
Cultural Heritage Evaluation Report

1185 Beaverwood Road, Ottawa (Manotick)



Prepared for:

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1 Introduction

1.1 About the CHER

The City of Ottawa (City) has requested a Cultural Heritage Evaluation Report (CHER) prepared by a qualified heritage consultant to examine the heritage value of the house (Figure 1, Figure 2, Figure 3, Figure 4, Figure 5, Figure 6, Figure 7) on the property at 1185 Beaverwood Road in Manotick (Figure 8). The property (Figure 9) is located within the Village Core area of the Manotick Secondary Plan (Figure 10).

The purpose of the CHER is to assist the City in determining the full heritage value or interest in the property using the criteria in Regulation 9/06 of the Ontario Heritage Act. The CHIS is authored by Julie Harris, Contentworks Inc., CAHP.¹ The City instructed the consultant to focus on the house itself in conducting research and assessment.

1.1.1 Heritage Register Listing

The subject property is listed as a non-designated property on the City of Ottawa's Heritage Register. According to the City, no rationale for including the property on the register was provided in the documentation transferred to the City on amalgamation with Manotick, and no category or grade was assigned to the property. The property was added to the City of Ottawa Heritage Register by Council in 2019.²

The Property Information Sheet for 1185 Beaverwood Road (which is concerned exclusively with the house and not the full property) prepared by the City of Ottawa in 2018 describes the date of construction of the house as c 1931, and describes it as a "well-balanced façade with enclosed porch with pediment and original windows. Limited visibility. Likely metal of vinyl cladding."

1.1.2 Planning Application

The CHER for 1185 Beaverwood Road is concerned exclusively with providing information to consider whether the house on the property is of cultural heritage value or interest; it does not consider in any way potential cultural heritage impacts of a proposed development for the property. A planning application has been made by Ark Construction Ltd. to support Major Rezoning and Site Plan Control applications to facilitate the development of a three-storey low-rise apartment dwelling.³ The Subject Property is currently occupied with a detached dwelling and is zoned Village First Density Residential Subzone P (V1P) in the City of Ottawa Zoning By-law 2008-250.

¹ Julie Harris, President, Contentworks Inc., is a Professional Member of the Canadian Association of Heritage Professionals. She has over 30 years of experience in heritage evaluation and historical research. She has been qualified as a witness in the field of heritage evaluation for the purposes of an OMB; served as a provincial appointee to the Conservation Review Board of Ontario; and conducted architectural histories for hundreds of buildings and landscapes for various government clients in Ontario and other parts of Canada.

² Email correspondence from Avery Marshall, Heritage Register Coordinator, Heritage Planning, City of Ottawa, to Julie Harris, Contentworks Inc., 4 October 2022.

³ Novatech, 1185 Beaverwood Road Planning Rationale in Support of Site Plan Control and Major Rezoning Applications, 21 July 2022: 1.

1.1.3 Criteria – Regulation 9/06

This CHER evaluates (see Section 5) the heritage value of 1185 Beaverwood Road by considering evidence and opinions pertinent for applying criteria outlined in Regulation 9/06 of the Ontario Heritage Act.

The report follows the outline of the criteria in Reg. 9/06 by providing information about the property only relevant to each of the three criteria categories – Design, History/Associations, and Context.

1.2 Sources

In addition to sources referenced in footnotes and site visits undertaken by the author, the following materials were used to prepare this CHIS:

- Matrix Heritage (for Contentworks Inc.), Property History for 1185 Beaverwood Road, 25 October 2022
- Novatech, 1185 Beaverwood Road Planning Rationale in Support of Site Plan Control and Major Rezoning Applications, 21 July 2022
- Paterson Group, Phase 1 Environmental Site Assessment, 1185 Beaverwood Road, Ottawa, Ontario, 24 March 2022
- City of Ottawa, Manotick Secondary Plan (with Amendment #162, March 3, 2016)
- City of Ottawa, Property Information Sheet for 1185 Beaverwood Road, 2018.

A site visit was conducted by Julie Harris on 24 October 2022 and 31 October 2022.

Note: No fire insurance plans or street directory information prior to 1975 are available for this property.

