

WATERIDGE APARTMENT BUILDING

ADDRESS: 1000/1050 TAWADINA ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA 1st Review Reply - May11, 2023



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COVER SHEET



SITE STATISTICS - Building 1			
ZONING	GM31 GENERAL MIXED USE ZONE		
COVERAGE CALCULATIONS			
TOTAL SITE AREA	M ²	F ²	ACRES
BUILDING AREA	24,113.0	239,249.7	
RESIDENTIAL AREA	16,634.3	179,049.4	
COMMERCIAL AREA	417.2	4,432.0	
GLAZING CALCULATIONS			
TOTAL GROUND FLOOR FACE AREA - NOT INCLUDING RESIDENTIAL	SM	SF	%
TOTAL WINDOW AREA / TRANSPARENT GLAZING	223.4		61%
SETBACKS			
MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	REQ'D (m)	PROVIDED (m)	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	2.0	2.00	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	7.5	20.41	
WHERE THE BUILDING CONTAINS MORE THAN FOUR STOREYS BUT LESS THAN 13 STOREYS, AT AND ABOVE THE FOURTH STOREY A BUILDING MUST BE FURTHER SETBACK (M)	5.0	5.175	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGHT	2.0	2.00	
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m	5.175	
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	NO MIN.		
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10 BUT FEWER THAN 100 SPACES			
(i) ABUTTING A STREET			
(ii) NOT ABUTTING A STREET	1.5	3.0	
CONSTRUCTION AREA WITHOUT BALCONIES			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	2,183.0	23,498	
3RD FLOOR	2,173.0	23,390	
4TH FLOOR	2,173.0	23,390	
5TH FLOOR	1,967.0	21,173	
6TH FLOOR	1,967.0	21,173	
7TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
8TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
9TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
PARKING LEVEL 1	3,533.0	38,029	
PARKING LEVEL 2	3,534.0	38,040	
TOTAL BUILDABLE AREA	24,113.0	239,249.7	
GROSS FLOOR AREA - GFA			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	2,183.0	23,498	
3RD FLOOR	2,173.0	23,390	
4TH FLOOR	2,173.0	23,390	
5TH FLOOR	1,967.0	21,173	
6TH FLOOR	1,967.0	21,173	
7TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
8TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
9TH FLOOR BOTH TOWERS, 735 M ² EACH	1,470.0	18,823	
PARKING LEVEL 1	3,533.0	38,029	
PARKING LEVEL 2	3,534.0	38,040	
TOTAL BUILDABLE AREA	24,113.0	239,249.7	
PARKING REQUIREMENTS			
Residential use	REQ'D	PROVIDED	
0.5 PARKING/UNIT	108	149	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	41	123	
TYPICAL PARKING STALLS PROVIDED	2	2	
ACC TYPICAL PARKING STALLS PROVIDED	2	2	
VISITOR PARKING - 0.1 PARKING / UNIT	20.4	21	
TYPICAL VISITORS PARKING	19	19	
ACC VISITORS PARKING	2	2	
RETAIL STORES PER 100 M² OVER 200 M² OF GROSS FLOOR AREA	10.59	11	
TYPICAL STORE PARKING	10	10	
ACC STORE PARKING	1	1	
TOTAL NO. OF SPACES	138.99	201	
BIKERACKS			
0.5 PARKING/UNIT	108	116	
COMMERCIAL AREA M ² / 250 M ²	1.65	2	
TOTAL NO. OF SPACES	110	120	
Amenities REQUIREMENTS			
Residential use	REQ'D M ²	PROVIDED M ²	
4 sq m / UNIT	1,296.0	2,055.8	
BALCONIES	1,300.0		
MIN OF 80% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	648.0	755.8	
AMENITY SPACE ON GROUND FLOOR	300.0		
AMENITY SPACE OUTDOOR ON GRADE	135.0		
AMENITY SPACE OUTDOOR ON ROOF TOP	320.0		
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)			
REQ'D	PROVIDED		
101-133 PARKING SPACES, 5 ACCESSIBLE SPACES REQ'D	5	5	
TYPE A (VAN), MIN WIDTH=3400	2	2	
TYPE B, MIN WIDTH=2400	3	3	
DRIVEWAYS AND AISLE REQUIREMENTS			
107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	REQ'D (MIN)	PROVIDED	
	6.0	6.0	
LOADING REQUIREMENTS			
REQ'D	PROVIDED		
IN THE GM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ.M OR MORE	1	1	

1 ASP-1 N.T.S. SITE STATISTICS - BUILDING 1

BUILDING 1 - ROOM MIX													
	1ST FLOOR	2ND FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	8th FLOOR	9th FLOOR	MIX	MIX	MIX Total	TOTAL
STUDIO	2	0	0	0	0	0	0	0	0	1%	1%	2	2
1 BDRM	4	19	19	19	15	15	6	4	4	49%		105	
1 BDRM+DEN	2	5	5	5	2	2	0	0	0	10%	71%	154	21
1 BDRM+ACC	2	5	5	5	4	4	1	1	1	13%		28	
2 BDRM	0	3	3	3	7	7	9	11	11	25%	28%	60	54
2BDRM - ACC	0	0	0	0	0	0	2	2	2	3%		6	
SUBTOTAL	10	32	32	32	28	28	18	18	18	100%	100%	216	216
ACC TOTALS	2	5	5	5	4	4	3	3	3	15.74%		34	

