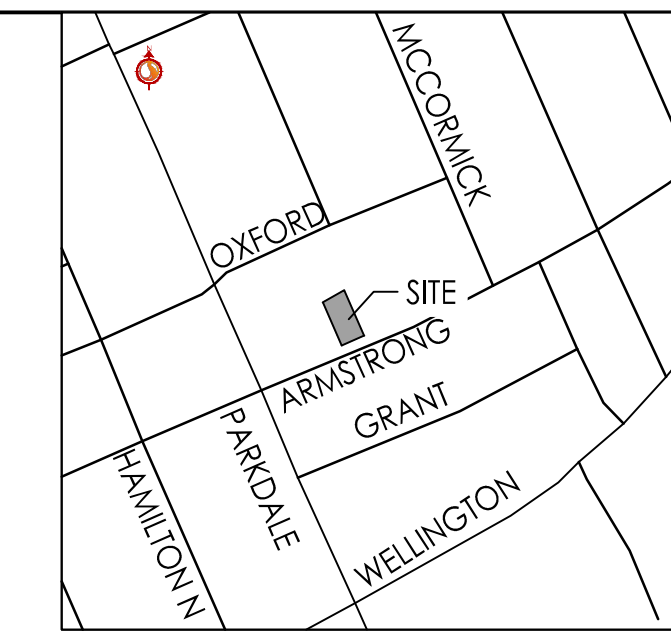




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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  
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KEY PLAN  
N.T.S.