1.3 Project Contact Information

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1.4 Property Description

The property is located in the Village Core of the Manotick area, on the west side of Scharfield Road (likely named after the Scharf family that farmed the subject property) and the north side of Beaverwood Road. The lot is approximately 2,350 m² in size, with approximately 34.1 metres of frontage on Scharfield, and approximately 52.6 metres of frontage on Beaverwood. Scharfield Road is the front lot line. Beaverwood Road is the corner side lot line.

The west side of the property is occupied by one (1) residential building and one (1) detached garage (Figure 9). A gravel driveway is present with two (2) entrances to Beaverwood Road extending to the residential dwelling and detached garage, with the remainder of the area comprised of grassed and treed area.

2 Design

The property has two parts – an open field on its east half and a residential parcel on its west half with a house and garage (Figure 9). The residence is the subject of this report. The field portion is considered in the section of the CHER concerning the context of the house.

Based on consideration of its size, form, windows and materials, the house appears to date from the early 20th century, likely c 1900 to c 1920. It features numerous additions to what was a typical vernacular two-storey house sitting with a rectangular side-hall plan. The house has a concrete-block foundation with a basement, a gable roof, rectangular windows, and an attic. A two-storey addition (which may have been the subject of a building permit issued in 1931 as noted in the history below) was constructed on the north side of the house. Original wood windows have aluminum storm windows. The house is now fully clad with vinyl siding.

An historic photograph (Figure 11) of unknown date (but likely the early 1970s)⁴ is not of sufficient resolution to show the exterior cladding, but it appears that that the house may have been painted brown or was clad in tar paper prior to recladding. The vestibule that is currently on the house appears in the photograph, but the porch on the east side of the addition was constructed later. The historic photograph also shows a banked barn on the property (demolished) that was likely built in the 1890s or 1910s to the north of the existing house, as well as a set of connected buildings (demolished) that may have included the original log or frame farmhouse on the property.⁵ The position of the extant house, facing east towards the slope into which the former barn was integrated, is also typical of farmhouses of the late 19th and early 20th century.

⁴ The earliest aerial photograph in GeoOttawa dates from 1976 after the barn was demolished.

⁵ “How Old is My Barn?”, Ontario Barn Preservation, online at <https://www.ontariobarnpreservation.com/2020/06/11/how-olde-is-my-barn/>. Some of the clues about the age of the former barn on the subject property that indicate its age are the stone, rather than concrete, foundation, its gable roof, and its vertical board siding.

3 History

3.1 Settlement History

The original Crown patent for Lot 2 Concession A (Broken Front) of North Gower was granted in three parts. Edward Malloch received a grant for 133 acres on July 4, 1840, and received a second grant of 50 acres on November 11, 1853.⁶ The original patent map⁷ indicates that Malloch's largest parcel fronted the Rideau River with the smaller portion along the back of the lot. The patent map indicates that the lot was originally laid out with the broken front as Lot B and a regular 200-acre lot as Lot A. Eventually these parcels were combined and simply recorded as Lot A, encompassing 256 acres.

On June 3, 1856, Richard Tyghe received the Crown patent for the remaining 73 acres located in the centre of the lot, and soon acquired the entirety of the lot.⁸ Richard Tyghe (1798-1873) was an Irish emigrant associated with the 100th Regiment of Foot, who likely arrived the region around 1818, coinciding with the development of the military settlement of Richmond. Richard Tyghe was one of the original settlers of the area and his log dwelling is listed on the 1851 census of North Gower Township as 'out of limits' because he resided on Manotick Island. He is enumerated alongside his wife Catherine and their six children.⁹

3.2 Property History

Richard Tighe (alternative spelling) began developing the shoreline within the townsite of Manotick as early as 1858, with the sale of 7 acres of the front part of the lot to Dickinson & Currier.¹⁰ That year Moss Kent Dickinson and his partner Joseph Merrill Currier constructed a water control dam across the west branch of the Rideau River, and in 1859 obtained the lease for the water rights from the federal government. A sawmill (1859), flour and grist mill (1860, now Watson's Mill), as well as a carding mill (1861), and a bung, plug and spile mill (1875, 1888) all helped spur the development of the village.