4 ASP-1 N.T.S. ROOM MIX - BUILDING 1

ROOM MIX							
STUDIO	BLDG 1	BLDG 2	BLDG 3	TOTAL ALL BLDGS	MIX Total	MIX	MIX
STUDIO	2	0	0	2	2	0.44%	0.4%
1 BDRM	105	69	63	237	340	51.97%	
1 BDRM+DEN	21	11	14	46	340	10.09%	74.6%
1 BDRM+ACC	28	16	13	57	340	12.50%	
2 BDRM	54	31	15	100	114	21.93%	25.0%
2BDRM - ACC	6	4	4	14	114	3.07%	
SUBTOTAL	216	131	109	456	456	100.00%	100%

7 ASP-1 N.T.S. ROOM MIX - ALL BUILDINGS

SITE STATISTICS - Building 2			
ZONING	GM31 GENERAL MIXED USE ZONE		
COVERAGE CALCULATIONS			
TOTAL SITE AREA	M ²	F ²	ACRES
BUILDING AREA	3,737.6	40,231.2	0.924
RESIDENTIAL AREA	15,421.0	165,990.1	
COMMERCIAL AREA	196.2	2,112.0	
GLAZING CALCULATIONS			
TOTAL GROUND FLOOR ELEVATION AREA - TO CEILING (3.6M) EXCLUDING RESIDENTIAL	SM	SF	%
TOTAL WINDOW AREA / TRANSPARENT GLAZING	115.7		63%
SETBACKS			
MAXIMUM SETBACK FOR THOSE LOTS EAST OF CODD'S ROAD WHERE THEY ABUT HEMLOCK ROAD	REQ'D (m)	PROVIDED (m)	
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A RESIDENTIAL ZONE	7.5	19.55	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.86	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGHT	3.0	3.00	
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m		
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	NO MIN.		
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10			
(i) ABUTTING A STREET	3.0		
(ii) NOT ABUTTING A STREET	NONE	3.0	
CONSTRUCTION AREA WITHOUT BALCONIES			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	1,446.0	15,544.6	
3RD FLOOR	1,394.0	15,004.9	
4TH FLOOR	1,394.0	15,004.9	
5TH FLOOR	1,232.0	13,261.1	
6TH FLOOR	1,232.0	13,261.1	
7TH FLOOR	750.0	8,072.9	
8TH FLOOR	750.0	8,072.9	
9TH FLOOR	750.0	8,072.9	
PARKING LEVEL 1	2,549.0	27,437.2	
PARKING LEVEL 2	2,550.0	27,292.7	
TOTAL BUILDABLE AREA	15,421.0	165,990.1	
GROSS FLOOR AREA - GFA			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	1,118.3	12,038.0	
3RD FLOOR	1,118.3	12,038.0	
4TH FLOOR	1,118.3	12,038.0	
5TH FLOOR	965.0	10,387.0	
6TH FLOOR	965.0	10,387.0	
7TH FLOOR	578.9	6,232.0	
8TH FLOOR	578.9	6,232.0	
9TH FLOOR	578.9	6,232.0	
TOTAL GFA	7,470.4	80,415.0	
PARKING REQUIREMENTS			
Residential use	REQ'D	PROVIDED	
0.5 PARKING/UNIT	65.5	120	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	26		
TYPICAL PARKING STALLS PROVIDED	92		
ACC TYPICAL PARKING STALLS PROVIDED	2		
VISITOR PARKING - 0.1 PARKING / UNIT	11.9	12	
TYPICAL VISITORS PARKING	10		
ACC VISITORS PARKING	2		
RETAIL STORES PER 100 M² OVER 200 M² OF GROSS FLOOR AREA	N/A	N/A	
TYPICAL STORE PARKING			
ACC STORE PARKING			
TOTAL NO. OF SPACES	77.40	132	
BIKERACKS			
0.5 PARKING/UNIT	65.5	67	
COMMERCIAL AREA M ² / 250 M ²	0.78	3	
TOTAL NO. OF SPACES	66	70	
Amenities REQUIREMENTS			
Residential use	REQ'D M ²	PROVIDED M ²	
4 sq m / UNIT	786.0	1,193.1	
BALCONIES	1,788.7		
MIN OF 80% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	393.0	394.4	
AMENITY SPACE ON GROUND FLOOR	219.4		
AMENITY SPACE OUTDOOR ON GRADE	175.0		
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)			
REQ'D	PROVIDED		
79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	4	4	
TYPE A (VAN), MIN WIDTH=3400	2	2	
TYPE B, MIN WIDTH=2400	2	2	
DRIVEWAYS AND AISLE REQUIREMENTS			
107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	REQ'D (MIN)	PROVIDED	
	6.0	6.0	
LOADING REQUIREMENTS			
REQ'D	PROVIDED		
IN THE GM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ.M OR MORE	1	1	

2 ASP-1 N.T.S. SITE STATISTICS - BUILDING 2

BUILDING 2 - ROOM MIX													
	1ST FLOOR	2ND FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	8th FLOOR	9th FLOOR	MIX	MIX	MIX TOTAL	TOTAL
STUDIO	0	0	0	0	0	0	0	0	0	0%	0%	0	0
1 BDRM	3	12	12	12	12	12	2	2	2	53%		69	
1 BDRM+DEN	0	3	3	3	1	1	0	0	0	8%	73%	96	11
1 BDRM+ACC	3	2	2	2	2	2	1	1	1	12%		16	
2 BDRM	1	2	2	2	3	3	6	6	6	24%	27%	35	31
2BDRM - ACC	1	1	1	1	0	0	0	0	0	3%		4	
SUBTOTAL	8	20	20	20	18	18	9	9	9	100%	100%	131	131
ACC TOTALS	4	3	3	3	2	2	1	1	1	15.27%		20	

