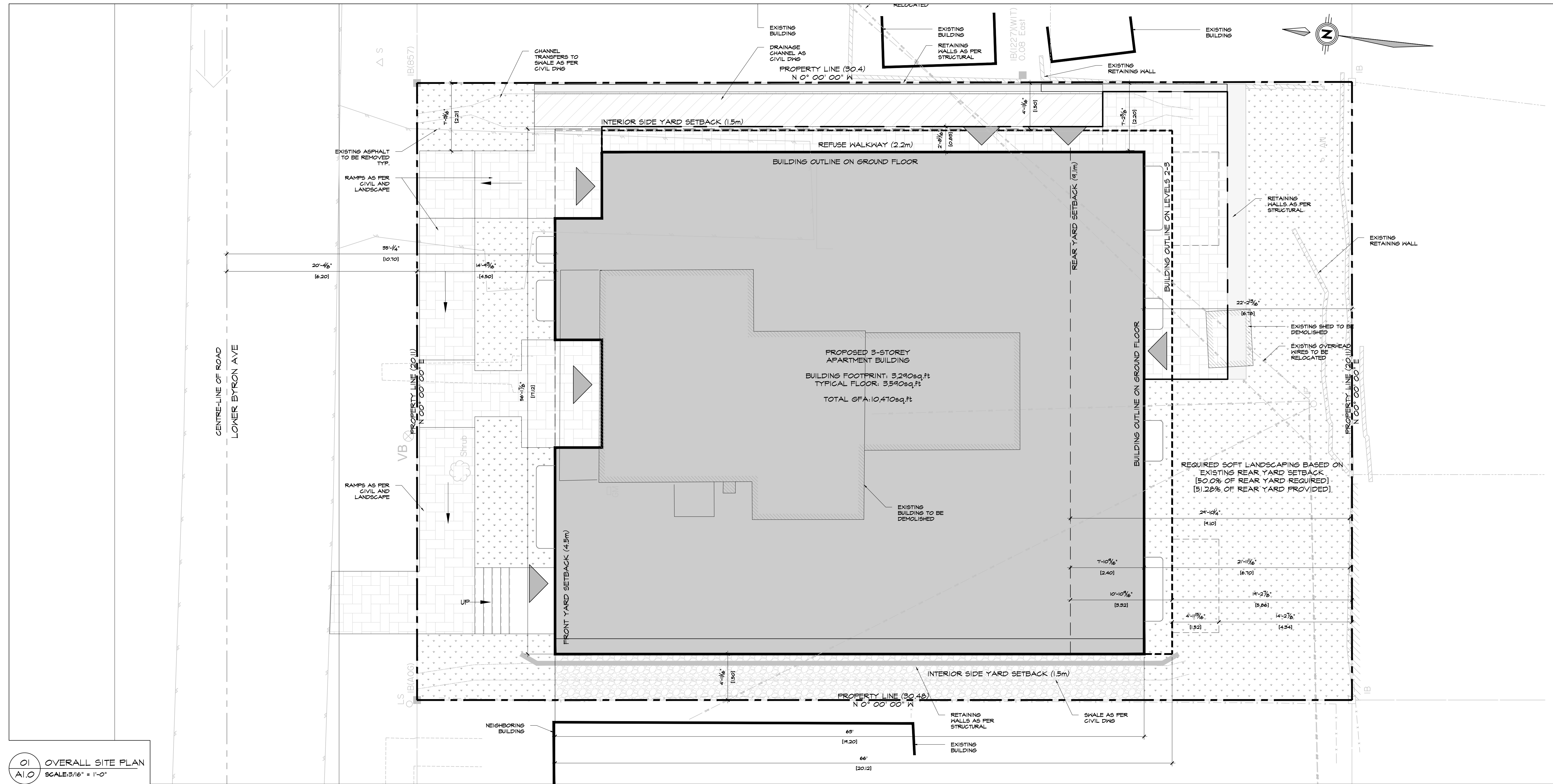
S.J. LAWRENCE ARCHITECT INC.
18 DEAKIN ST. SUITE 205
OTTAWA, ONTARIO K2E 8B7
(P) 613 739 7770
(F) 613 739 7703

CIVIL DRAWINGS



NOVATECH ENGINEERING CONSULTING LTD.
240 MICHAEL COWPLAND DR. SUITE 200
OTTAWA, ONTARIO K2M 1P8
(P) 613 254 9643
(F) 613 254 5867

NOTES:
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME REVISION AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



O1 OVERALL SITE PLAN
 A.I.O. SCALE: 3/16" = 1'-0"

CITY OF OTTAWA ZONING BY-LAW

ZONING PROVISIONS	REQUIRED	PROPOSED
R4-UG [2685]		
MIN. LOT AREA	900sq.m	619.71sq.m
MAX. LOT AREA	N/A	619.71sq.m
MIN. LOT WIDTH	12m	20.12m
MAX. LOT WIDTH	N/A	20.12m
MIN. FRONT YARD SETBACK	4.5m	4.5m
MIN. REAR YARD SETBACK	9.12m	9.06m
MIN. INTERIOR SIDE YARD SETBACK	1.5m	1.5m
MAX. BUILDING HEIGHT	11m	10.22m
LANDSCAPING REQUIREMENTS 50% OF THE REAR YARD	42.8sq.m	44.85sq.m

BUILDING AREAS:

GROUND FLOOR = 305.6 SQ.M [3,290sq.ft]
 SECOND FLOOR = 333.5 SQ.M [3,590sq.ft]
 THIRD FLOOR = 333.5 SQ.M [3,590sq.ft]

TOTAL = 972.6 SQ.M [10,470sq.ft]

BUILDING FLOOR STATISTICS - RENTAL APARTMENT:

FLOOR	SUITES	STUDIO	1 BED.	2 BED.
LOWER LEVEL	4	2	2	0
GROUND FLOOR	4	1	3	0
SECOND FLOOR	5	1	2	2
THIRD FLOOR	5	1	2	2
TOTAL	18	5	9	4
SUITE MIX	0	28	50	22



No.	DATE	REVISION
08	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
07	2022.06.06	ISSUED FOR REVIEW
06	2021.05.05	ISSUED FOR COORDINATION
05	2021.11.02	ISSUED FOR REVIEW
04	2021.09.14	ISSUED FOR COORDINATION
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

NO. DATE REVISION

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 Deacon Street
 Suite 208
 Ottawa, Ontario
 K2E 8B7
 T: (613) 794-7710
 F: (613) 794-7705
 sjl@jlawarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:
 BYRON APARTMENTS
 522 LOWER BYRON AVE, OTTAWA, ON