The 1863 Walling map¹¹ indicates development of the eastern portion of the subject lot, with two structures on the western side of the road to Ottawa. One structure is noted as the residence of Jonathan Tyghe, who was deeded the south 100 acres of the lot from his father in 1859. The other structure is noted as belonging to John Cowan who acquired 1 ½ square chains (roughly 30 m²) in 1864.¹² The Walling map indicates Cowan was a carpenter.

Georeferencing of the 1863 Walling map indicates that neither of the structures owned by Tyghe or Cowan are shown in the area of 1185 Beaverwood Road (Figure 12). A circa 1870

⁶ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10

<https://www.onland.ca/ui/>.

⁷ North Gower Township, Patent Plan [178?]-[ca. 1978]. Archives of Ontario, Item RG 1-100-0-0-1769.

⁸ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10

<https://www.onland.ca/ui/>.

⁹ 1851 Personal Census, North Gower Township. Census of 1851 (Canada East, Canada West, New Brunswick and Nova Scotia) <http://data2.collectionscanada.gc.ca/e/e094/e002344981.jpg>.

¹⁰ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10

<https://www.onland.ca/ui/>.

¹¹ Map of the County of Carleton, Canada West, from surveys under the direction of H.F.

Walling. Published by D.P. Putnam, Prescott C.W., 1863. Library and Archives Canada NMC 0025747.

¹² Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10

<https://www.onland.ca/ui/>.

map of the Village of Manotick¹³ indicates structures on the lot at the intersection of the highway to Ottawa and Tighe Street, likely the homestead of John Tighe, but no structures appear on the subject lot or close by (Figure 13).

By the time of the 1879 Belden map¹⁴, the town site of Manotick had expanded west past the road to Ottawa and the remainder of the lot was divided into two portions, the north owned by William Pettapiece (later spelled Pettipiece) and the south by John Potter. At the time of the Belden map, William Pettapiece was not the official owner of the lot as he did not acquire the land, from his father Thomas, until 1885. Thomas Pettapiece acquired the land through two transactions in 1870 and 1871 from Richard Tyghe Jr., amounting to 140 acres.¹⁵ The 1871 and 1881 censuses¹⁶ enumerate Thomas Pettapiece as an Irish farmer, who, with his wife Mary Ann, had six children: William, Robert, George, Elizabeth, Jane, and Sarah Ann.

Likewise, while John Potter is depicted on the 1879 Belden map, he did not officially own the land until 1882 when he purchased 95 acres from his father Samuel, who had previously bought it from John Tighe in 1875.¹⁷ The 1871 census¹⁸ lists Samuel Potter as an Irish farmer living with his wife Jane and their eight children: Thomas, Dina, James, Jane, Samuel, John, Charlotte, and Isaac. By the time of the 1881 census,¹⁹ Samuel is still enumerated as the head of household and only five of Samuel and Jane's children are still living with them: James, Dina, John, Charlotte, and Isaac.

The Belden map depicts a house on Potter's parcel, but none is depicted on the Pettapiece parcel. Pettapiece may have lived within the village as he was active in the community as a township councillor and treasurer of the Loyal Orange Lodge #477, which met in the village.²⁰ Georeferenced mapping indicates that the house now addressed as 1185 Beaverwood falls within the north portion of the lot on land owned by William Pettapiece, but no structures appear on the 1879 map (Figure 14).

An 1884 Business Directory²¹ lists 11 individuals resident on the lot, including Potter and Pettapiece, which grew to 17 individuals by 1886-7²² as Richard Tighe, the Potters, and

¹³ Plan of Long Island showing position of the adjoining townships of Nepean, North Gore, Gloucester and Osgoode with an enlarged plan of the Village of Manotick. [cartographic material] [ca.1870]. Item 4135399 <https://recherche-collection-search.bac-lac.gc.ca/eng/home/record?app=fonandcol&IdNumber=4135399>

¹⁴ Illustrated historical atlas of the county of Carleton (including city of Ottawa), Ont. Toronto : H. Belden & Co., 1879.

¹⁵ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10 <https://www.onland.ca/ui/>.

¹⁶ Library and Archives Canada, Census databases (1825 to 1926). <https://www.bac-lac.gc.ca/eng/census/Pages/census.aspx>.

¹⁷ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10 <https://www.onland.ca/ui/>.