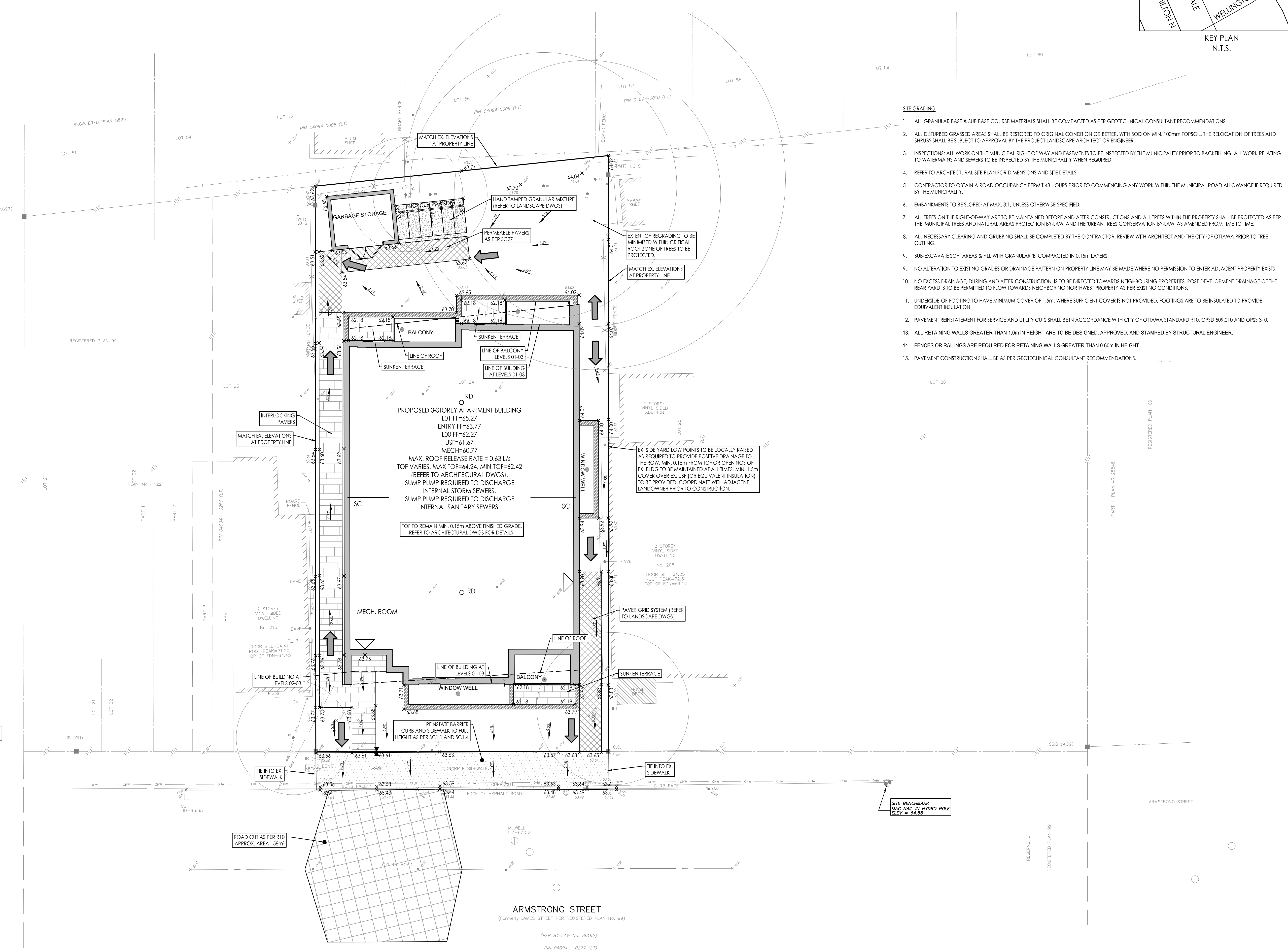
**Legend**

	ORIGINAL GROUND ELEVATION
	PROPOSED ELEVATION
	PROPOSED LOT CORNER ELEVATION
	EXISTING ELEVATION AT LOT CORNER
	FLOW DIRECTION AND GRADE
	FINISHED FIRST FLOOR ELEVATION
	TOP OF FOUNDATION ELEVATION
	UNDERSIDE OF FOOTING ELEVATION
	TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
	PROPOSED SWALE
	DIRECTION OF EMERGENCY OVERLAND FLOW ROUTE
	PROPOSED VALVE BOX
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	DEPRESSED CURB LOCATION
	PROPOSED DOOR LOCATIONS
	PROPOSED BARRIER CURB AS PER SC 1.1

**Notes**

**SITE GRADING**

1. ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
3. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
4. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
6. EMBANKMENTS TO BE SLOPED AT MAX. 3:1, UNLESS OTHERWISE SPECIFIED.
7. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTIONS AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW' AND THE 'URBAN TREES CONSERVATION BY-LAW' AS AMENDED FROM TIME TO TIME.
8. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
9. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 3' COMPACTED IN 0.15m LAYERS.
10. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
11. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES. POST-DEVELOPMENT DRAINAGE OF THE REAR YARD IS TO BE PERMITTED TO FLOW TOWARDS NEIGHBORING NORTHWEST PROPERTY AS PER EXISTING CONDITIONS.
12. UNDERSIDE-OF-FOOTING TO HAVE MINIMUM COVER OF 1.5m, WHERE SUFFICIENT COVER IS NOT PROVIDED, FOOTINGS ARE TO BE INSULATED TO PROVIDE EQUIVALENT INSULATION.
13. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD R10, OPSD S09.010 AND OPSD 310.
14. ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, APPROVED, AND STAMPED BY STRUCTURAL ENGINEER.
15. FENCES OR RAILINGS ARE REQUIRED FOR RETAINING WALLS GREATER THAN 0.60m IN HEIGHT.
16. PAVEMENT CONSTRUCTION SHALL BE AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.



PROPOSED 3-STOREY APARTMENT BUILDING  
 LOT1 FF=65.27  
 ENTRY FF=63.77  
 LOO FF=62.27  
 USF=61.67  
 MECH=60.77  
 MAX. ROOF RELEASE RATE = 0.63 L/s  
 TOF VARIES: MAX TOF=44.24, MIN TOF=62.42  
 (REFER TO ARCHITECTURAL DWGS).  
 SUMP PUMP REQUIRED TO DISCHARGE  
 INTERNAL STORM SEWERS.  
 SUMP PUMP REQUIRED TO DISCHARGE  
 INTERNAL SANITARY SEWERS.  
 TOP TO REMAIN MIN. 0.15m ABOVE FINISHED GRADE.  
 REFER TO ARCHITECTURAL DWGS FOR DETAILS.

EX. SIDE YARD LOW POINTS TO BE LOCALLY RAISED AS REQUIRED TO PROVIDE POSITIVE DRAINAGE TO THE ROW. MIN. 0.15m FROM TOF OR OPENINGS OF EX. BLDG TO BE MAINTAINED AT ALL TIMES. MIN. 1.5m COVER OVER EX. USF (OR EQUIVALENT INSULATION) TO BE PROVIDED. COORDINATE WITH ADJACENT LANDOWNER PRIOR TO CONSTRUCTION.

REINSTATE BARRIER CURB AND SIDEWALK TO FULL HEIGHT AS PER SC 1.1 AND SC 1.4

SITE BENCHMARK  
 MAG. NAIL IN HYDRO POLE  
 ELEV = 64.55

ARMSTRONG STREET  
 (Formerly JAMES STREET PER REGISTERED PLAN No. 99)  
 (PER BY-LAW No. 86162)  
 PIN 04094 - 0277 (L1)

Revision	By	Appd.	YY.MM.DD
3	WAJ	AG	23.04.04
2	WAJ	AG	23.01.30
1	WAJ	AG	22.06.15

File Name:	160401745	WAJ	AG	WAJ	22.05.04
		Dwn.	Chkd.	Dgn.	YY.MM.DD

**Permit-Seal**

Client/Project  
**LION TRADE LTD.**  
 211 ARMSTRONG STREET  
 OTTAWA, ON

Title  
**GRADING PLAN**

Project No. 160401745	Scale 1:100	Sheet 3	Revision 3
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Drawing No. GP-1  
 Sheet 3 of 6  
 Revision 3  
 PLAN # 18847

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 ORIGINAL SHEET - ARCH D

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