SHEET TITLE:
 SITE PLAN

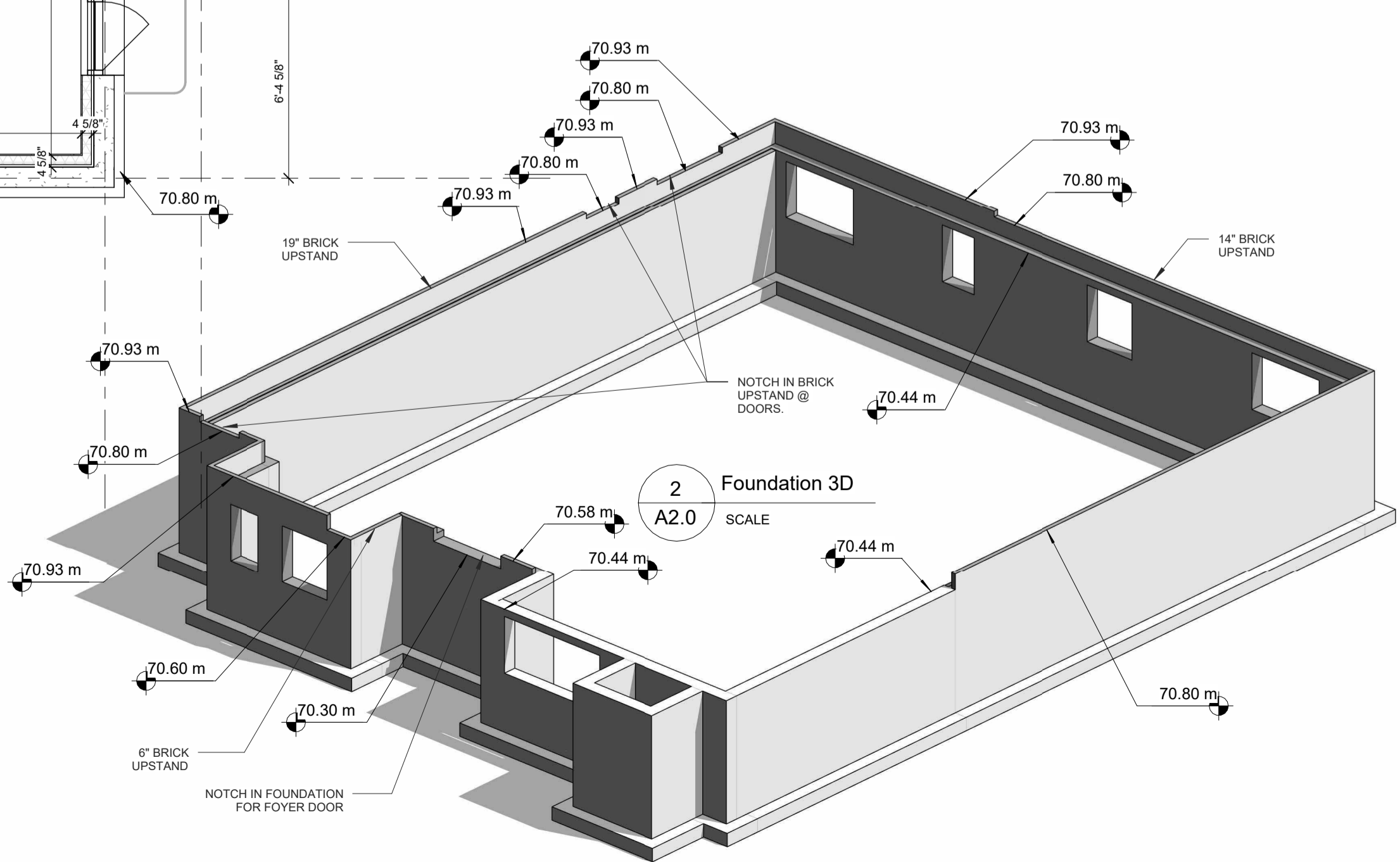
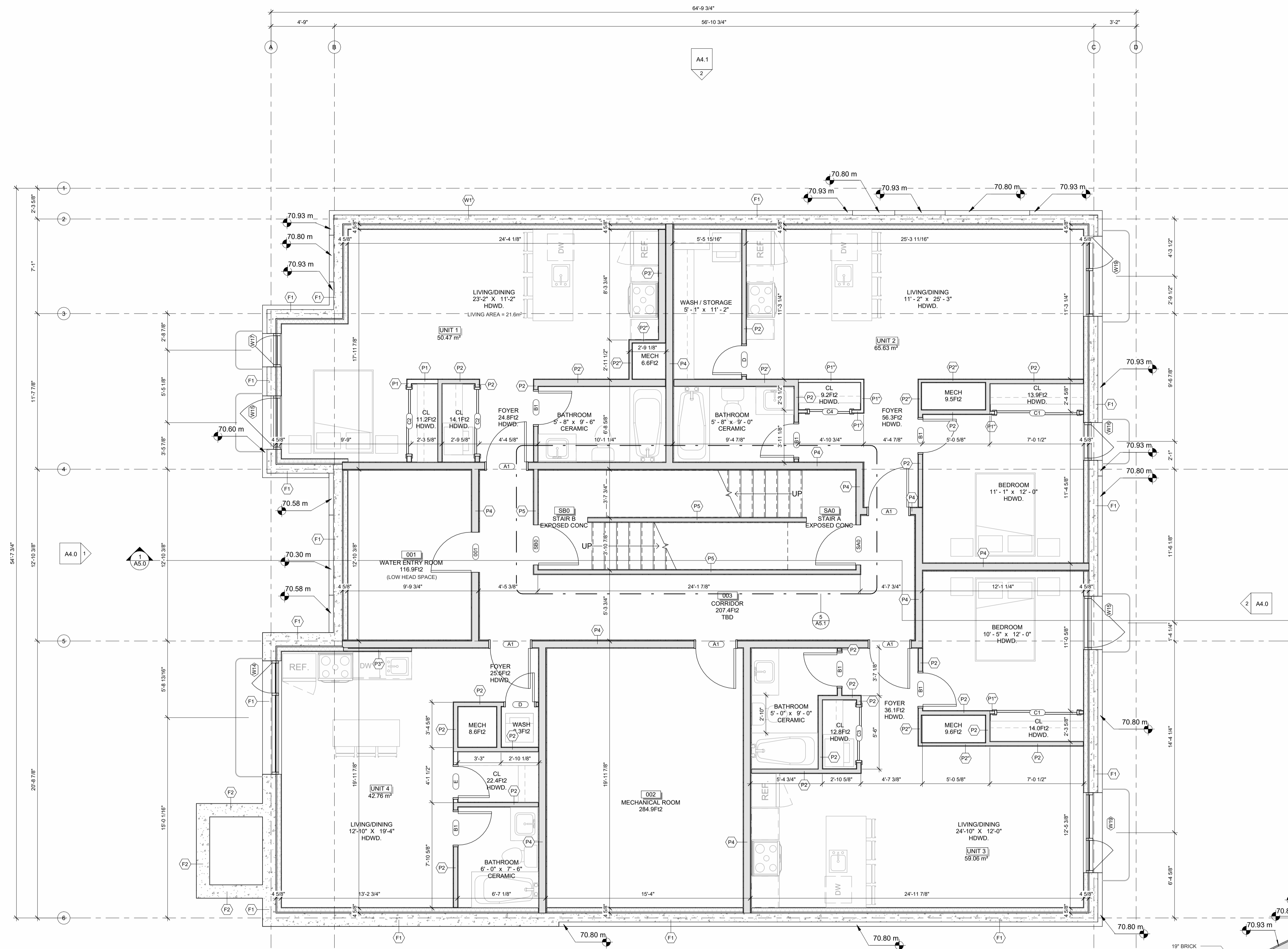
DRAWN BY: S.L. **CHECKED BY:** S.L.