¹⁸ Ibid.

¹⁹ Ibid.

²⁰ Mitchel & Co's County of Carleton and Ottawa City Directory for 1864-5. Toronto: Printed by W. C. Chewett & Co., 1864. <https://central.bac-lac.gc.ca/.item?op=pdf&id=nlc008138>.

²¹ Counties of Carleton, Lanark, Prescott, Russell and Ottawa directory. Montreal: Published by O.L. Fuller, 1884. https://www.canadiana.ca/view/oocihm.8_00310_1/376.

²² The Union Publishing Co.'s Farmer's and Business Directory for the counties of Carleton, Dundas, Glengarry, Grenville, Lanark, Leeds, Prescott, Russell and Stormont, 1886-7, Vol. 2. Union Publishing Company, 1884. <https://www.collectionscanada.gc.ca/obj/001075/f2/nlc008159.pdf>.

Pettapiece's were subdividing their parcels.²³ In 1891, William Pettapiece, a shoemaker²⁴, sold part of his land to his brother George, possibly as William had moved into the village to operate his business (still within Lot A). The 1897 Fire Insurance Plan of Manotick was consulted, but does not include the area west of Ann Street.²⁵

On September 1, 1900, George sold the north half of his parcel of Lot 2 to Enoch Scharf Sr. and the south half (including the property that is now 1185 Beaverwood Road) to Robert W. Scharf. In 1903, Robert Scharf acquired Enoch's portion for \$900. In 1900, the remainder of William Pettapiece's lands were transferred to George Pettapiece.

3.3 Scharf Family

The house at 1185 Beaverwood Road was likely built for Robert W. Scharf, but without a certain date for the house, the original occupant remains undetermined.

In 1925, Robert Scharf transferred the property to Albert Scharf, who sold it in 1927 to Gordon M. Scharf for the sum of \$5000.^{26 27}

Gordon Mansel Scharf was born July 27, 1904 to Robert Uziah Scharf and Emily Martha Scharf. On August 18, 1930, Gordon Scharf married Ivy Christy in Ottawa²⁸. Gordon and Ivy may have moved into 1185 John Street (later renamed Beaverwood following the 2001 amalgamation of the City of Ottawa) at this time and may have built the addition on the north side of the house in 1931 when a building permit was issued.²⁹ They farmed the property.

Gordon and Ivy Scharf had three children: Marian, Sylvia, and Robert. Gordon Scharf passed away December 4, 1995³⁰ at the age of 92 and Ivy Scharf passed away October 29, 1999.³¹ Both are buried at Rideauvale Cemetery in Kars.³² There is an Ivy & Guy & Gordon Scharf Park in Manotick (1382 Potter Drive), as well as a Lela Scharf Park, named after the spouse of one of the grandchildren of Ivy and Gordon Scharf who was known for her community work.³³

3.4 Recent

Nivo Holdings Inc. acquired the property in 2017. Prior to the purchase, the house had been unoccupied for a few years (Figure 15).³⁴ It is occupied by a tenant.

²³ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10
<https://www.onland.ca/ui/>.

²⁴ Library and Archives Canada, Census databases (1825 to 1926). <https://www.bac-lac.gc.ca/eng/census/Pages/census.aspx>.

²⁵ Fire Insurance Plan, Manotick, Ont. Nov 1897. Library and Archives Canada, R6990-491-7-E.

²⁶ Ottawa-Carleton (04), North Gower, Book 1 Concession A Or Broken Front; Lot 1 To 10
<https://www.onland.ca/ui/>.

²⁷ Around this time, the widow of Thomas Potter is also reported to have sold the Potter farm to Albert Scharf. See: Newspapers.com, "District news, Watterson," *The Weekly Advance* (Kemptville), 17 November 1927: 1.

²⁸ Ontario, Canada Marriages 1801-1928. Ancestry.ca.

²⁹ City of Ottawa, Building Permit Records Database.

³⁰ Newspapers.com The Ottawa Citizen, December 15, 1995, D9.

³¹ Newspapers.com The Ottawa Citizen, October 31, 1999, D6

³² Canada Find a Grave Index, 1600s-Current. Ancestry.ca.

