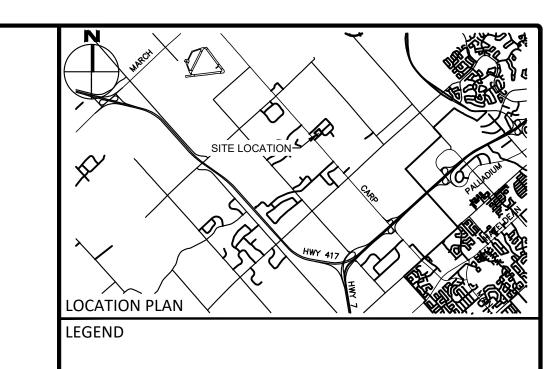


Provision	Required	Provided
Minimum Lot Width	30m	59.1m
Minimum Lot Area	4,000m2	5,654m2
Minimum Front Yard Setback	12m	19.8m
Minimum Rear Yard Setback	7.5m	32.1m
Minimum Interior Side Yard Setback	4.5m	19.8m
Maximum Principal Buidling Height	15m	<15m
Maximum Lot Coverage	50%	11%
Location of Outdoor Storage	Permitted in Rear Yard & Interior Side Yards	Rear Yard and Side Yard
Outdoor Storage Screening	Screened from Public Street by Opaque Screen with Minimum Height of 1.8m	None per Approved Site Plan
Minimum Required Parking (Light Industrial Use)	0.8 Spaces per 100 m2 GFA (first 5000 m2 ofGFA)	6
Required Parking Space Size	2.6m x 5.2m	2.6m x 6.0m
Minimum Width of Driveway Providing Access to Parking	3.0m (Single lane), 6.0m (Double Lane)	9.0m
Minimum Required Loading Space Rate (350-999m2 GFA)	1	1



PROPERTY LINE ____ +114.05 PROPOSED FINISHED GRADE PROPOSED SWALE CENTERLINE GRADE PROPOSED SLOPE

PROPOSED SWALE SLOPE PROPOSED TERRACING (MAX 3:1)

PROPOSED FENCLINE

EXISTING DRAINAGE DIRECTION

—— – EXISTING WATER SERVICING — — — EXISTING SANITARY/SEPTIC SERVICING

PROPOSED SUB-DRAIN (REFER TO DETAIL) APPROXIMATE LIMITS OF GRADING

■====== PROPOSED STORM STRUCTURE & SEWER

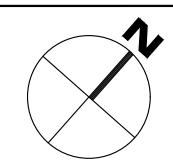
PROPOSED CHAIN LINK FENCE

2	REISSUED FOR SITE PLAN CONTROL AMENDMENT	FEB. 09, 2024
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	OCT. 13, 2023
No.	Revisions	Date
Check before	ot scale drawings	

SCALE 1:300

McINTOSH PERRY

115 Walgreen Road, RR3, Carp, ON KOA 1L0 Tel: 613-836-2184 Fax: 613-836-3742 www.mcintoshperry.com



TNT TILE & MARBLE INC.
122 REIS ROAD, CARP, ON KOA 1LO

SITE PLAN CONTROL AMENDMENT 122 REIS ROAD, CARP, ON KOA 1LO

Drawing Title:

SITE PLAN

				,
Scale:	1:500	Project Number:		
Drawn By:	J.H.		CCO-23-3606	
Checked By:	B.S.C.	Drawing Number:		ľ
Designed By:			C100	[