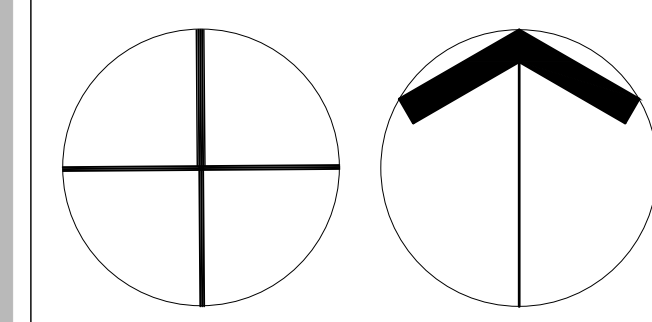
5 ASP-1 N.T.S. ROOM MIX - BUILDING 2

SITE STATISTICS - Building 3			
ZONING	GM31 GENERAL MIXED USE ZONE		
COVERAGE CALCULATIONS			
TOTAL SITE AREA	M ²	F ²	ACRES
BUILDING AREA	3,737.6	40,231.2	0.924
RESIDENTIAL AREA	10,353.0	111,438.7	
COMMERCIAL AREA	0.0	0.0	
GLAZING CALCULATIONS			
TOTAL GROUND FLOOR ELEVATION AREA	SM	SF	%
TOTAL WINDOW AREA			
SETBACKS			
REQ'D (m)	PROVIDED (m)		
MINIMUM REAR YARD SETBACK A BUILDING WITH A RESIDENTIAL LAND USE AT GRADE OR WHERE THE REAR YARD ABUTS A PARK	5.0	5.00	
MINIMUM FRONT AND CORNER SIDE YARD FOR A BUILDING WITH RESIDENTIAL LAND USE AT GRADE	5.0	5.00/1.95	
MINIMUM INTERIOR SIDE YARD SETBACKS FOR A RESIDENTIAL USE BUILDING FOR A BUILDING HIGHER THAN 11 METRES IN HEIGHT	3.0	3.00	
MINIMUM WIDTH OF LANDSCAPED AREA			
(i) ABUTTING A STREET	3m	5.0	
(ii) ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	3m	3.0	
(iii) OTHER CASES	NO MIN.		
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT - FOR A PARKING LOT CONTAINING FEWER THAN 10			
(i) ABUTTING A STREET	3.0		
(ii) NOT ABUTTING A STREET	NONE		
CONSTRUCTION AREA WITHOUT BALCONIES			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	1,408.0	15,155.6	
3RD FLOOR	1,330.0	14,316.0	
4TH FLOOR	1,330.0	14,316.0	
5TH FLOOR	1,222.0	13,153.5	
6TH FLOOR	1,222.0	13,153.5	
PARKING LEVEL 1	2,511.0	27,028.2	
TOTAL CONSTRUCTION AREA	10,353.0	111,438.7	
GROSS FLOOR AREA - GFA			
GROUND FLOOR	M ²	F ²	
2ND FLOOR	751.8	7943.0	
3RD FLOOR	1061.8	11761.0	
4TH FLOOR	1061.8	11761.0	
5TH FLOOR	958.1	10313.0	
6TH FLOOR	958.1	10313.0	
TOTAL GFA	5853.4	63852.0	
PARKING REQUIREMENTS			
Residential use	REQ'D	PROVIDED	
0.5 PARKING/UNIT	53	57	
REDUCED PARKING SPACES (COMPACT CARS) UP TO 50% OF THE PARKING SPACES	9		
TYPICAL PARKING STALLS PROVIDED	46		
ACC TYPICAL PARKING STALLS PROVIDED	3		
VISITOR PARKING - 0.1 PARKING / UNIT	9.4	10	
TYPICAL VISITORS PARKING	10		
ACC VISITORS PARKING			
TOTAL NO. OF SPACES	62	67	
BIKERACKS			
0.5 PARKING/UNIT	53	56	
Amenities REQUIREMENTS			
Residential use	REQ'D M ²	PROVIDED M ²	
4 sq m / UNIT	636.0	933.1	
BALCONIES	583.1		
MIN OF 80% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2)	318.0	320.0	
AMENITY SPACE ON GROUND FLOOR	100.0		
AMENITY SPACE OUTDOOR ON GRADE	220.0		
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)			
REQ'D	PROVIDED		
79-100 PARKING SPACES, 4 ACCESSIBLE SPACES REQ'D	3	3	
TYPE A (VAN), MIN WIDTH=3400	1	1	
TYPE B, MIN WIDTH=2400	2	2	
DRIVEWAYS AND AISLE REQUIREMENTS			
107(1)(c)(ii) AN AISLE SERVING PARKING SPACES ANGLED AT BETWEEN 56 AND 90 DEGREES MUST BE AT LEAST 6.0 METRES WIDE (M)	REQ'D (MIN)	PROVIDED	
	6.0	6.0	
LOADING REQUIREMENTS			
REQ'D	PROVIDED		
IN THE GM ZONE, A VEHICLE LOADING SPACE IS REQUIRED FOR USES THAT HAVE A GFA OF 1000 SQ.M OR MORE	1	1	