³³ "Work hard, love your family and friends, and serve your community," *Manotick Messenger*, 19 July 2019: 7.

³⁴ Conversation with Anthony Nikolini, Nivo Holdings Inc., 31 October 2022.

4 Context

4.1 Manotick Secondary Plan (2016)

The Manotick Secondary Plan identifies the limits of the Village Core and sets out character areas, with some areas specifically identified as having heritage value. The subject property is in the Gaps area (Figure 10). The Gaps is a transition area between the Main Street and the residential neighbourhood to the west and is comprised of a mix of non-residential and residential uses. A variety of property uses are permitted. The property at 1185 Beaverwood is identified for potential use as an apartment building in the Manotick Secondary Plan.

4.2 Farm Context

The house sits on a large parcel of land that includes the residential portion and an open area that was once part of the Scharf farm. The house is only a portion of what was once a full farmstead with a house, garage, outbuildings and a large barn. The primary clues to the house's former occupation as a farmhouse is its position in relation to the field area. The remainder of the farm has been subdivided into residential lots and roads, with some properties appearing to have been subdivided as early as the 1960s.

4.3 Streetscape

The streetscape includes a multi-unit residential development and the Manotick Community Centre across Beaverwood Road and a new residence adjacent to the property to the west. A small commercial mall (Giant Tiger) is located to the east across Scharfield Road. The house is set back from the street and surrounded by mature trees, and is almost invisible from the street (Figure 16).

5 Heritage Evaluation – Regulation 9/06

5.1 Criteria

The criteria for determining cultural heritage value or interest as set out in under ‘Ontario Regulation 9/06’ established under the OHA, as amended in 2020. These criteria were developed to assist municipalities in the evaluation of properties considered for designation. The regulation states that:

A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining, or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

5.2 Evaluation

This evaluation serves as a record of the opinion of the consultant based on information about the house (history, design and context) consulted for this report.

The property has design value or physical value because it,	
i. rare, unique, representative or early example of a style, type, expression, material or construction method	No. The house is a typical vernacular farmhouse that had undergone numerous modifications to its original fabric.
ii. displays a high degree of craftsmanship or artistic merit.	No. There is no evidence of any particularly interesting craftsmanship in the design, finishings, exterior materials or landscaping of the house.
iii. demonstrates a high degree of technical or scientific achievement.	No.
The property has historical value or associative value because it,	
i. direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	No. The building is associated with a large family that was known to the community, as evident in the naming of parks, but the family was not associated with the community's founding or any specific events or developments.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	No. The house is a vernacular dwelling used as a farmhouse with no special attributes that would be relevant to understanding a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	No. Based on research for this report, the original builder is likely to remain unknown.
The property has contextual value because it,	
i. is important in defining, maintaining, or supporting the character of an area	No. The house is located in the Village Core in a character area called the Gaps. The Gaps is a transition area between the Main Street and the residential neighbourhood to the west and is comprised of a mix of non-residential and residential uses. The house is hidden from view by mature trees and is located on a block with other residential properties.
ii. is physically, functionally, visually or historically linked to its surroundings	No. It is a remnant of a farm that was not an organizing feature of the community and the surroundings have changed from a farm to an area of subdivisions.
iii. is a landmark	No. The house is tucked behind plantings and does not create a presence in any way.

5.3 Conclusion

Based on available information, the evaluation concludes that the house is not of sufficient cultural heritage value or interest to be considered heritage for the purposes of applying Regulation 9/06 of the Ontario Heritage Act.

6 Figures



Figure 1: 1185 Beaverwood Road, main entrance on the east side, with the two-storey addition visible to the right of the house, ca 2010. Source: Rideau Archives, photo by Ron Wilson.



Figure 2: 1185 Beaverwood Road, south and west elevations, ca 2010. Source: Rideau Archives, photo by Ron Wilson.



Figure 3: 1185 Beaverwood Road, south elevation of the house at 1185 Beaverwood Road. Source: Contentworks, 2022.



Figure 4: 1185 Beaverwood Road, view of the main entrance and façade. Source: Contentworks, 2022.



Figure 5: 1185 Beaverwood Road, west elevation and side addition. Source: Contentworks, 2022.