PLOT DATE:
 2022.06.06

JOB NUMBER: SL-1052-21 **SCALE:** AS NOTED

SHEET NUMBER:

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



1 T.O. Slab
A2.0 SCALE 1/4" = 1'-0"

2 Foundation 3D
A2.0 SCALE



No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

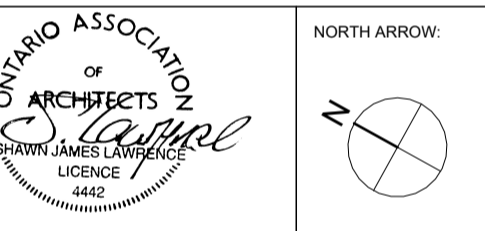
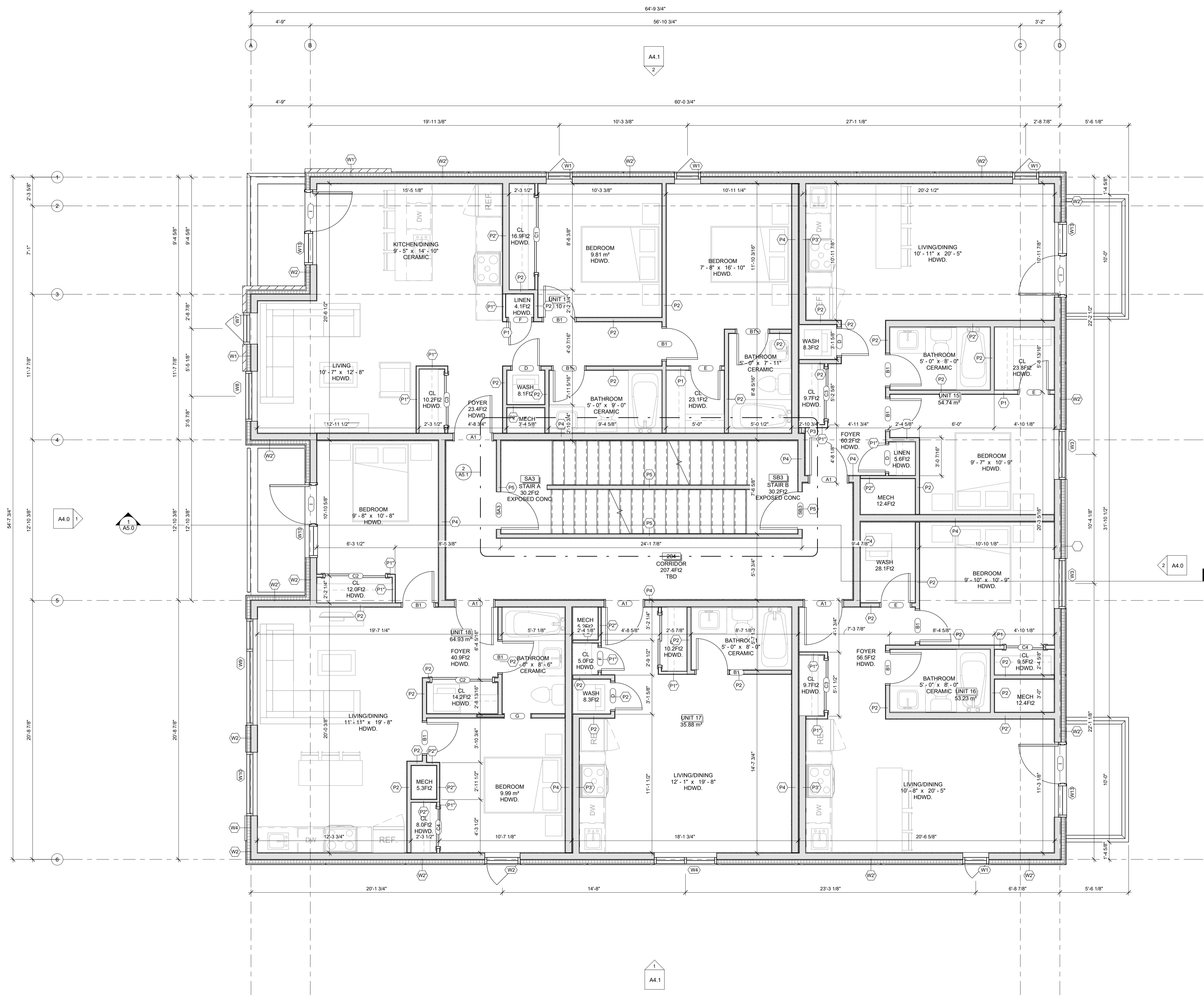
S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
T: (613) 733 7770 F: (613) 739 7703 sj@sjarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT: **BYRON APARTMENTS**
622 LOWER BYRON AVE, OTTAWA, ON.
SHEET TITLE: **FOUNDATION PLAN**

DRAWN BY: R.R. CHECKED BY: B.L. S.J.L.
PLOT DATE: 2022-07-06 9:43:15 AM
JOB NUMBER: SL-1054-21 SCALE: 1/4" = 1'-0"

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 733 7770 F: (613) 739 7703
 sjl@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:
BYRON APARTMENTS
 622 LOWER BYRON AVE, OTTAWA, ON.
 SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY: R.R. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-07-06 9:43:25 AM
 JOB NUMBER: SL-1054-21 SCALE: 1/4" = 1'-0"