3 ASP-1 N.T.S. SITE STATISTICS - BUILDING 3

BUILDING 3 - ROOM MIX												
	1ST FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	MIX	MIX	MIX TOTAL	TOTAL		
STUDIO	0	0	0	0	0	0	0%	0%	0	0		
1 BDRM	6	10	10	10	11	11	55%		58			
1 BDRM+DEN	3	2	2	2	1	1	10%		11			
1 BDRM+DEN ACC	0</											

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWG	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BIB (REFER TO MECHANICAL DWG)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWG	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE MOST RECENT RECORD DRAWINGS AND THE SURVEY FOR THIS PROPERTY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION CONTAINED HEREIN.	TOPIC SURVEYORS INFO: CHOMAND LAND SURVEYORS NAME: CHOMAND VOLUNTEERS LTD 14 CONNOR DRIVE SUITE 200 WILLOWDALE ONTARIO M2H 1B7 TEL: (416) 491-8888 EMAIL: info@chomand.com	1 ALL EXISTING DRIVEWAYS, SIDEWALKS, DRIVEWAYS AND BARBERS FREE SPACE SET OUT BY THE TOWN OF MARKHAM MUST BE MAINTAINED AND RESTORED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARBERS FREE SPACE SET OUT BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	POSSIBLE HEATED HYDRANT TRANSFORMER W/ STEEL BOLLARDS REFER TO ELECTRICAL	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF HERE TO RECEIVE LIGHT FIXTURE ASHTRAY)	PROPOSED GRADING REFER TO CIVIL DWG	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REGISTRATION PLAN 441-1481 CITY OF CHYMAN	2 A MINIMUM STRACK OF 1.0m PEDESTAL STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.	6 ALL EXISTING DRIVEWAYS TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND CROWNED TO NEAREST ZERO CORNER LIGHT CORNER AT THE PROPERTY LINE.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DISCRETE NON-SLIP SURFACE PAVING UNDER PORTS COCHERE (REFER TO LANDSCAPE DWG)	CONDENSING UNIT ON #4 CONCRETE PAD (REFER TO MECH DWG)	3 THE CONTRACTOR OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES/DISTURBANCE DURING CONSTRUCTION.	3 THE CONTRACTOR OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES/DISTURBANCE DURING CONSTRUCTION.	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.
ENTRY/EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	LANDSCAPED AREA	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPACT)	4 ALL BARBERS FREE DRIVEWAYS AND BARBERS FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8	4 ALL BARBERS FREE DRIVEWAYS AND BARBERS FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
EXISTING DOWN HYDRANT	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWG	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION				10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:			
No.	Date:	Issue/Revision	By:
3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
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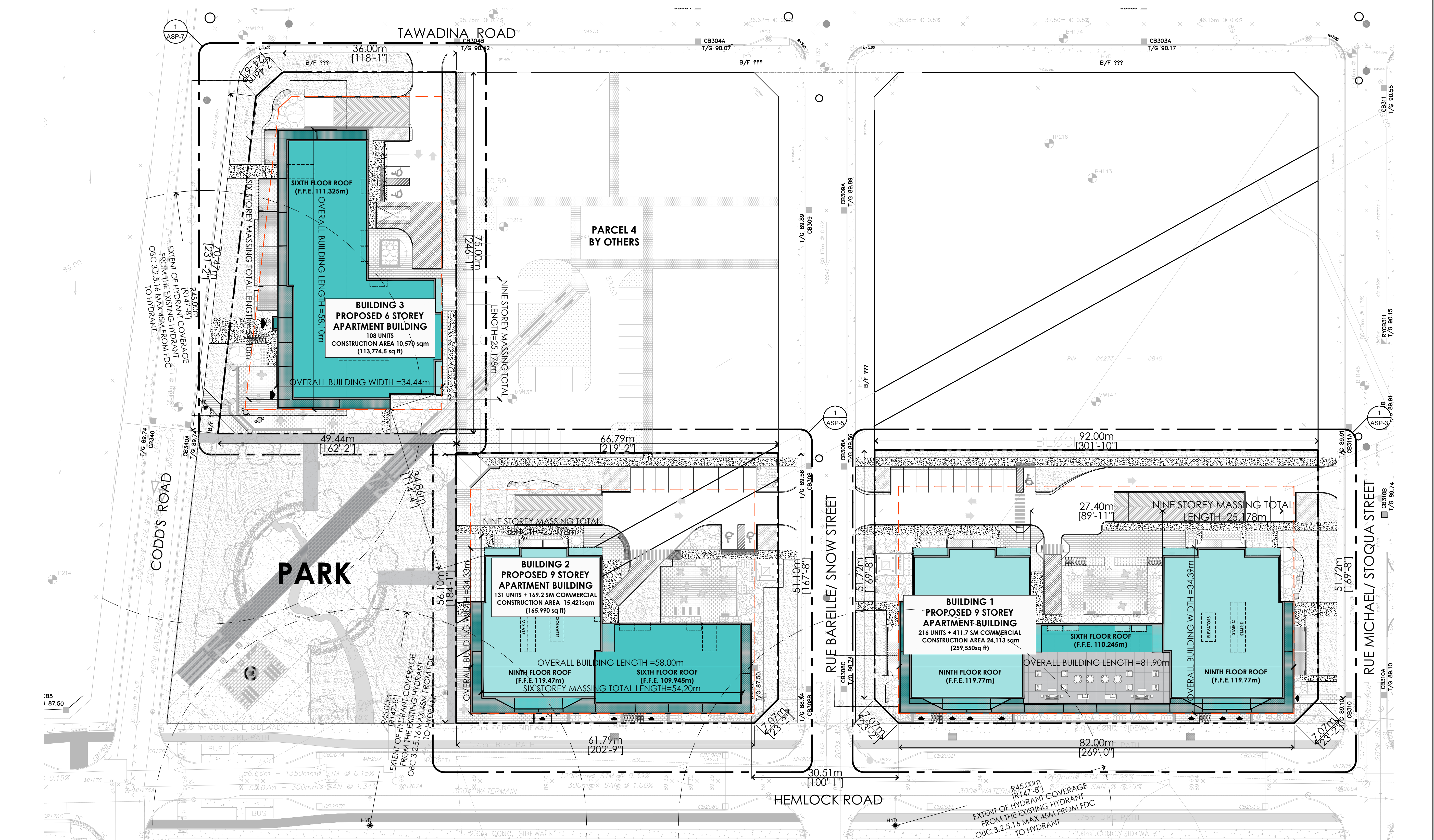
206-418 Incauld Shore Rd
Oakville Ontario L6H 0K7
1.905.281.4444

