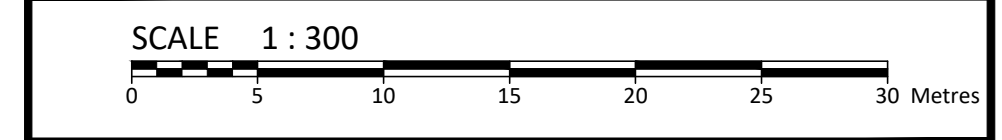


**LEGEND**

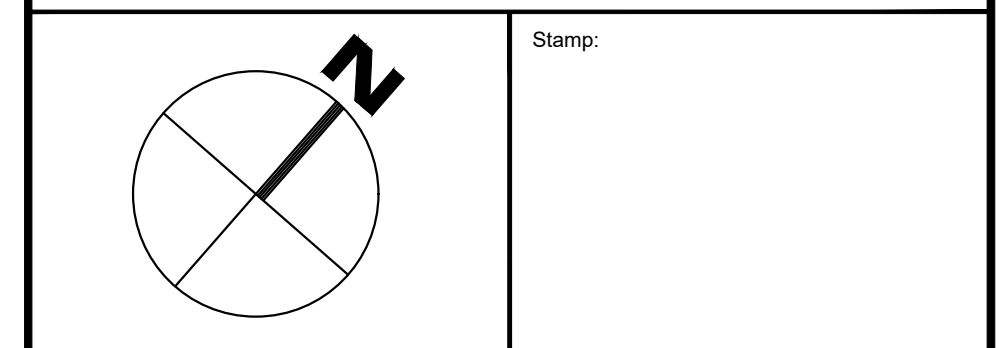
**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	OCT. 13, 2023
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work. Do not scale drawings.



**McINTOSH PERRY**  
 115 Walgreen Road, RR3, Carp, ON K0A 1L0  
 Tel: 613-836-2184 Fax: 613-836-3742  
 www.mcintoshperry.com



Client: **GRACE MONUMENTS INC.**  
 106 REID ROAD  
 CARP, ON K0A 1L0

Project: **SITE PLAN CONTROL AMENDMENT**  
 106 REIS ROAD, CARP, ON K0A 1L0

Drawing Title: **SITE PLAN**

Scale: 1:500 Project Number: CCO-23-3606  
 Drawn By: J.H.  
 Checked By: B.S.C. Drawing Number:  
 Designed By:

**RG5 ZONE PROVISIONS**

Provision	Required	Provided
Minimum Lot Width	30m	139m
Minimum Lot Area	4,000m <sup>2</sup>	12,698m <sup>2</sup>
Minimum Front Yard Setback	12m	25.2m
Minimum Rear Yard Setback	7.5m	49.4m
Minimum Interior Side Yard Setback	4.5m	90.6m
Minimum Corner Side Yard Setback	12m	23.8m
Maximum Principal Building Height	15m	<15m
Maximum Lot Coverage	50%	3%
Location of Outdoor Storage	Permitted in Rear Yard & Interior Side Yards	Rear Yard and Side Yard
Outdoor Storage Screening	Screened from Public Street by Opaque Screen with Minimum Height of 1.8m	None per Approved Site Plan
Minimum Required Parking	0.8 Spaces per 100 m <sup>2</sup> GFA (Industrial) 2.4 Spaces per 100 m <sup>2</sup> GFA (Office)	16
Required Parking Space Size	2.6m x 5.2m	2.6m x 6.0m
Minimum Width of Driveway Providing Access to Parking	3.0m (Single lane), 6.0m (Double Lane)	8.3m
Minimum Required Loading Space Rate (350-999m <sup>2</sup> GFA)	1	1

REVISION: 11/15/2023 Project: 106 & 122 Reis Road 112 - Drawing: CCO-23-3606-SP.dwg  
 LAST SAVED: Friday, October 13, 2023 LAST SAVED BY: Jenson  
 LAST PLOTTED: Friday, October 13, 2023 CCB FILE USED:

D07-12-22-0118  
 #XXXXX