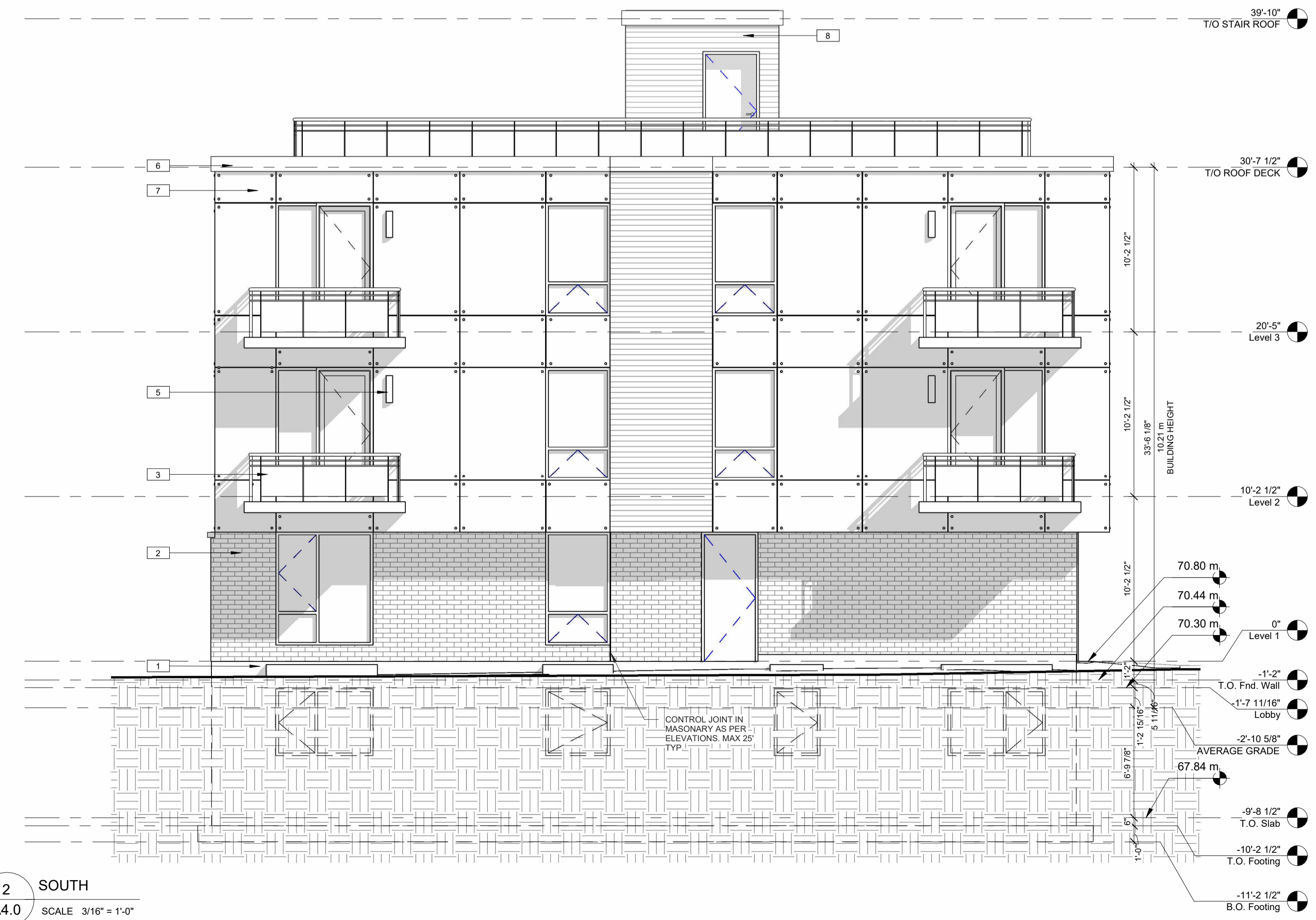
- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
1	CEMENT PARKING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	BRICK VENEER
3	PRE-FINISHED METAL GUARD RAIL (3'-0" TALL)
4	4" PRECAST CONCRETE SILL
5	WALL SCIENCE
6	PRE-FINISHED METAL FASCIA
7	CONCRETE PANEL CW REVEALS
8	HORIZONTAL METAL SIDING
9	SPANDREL PANEL



1 NORTH
 A4.0 SCALE 3/16" = 1'-0"



2 SOUTH
 A4.0 SCALE 3/16" = 1'-0"



No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703 sj@sjarchitect.com



THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:
BYRON APARTMENTS

622 LOWER BYRON AVE, OTTAWA ON.

SHEET TITLE:
ELEVATIONS

DRAWN BY: R.R. CHECKED BY: B.L. S.J.L.

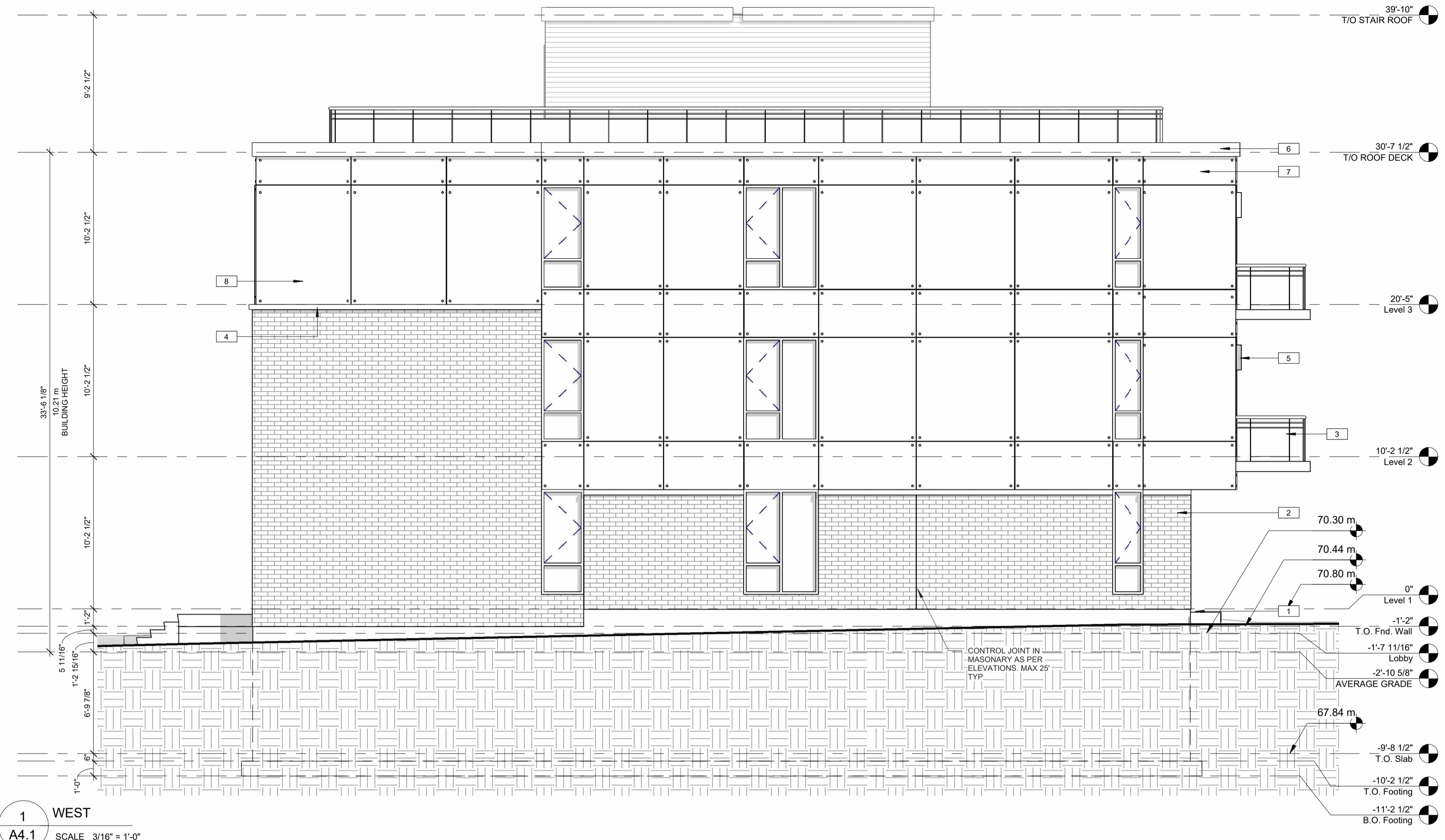
PLOT DATE:
 2022-07-06 9:43:39 AM

JOB NUMBER: SL-1054-21 SCALE: 3/16" = 1'-0"