Figure 6: 1185 Beaverwood Road, rear (north) elevation and rear addition. Source: Contentworks, 2022.



Figure 7: 1185 Beaverwood Road, shed. Source: Contentworks, 2022.

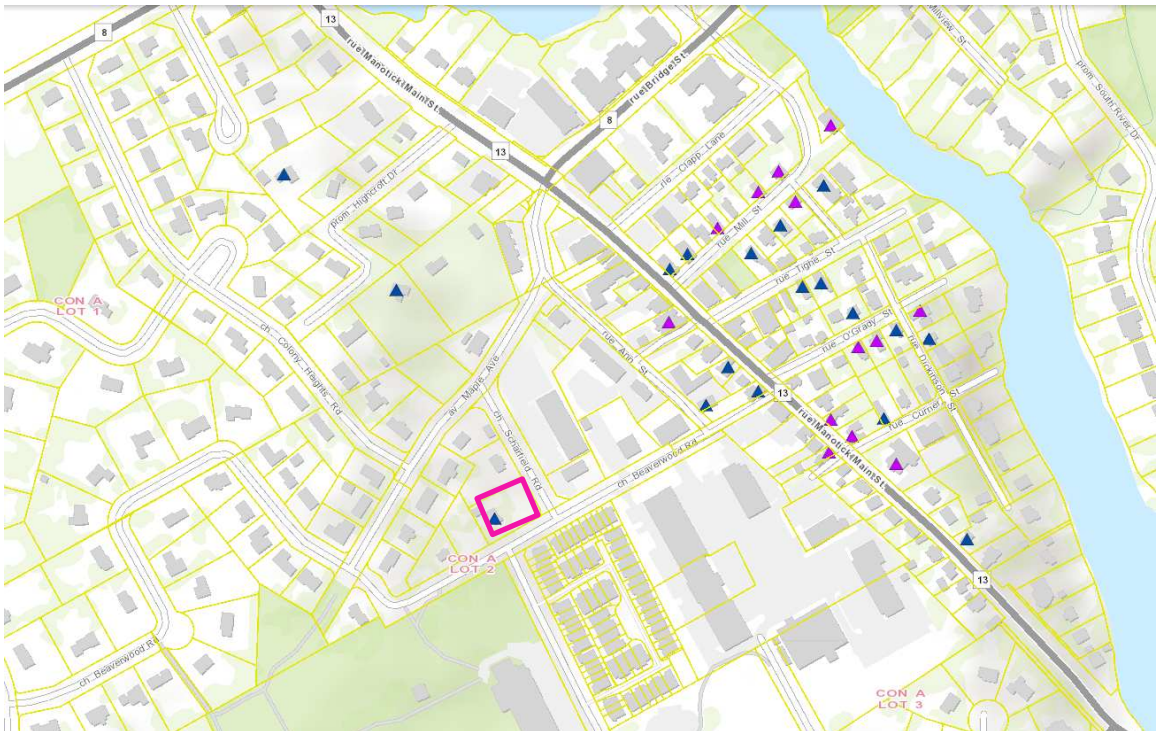


Figure 8: Location of 1185 Beaverwood Road, with the blue triangle indicating that it is a non-designated property on the City of Ottawa Heritage Register. The other properties (designated and non-designated) in Manotick are almost all located on Manotick Main Street or between Manotick Main Street and the Rideau River. Source: GeoOttawa.



Figure 9: Aerial view (2021) of 1185 Beaverwood Road, showing the house and garage located on the west side of the lot. Source: GeoOttawa.