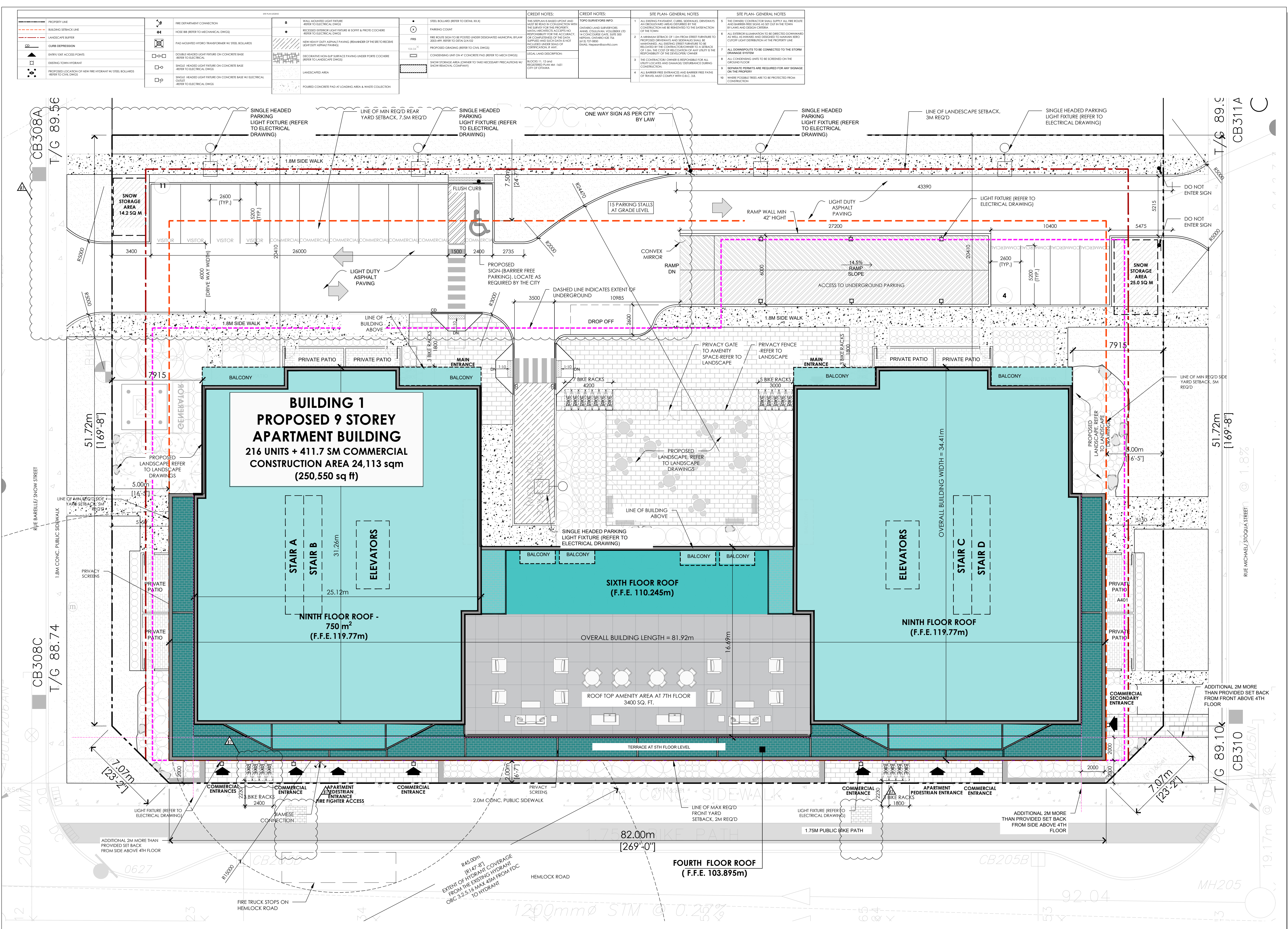
Project:
WATERIDGE APARTMENT BUILDING

Sheet Title:
SITE PLAN - OVERALL SITE PLAN

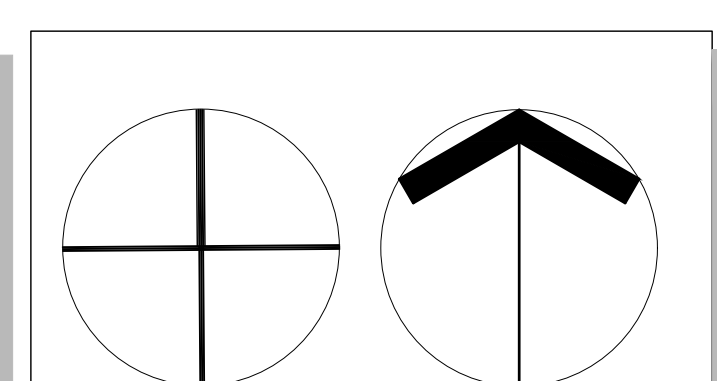
Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:400	Date: 22-06-29	Project No.: 22-004

Drawing No.:
ASP-2





PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE	STREET BOLLARD (REFER TO DETAIL XL3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
---	---	---	---	THIS BOLLARD IS BASED UPON AND MUST BE USED IN CONJUNCTION WITH THE SPECIFICATIONS FOR THE PROPERTY.	TOPSOIL SUBSTRATE INFO: CHONARDI LAND SUBSTRATE ANNE, OSWEGO, VOLLBERG LTD. 4400 KENNEDY GATE, SUITE 200, MISSISSAUGA, ONTARIO L4Z 1K7. EMAIL: T.HOPPER@CHONARDI.COM	1. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE ZONES AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA.	1. THE OWNER/CONTRACTOR SHALL SUPPLY ALL REPAIRS AND BARBER FREE ZONES AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA.
---	---	---	---	RE-SCORE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 2003-499 REFER TO DETAIL 2A102	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 AND REGISTERED PLAN #41-1451 CITY OF OTTAWA.	2. A MINIMUM SETBACK OF 0.9M FROM STREET FRONTAGE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FRONTAGE TO BE MAINTAINED BY THE CONTRACTOR/OWNER TO A SETBACK OF 0.9M. THE COST OF RECONSTRUCTION OF ANY VESTIGE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	2. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS AWAY AND DESIGNED TO MINIMIZE LIGHT CURTAIN LIGHT DISTRIBUTION AT THE PROPERTY LINE.
---	---	---	---	PROPOSED GRADING REFER TO CIVIL DWG(S)		3. IF THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGES/DISURBANCE DURING CONSTRUCTION.	3. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE GROUND FLOOR.
---	---	---	---	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWG(S))		4. ALL BARBER FREE ENTRANCES AND BARBER FREE ZONES OF TRAVEL MUST COMPLY WITH O.C. 3.8.	4. ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
---	---	---	---	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)			5. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