NOTES
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
1	CEMENT PARKING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	BRICK VENEER
3	PRE-FINISHED METAL GUARD RAIL (2'-6" TALL)
4	4" PRECAST CONCRETE SILL
5	WALL SOUNCE
6	PRE-FINISHED METAL FASCIA
7	CONCRETE PANEL CW REVEALS
8	HORIZONTAL METAL SIDING
9	SPANDREL PANEL



1 WEST
 A4.1 SCALE 3/16" = 1'-0"

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
33	30	RDIV/01	9
34.63	3,074	RDIV/01	9
15	9	RDIV/01	9

1ST TO 3RD FLOOR (RATED WINDOW)
 3.25m UNPROTECTED OPENING AREA
 14.63m² EXPOSED BUILDING FACE
 22.2% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 LESS THAN 1:3
 9.1% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

1ST TO 3RD FLOOR
 1.84m² UNPROTECTED OPENING AREA
 21.59m² EXPOSED BUILDING FACE
 8.5% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 LESS THAN 1:3
 8.7% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
26	9	RDIV/01	9
23.39	8,682	RDIV/01	8,682
25	8	RDIV/01	8

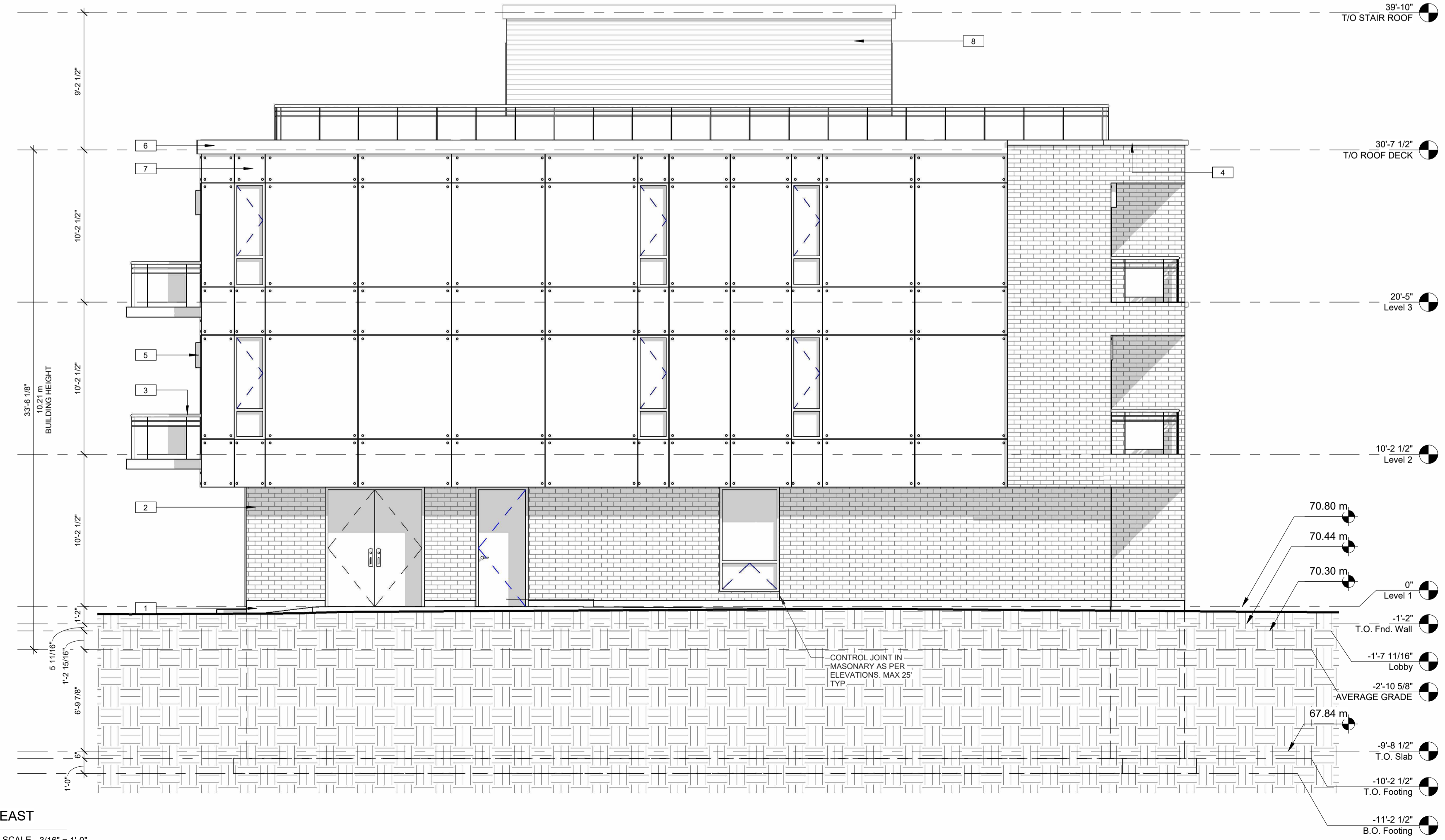
3 WEST (LD Calcs)
 A4.1 SCALE 1:200

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
33	9	RDIV/01	9
17.88	9	RDIV/01	9
20	9	RDIV/01	9

2ND AND 3RD FLOOR
 1.35m UNPROTECTED OPENING AREA
 17.88m² EXPOSED BUILDING FACE
 7.8% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 LESS THAN 1:3
 9.0% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

1ST FLOOR
 1.35m UNPROTECTED OPENING AREA
 15.37m² EXPOSED BUILDING FACE
 8.7% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 LESS THAN 1:3
 9% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
33	9	RDIV/01	9
15.37	9	RDIV/01	9
20	9	RDIV/01	9



2 EAST
 A4.1 SCALE 3/16" = 1'-0"

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	2	2.2	2.5
30	18	22.4	29
12.42	36,064	19,882	25,612
15	14	17.2	22

1ST FLOOR (RATED DOOR)
 4.96m UNPROTECTED OPENING AREA
 12.42m² EXPOSED BUILDING FACE
 39.9% UNPROTECTED OPENING
 2200mm BUILDING SETBACK
 LESS THAN 1:3
 19.9% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