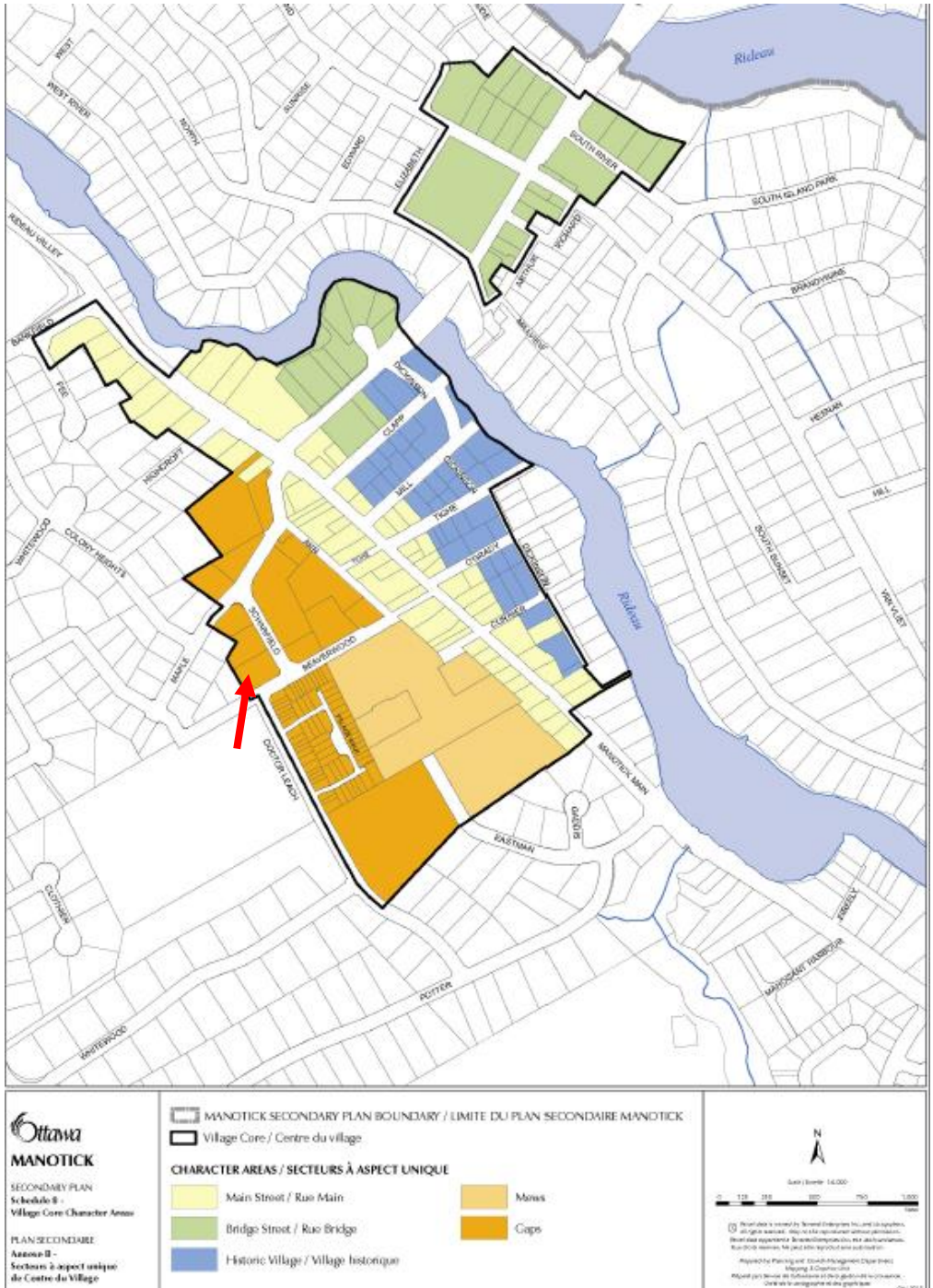


Figure 10: Map of the Character Areas identified in the Manotick Secondary Plan with an arrow showing the location of the subject property at 1185 Beaverwood Road in the “Gaps” area.



Figure 11: Oblique aerial view of 1185 Beaverwood Road, showing the house, barn and outbuildings, [ca 1970.]
Source: Rideau Archives.



Figure 12: Georeferenced 1863 Walling map indicates no structures are present at the study area (pink outline).



Figure 13: Georeferenced c. 1870 map of the Village of Manotick. Study area (outlined in pink) indicates no structures were present at this time.



Figure 14: Georeferenced 1879 Belden map indicates no structures are present at the study area (pink outline).



Figure 15: View of the Gordon Scharf house (right), 1986. The house on the left is on the site of the former barn.
Source: Rideau Archives, photo from Ron Wilson.



Figure 16 a & b: 1185 Beaverwood Road, view from Scharfield Road looking west (top) and from Beaverwood Road (bottom). Source: Contentworks, 2022.