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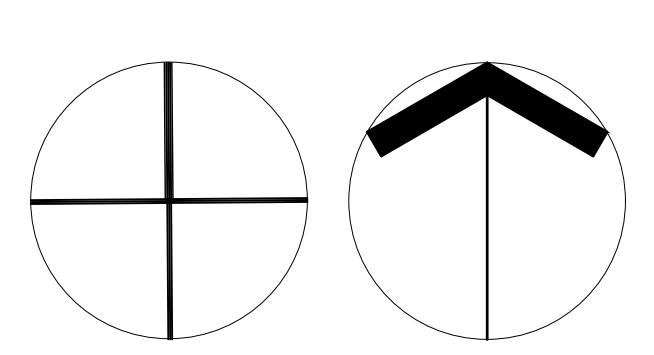
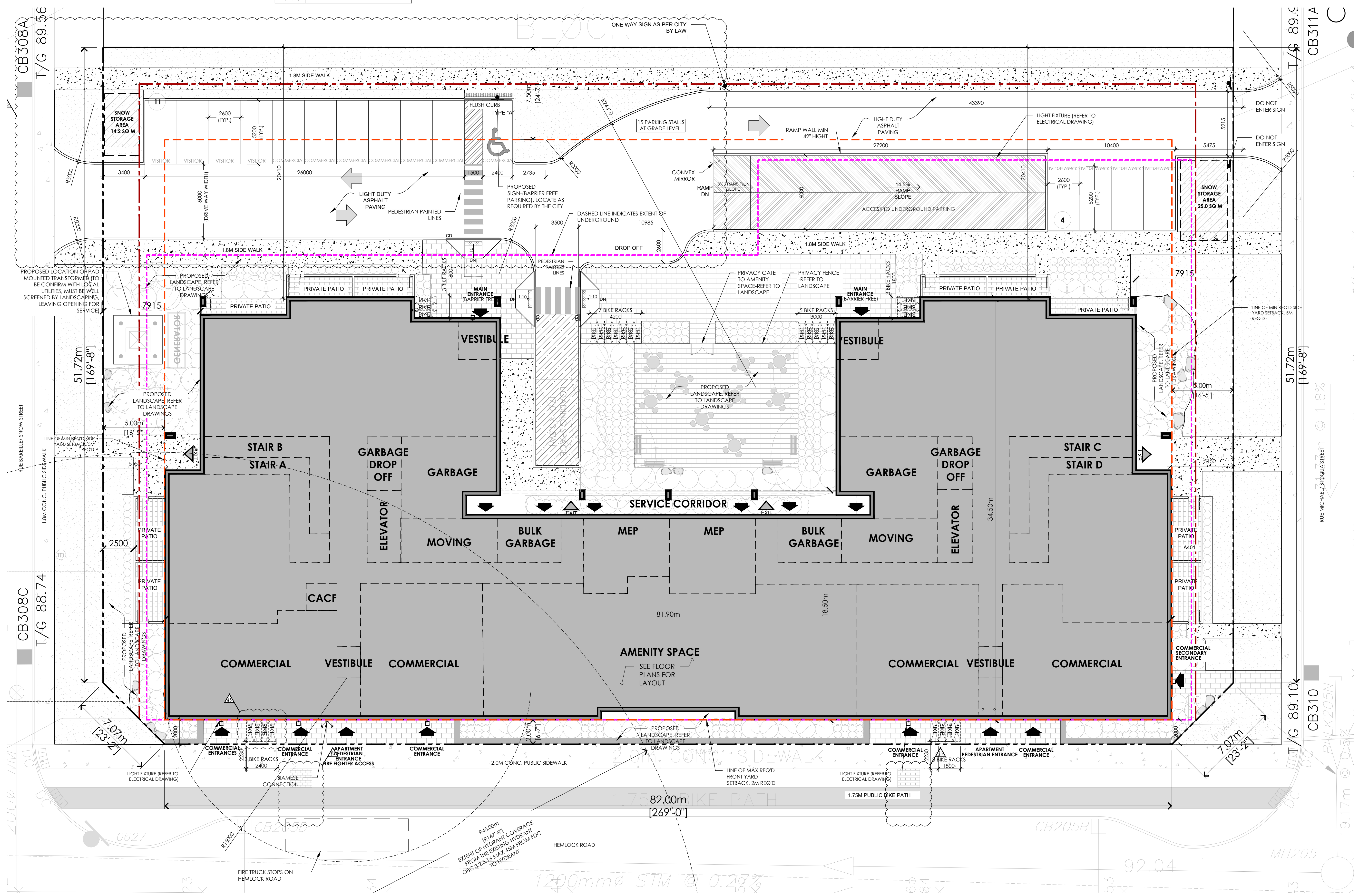
Project:
WATERIDGE APARTMENT BUILDING
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 1 ROOF LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004
Drawing No.: ASP-3		

City's Application Number : D07-12-22-0127
 City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE	STEEL BOLLARD (REFER TO DETAIL XL3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWG)	RECESSED EXTERIOR LIGHT FIXTURE @ 3000 & PROTE COCHERE	PARKING COYOT	THIS SHEET IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SHEETS FOR THIS PROJECT.	TORONTO SUBMITTALS INFO	1 ALL EXISTING PAVEMENT CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL TREE ROUTE AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING REMAINDER OF DRIVE TO RECEIVE LIGHT DUTY ASPHALT PAVING	FRS	MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEY AND SUCH DATA AS NOTED HEREON (PART OF THE PROJECT'S RECORD DRAWINGS).	2 A MINIMUM SETBACK OF 1.0M FROM STREET DRIVEWAYS TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING TREES TO BE REMOVED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0M, THE COST OF RELOCATION OF ANY TREE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS SHAWD AND DISBURSED TO MINIMIZE VERTIC LIGHT DISTRIBUTION AT THE PROPERTY LINE	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE	100.00%	LEGAL LAND DESCRIPTION:	3 IF THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGES/DISURBANCE DURING CONSTRUCTION.	