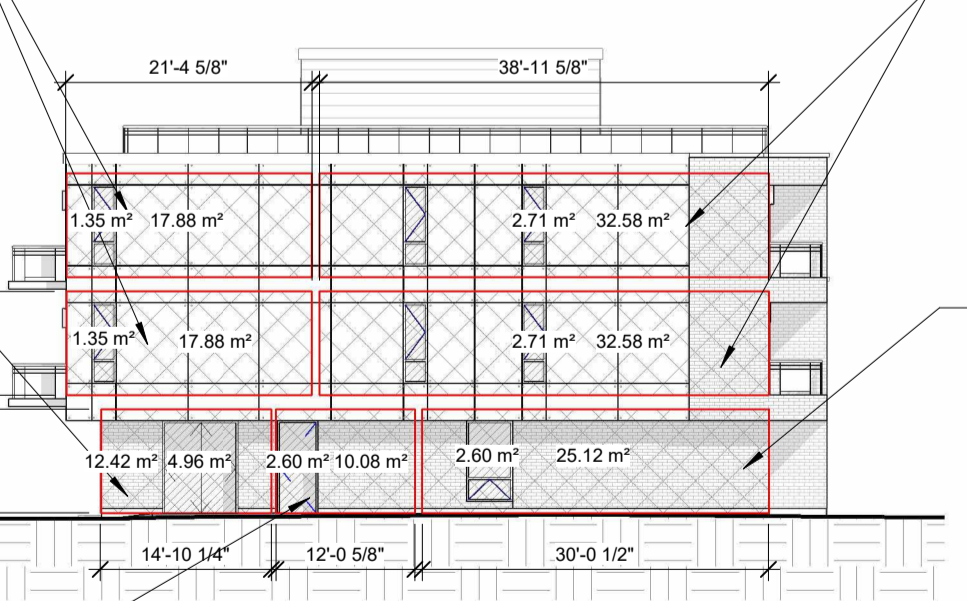
1ST FLOOR (RATED DOOR)
 2.6m UNPROTECTED OPENING AREA
 10.1m² EXPOSED BUILDING FACE
 25.7% UNPROTECTED OPENING
 2200mm BUILDING SETBACK
 LESS THAN 1:3
 22.3% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

4 EAST (LD Calcs)
 A4.1 SCALE 1:200

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
33	9	RDIV/01	9
17.88	8,742	RDIV/01	8,742
20	8	RDIV/01	8

2ND AND THIRD FLOOR
 1.35m UNPROTECTED OPENING AREA
 17.88m² EXPOSED BUILDING FACE
 7.6% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 LESS THAN 1:3
 9.0% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

1ST FLOOR (RATED DOOR)
 2.6m UNPROTECTED OPENING AREA
 10.1m² EXPOSED BUILDING FACE
 25.7% UNPROTECTED OPENING
 2200mm BUILDING SETBACK
 LESS THAN 1:3
 22.3% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING



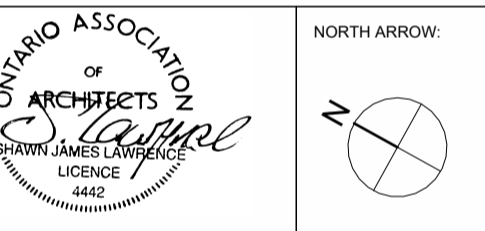
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.5	1.5
30	9	RDIV/01	9
32.58	8,742	RDIV/01	8,742
40	8	RDIV/01	8

2ND AND THIRD FLOOR
 2.71m² UNPROTECTED OPENING AREA
 32.58m² EXPOSED BUILDING FACE
 8.3% UNPROTECTED OPENING
 1500mm BUILDING SETBACK
 1:3 TO 1:10
 8.7% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

1ST FLOOR
 2.60m² UNPROTECTED OPENING AREA
 25.7m² EXPOSED BUILDING FACE
 10.4% UNPROTECTED OPENING
 2200mm BUILDING SETBACK
 1:3 TO 1:10
 11.9% ALLOWED UNPROTECTED OPENING PERCENTAGE
 1HR FRR, NONCOMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION, NONCOMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	2	2.2	2.5
30	18	22.4	29
10.1	17.92	22.296	26.86
15	14	17.2	22

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	2	2.2	2.5
25	13	11.8	10
25.12	12,976	11,8528	10,160
30	12	14	17



No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
 T: (613) 730-7770 F: (613) 739-7703 sj@sjarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:
 BYRON APARTMENTS
 622 LOWER BYRON AVE, OTTAWA, ON.

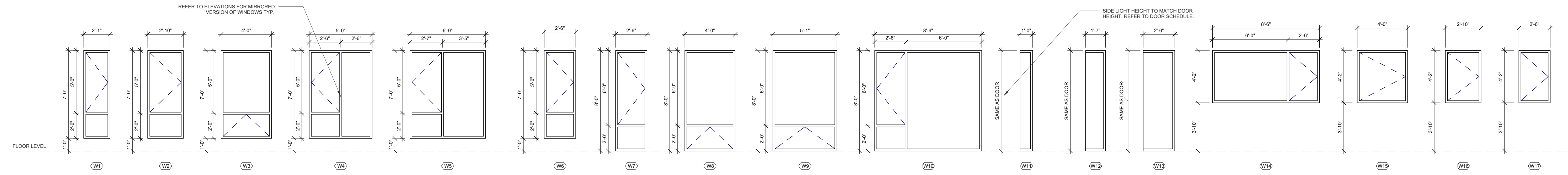
SHEET TITLE:
 ELEVATIONS

DRAWN BY: R.R. **CHECKED BY:** B.L. S.J.L.

PLT DT DATE: 2022-07-06 9:43:52 AM

JOB NUMBER: SL-1054-21 **SCALE:** As Indicated

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



1 WINDOW LEGEND 1
SCALE 1/4" = 1'-0"

UN	Fire Rating	SIZE (WxHxT)	DOOR		FRAME		NOTES	DOOR HARDWARE
			Description	DOOR FINISH	Frame Type	FRAME FINISH		
A1	45min	36" x 84" x 1 3/4"	METAL	PRE-FINISHED	PRESSED STEEL	PAINTED		[A] [B] [E] [J] [K] [L]
A2	45min	38" x 84" x 1 3/4"	METAL	PRE-FINISHED	PRESSED STEEL	PAINTED		[A] [B] [E] [J] [K] [L]
B1	--	30" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED		[A] [D]
B2	--	38" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED		[A] [D]
C1	--	72" x 84" x 1 3/4"	HOLLOW CORE WD. (2) SLIDING	PAINTED/STAIN	--	--		SLIDING DOOR HARDWARE
C2	--	58" x 84" x 1 3/4"	HOLLOW CORE WD. (2) SLIDING	PAINTED/STAIN	--	--		SLIDING DOOR HARDWARE
C3	--	48" x 84" x 1 3/4"	HOLLOW CORE WD. (2) SLIDING	PAINTED/STAIN	--	--		SLIDING DOOR HARDWARE
C4	--	36" x 84" x 1 3/4"	HOLLOW CORE WD. (2) SLIDING	PAINTED/STAIN	--	--		SLIDING DOOR HARDWARE
D	--	28" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED		[A] [F] [H]
E	--	28" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED		[A] [E]
F	--	22" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED		[A] [F] [H]
G	--	26" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED	--	--		POCKET DOOR HARDWARE
H	--	36" x 84" x 1 3/4"	HOLLOW CORE WD	PAINTED	--	--		POCKET DOOR HARDWARE
I	--	38" x 94" x 1 3/4"	INSULATED ALUMINUM	BLACK ANODIZED	INSULATED ALUMINUM	BLACK ANODIZED		[A] [C] [J] [K]

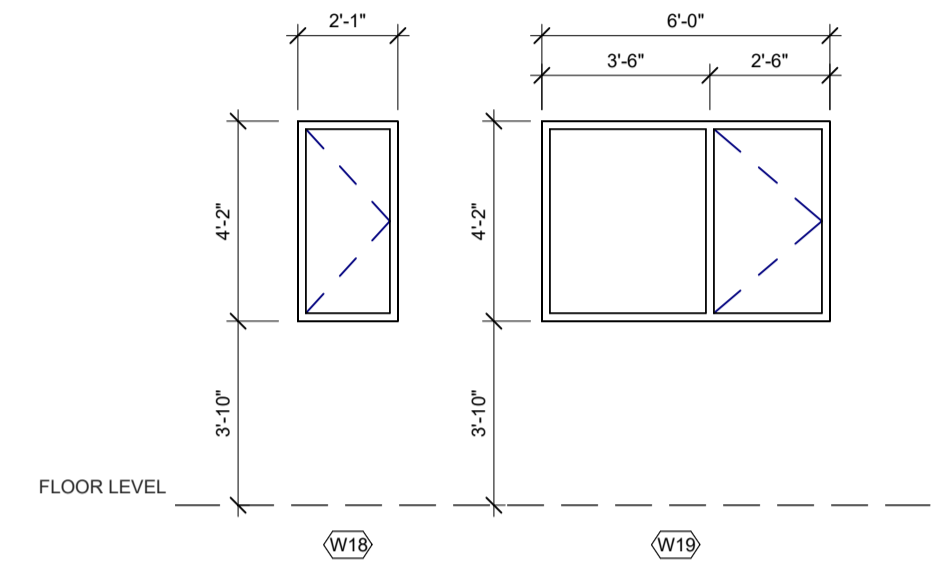
- [A] - HINGES
[B] - DEADBOLT LOCK
[C] - LOCKSET
[D] - PRIVACY SET
[E] - PASSAGE SET
[F] - DUMMY SET/BALL CATCH
[G] - FLUSH BOLT
[H] - PULL
[I] - PUSH
[J] - WEATHER STRIPPING
[K] - THRESHOLD
[L] - SELF CLOSER
[M] - ELEC. OPERATOR
[N] - ROLLER CATCH

- GENERAL WINDOW NOTES**
1. ALL WINDOWS - BLACK ALUMINUM
 2. NO BRICK MOULDING FOR BASEMENT WINDOWS
 3. SEE ELEVATIONS FOR OPERABLE DIRECTION
 4. ALL WINDOWS TO BE RESIST FORCED ENTRY AS PER O.B.C. 9.7.6
 5. ALL WINDOWS/SLIDING GLASS DOORS SHALL HAVE A MAXIMUM U-VALUE OF 1.4
 6. CONFIRM ROUGH OPENING WITH MANUFACTURER
 7. ALL OPERABLE WINDOWS WITH A SILL HEIGHT GREATER THAN 480mm TO BE INSTALLED WITH A MECHANISM THAT WILL LIMIT THE OPENING TO LESS THAN 100mm, IN ACCORDANCE WITH OBC 2012 8.8
 8. SITE MEASURE WINDOW SCREENS TO CONFIRM OVERALL DIMENSIONS

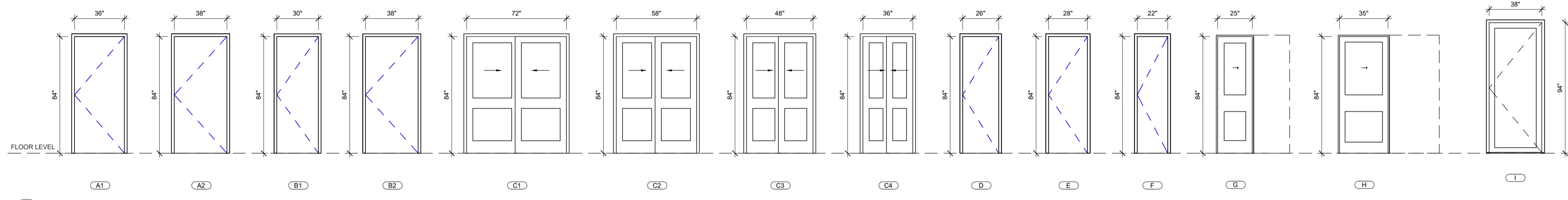
- NOTES:**
- SP = INSULATED SPANDREL PANEL
 - GL = GLAZING
 - FR = FIRE RATED GLASS "FIRELITE"
 - GWG = GEORGIAN WIRE GLASS
 - TG = TEMPERED GLASS
 - FG = FROSTED GLASS
- ** REFER TO ELEVATIONS FOR FROSTED GLASS LOCATION AND OPERATOR DIRECTION FOR WALL WINDOWS AND DOORS

- GENERAL DOOR NOTES**
1. ALL EXT. DOORS TO RESIST FORCED ENTRY AS PER OBC 9.6.8
 2. THERMAL RESISTANCE FOR EXT. DOORS TO BE NOT LESS THAN R4 AS PER SB-12 2.1.19 (1)
 3. ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED
 4. CONFIRM ROUGH OPENING WITH MANUFACTURER

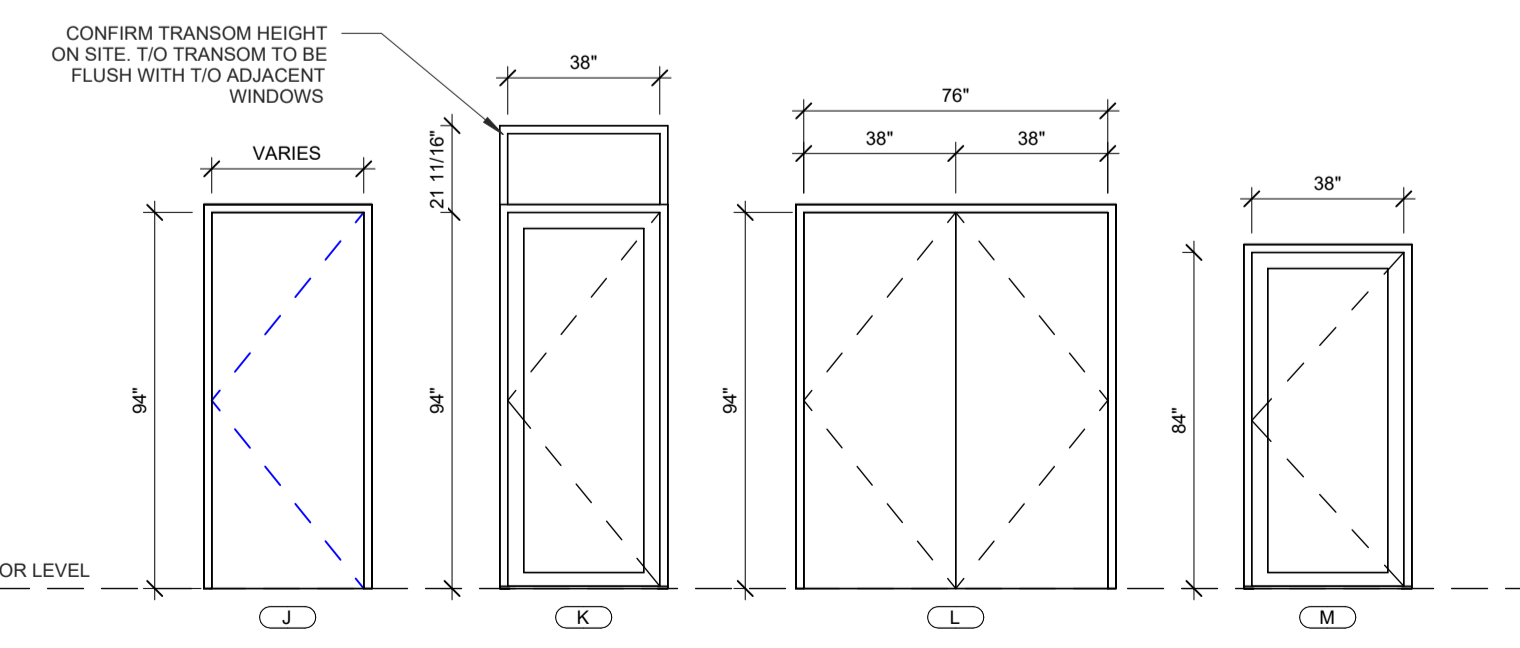
- GENERAL NOTES:**
- ALL EXTERIOR WINDOW/DOOR FRAMES TO BE TIED INTO CONTINUOUS AIR BARRIER AS INDICATED ON THE ARCHITECTURAL DETAILS.
 - ALL WINDOW AND DOOR FRAMES TO HAVE GYPSUM BOARD RETURNS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR / EXTERIOR FRAMES TO BE CAULKED TO ADJACENT MATERIALS USING APPROPRIATE CAULKING AS INDICATED IN DETAILS.



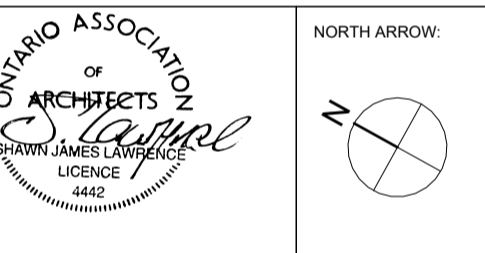
Mark	LOCATION		LOCATION		TYPE	DOOR		Fire Rating	Type Mark	DOOR FINISH	FRAME		DOOR HARDWARE	NOTES	Width	Height	Thickness
	From Room: Name	Exterior From	From Room	To Room: Name		Exterior To	To Room				SIZE (HxWxT)	FRAME FINISH					
Level 1																	
101	LOBBY	0	LOBBY		1	EXTERIOR	INSULATED ALUMINUM	84" x 38" x 1 3/4"	--	K	BLACK ANODIZED	INSULATED ALUMINUM	BLACK ANODIZED	[L]	38"	84"	1 3/4"
102.1	VESTIBULE	0	VESTIBULE	BICYCLE STORAGE	0	BICYCLE STORAGE	HOLLOW METAL	84" x 36" x 1 3/4"	--	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
102.2	EXTERIOR	1	EXTERIOR	BICYCLE STORAGE	0	BICYCLE STORAGE	HOLLOW METAL	94" x 38" x 1 3/4"	1HR	J	PAINTED	PRESSED STEEL	PAINTED	[L]	38"	94"	1 3/4"
103	CORRIDOR	0	CORRIDOR	VESTIBULE	0	VESTIBULE	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
104.1	VESTIBULE	0	VESTIBULE	GARBAGE ROOM	0	GARBAGE ROOM	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
104.2	EXTERIOR	1	EXTERIOR	GARBAGE ROOM	0	GARBAGE ROOM	HOLLOW METAL	94" x 76" x 1 3/4"	1HR	L	PAINTED	PRESSED STEEL	PAINTED	[L]	76"	94"	1 3/4"
105.1	CORRIDOR	0	CORRIDOR	STAIR B	0	STAIR B	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
105.2	CORRIDOR	0	CORRIDOR	EXTERIOR	1	EXTERIOR	HOLLOW METAL	94" x 38" x 1 3/4"	--	J	PAINTED	PRESSED STEEL	PAINTED	[L]	38"	94"	1 3/4"
106	CORRIDOR	0	CORRIDOR	LOBBY	0	LOBBY	INSULATED METAL	84" x 38" x 1 3/4"	--	M	PRE-FINISHED	PAINTED	AC		38"	84"	1 3/4"
Level 2																	
SA2	CORRIDOR	0	CORRIDOR	STAIR A	0	STAIR A	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PAINTED	[L]	36"	84"	1 3/4"	
SB2	CORRIDOR	0	CORRIDOR	STAIR B	0	STAIR B	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PAINTED	[L]	36"	84"	1 3/4"	
Level 3																	
SA3	CORRIDOR	0	CORRIDOR	STAIR A	0	STAIR A	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PAINTED	[L]	36"	84"	1 3/4"	
SB3	CORRIDOR	0	CORRIDOR	STAIR B	0	STAIR B	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PAINTED	[L]	36"	84"	1 3/4"	
T.O. Slab																	
001	CORRIDOR	0	CORRIDOR	WATER ENTRY ROOM	0	WATER ENTRY ROOM	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
SA0	CORRIDOR	0	CORRIDOR	STAIR A	0	STAIR A	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
SB0	CORRIDOR	0	CORRIDOR	STAIR B	0	STAIR B	HOLLOW METAL	84" x 36" x 1 3/4"	45min	J	PAINTED	PRESSED STEEL	PAINTED	[L]	36"	84"	1 3/4"
TO ROOF DECK																	
SB4	STAIR B	1	EXTERIOR	STAIR A	0	STAIR A	HOLLOW METAL	84" x 38" x 1 3/4"	45min	B3	PAINTED	PRESSED STEEL	PAINTED	[L]	38"	84"	1 3/4"
SB4	STAIR B	0	EXTERIOR	EXTERIOR	1	EXTERIOR	HOLLOW METAL	84" x 38" x 1 3/4"	45min	B3	PAINTED	PRESSED STEEL	PAINTED	[L]	38"	84"	1 3/4"



2 SUITE DOORS
SCALE 1/4" = 1'-0"



3 NON SUITE DOORS
SCALE 1/4" = 1'-0"



No.	DATE	REVISION
07	2022.07.07	ISSUED FOR REZONING AND SITE PLAN CONTROL
06	2021.05.03	ISSUED FOR COORDINATION
05	2021.04.13	ISSUED FOR REVIEW
04	2021.04.08	ISSUED FOR REVIEW
03	2021.03.18	ISSUED FOR REVIEW
02	2021.03.11	ISSUED FOR REVIEW
01	2021.02.19	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
T: (613) 733-7770 F: (613) 739-7703 sj@sjarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT: **BYRON APARTMENTS**
622 LOWER BYRON AVE, OTTAWA, ON.
SHEET TITLE: **BUILDING SCHEDULES**

DRAWN BY: **R.R.** CHECKED BY: **B.L. S.J.L.**
PLOT DATE: **2022-07-06 9:43:56 AM**
JOB NUMBER: **SL-1054-21** SCALE: **1/4" = 1'-0"**