8 ALL CONCRETE URNS TO BE SCREENED ON THE GROUND FLOOR	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	LANDSCAPED AREA	100.00%	BLOCKS 11, 12 AND REGISTERED PLAN #41-1451 CITY OF OTTAWA	4 ALL BARBER FREE ENTRANCES AND BARBER FREE FANS OF TRAVEL MUST COMPLY WITH O.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION	
EXISTING TOWN HYDRANT	SHADE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL REFER TO ELECTRICAL DWG	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

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 2022-06-12
 ETELEVA GURAKUJI MATAJ
 LICENCE 7809

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 T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 1 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.:

ASP-4

City's Application Number : D07-12-22-0127
 City's Plan Number:

LIST OF DRAWINGS

COVER SHEET	
A000	COVER SHEET

ARCHITECTURAL	
ASP-1	SITE PLAN
ASP-2	SITE DETAILS
A200	PARKING LEVEL P2
A201	PARKING LEVEL P1
A202	GROUND FLOOR PLAN
A203	TYPICAL FLOOR (2nd-4th)
A204	FIFTH FLOOR PLAN (5th)
A205	SIXTH FLOOR PLAN (6th)
A206	SEVENTH FLOOR PLAN (7th)
A207	EIGHT & NINE FLOOR PLAN (8th-9th)
A209	ROOF PLAN
A300	BLD 1 - RENDER
A301	SOUTH (FRONT) ELEVATION
A302	EAST & WEST ELEVATIONS
A303	NORTH (REAR) ELEVATION
A305	3D VIEWS
A401	BUILDING 1 - SITE SECTIONS



WATERIDGE APARTMENT BUILDING 1

1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA - 1ST REVIEW REPLY

CLIENT:

BAYVIEW GROUP
108 CHESTNUT ST
TORONTO, ON M5G 1R3
T: 416-597-6368



ARCHITECT:

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T: 905.281.4444



CIVIL:

WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



LANDSCAPE:

WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



ELECTRICAL

DESIGN WORKS ENGINEERING
826 KING ST. N., UNIT 15
WATERLOO, ON N2J 4G8
T: 1.780.814.5533



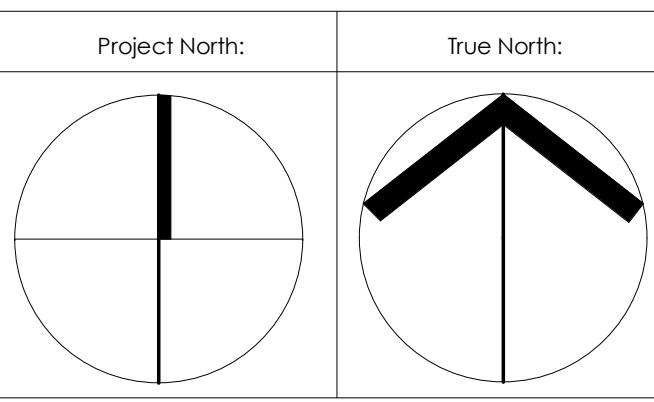
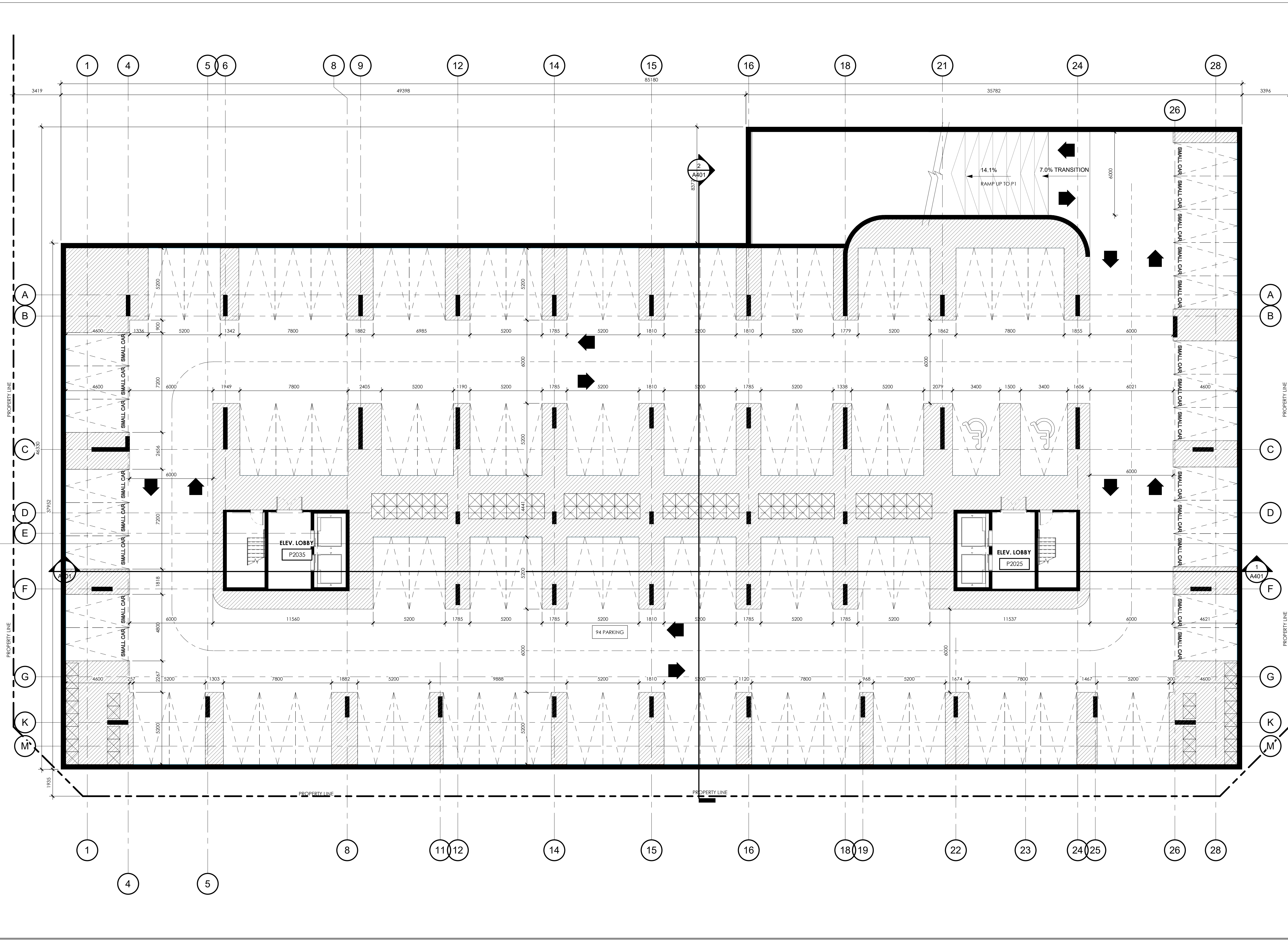
URBAN PLANNER

DEMARCO CONSTRUCTION
195 MENTEN PLACE, UNIT 103
OTTAWA, ON K2H 9C1
T: 1.613.829.2777



COVER SHEET



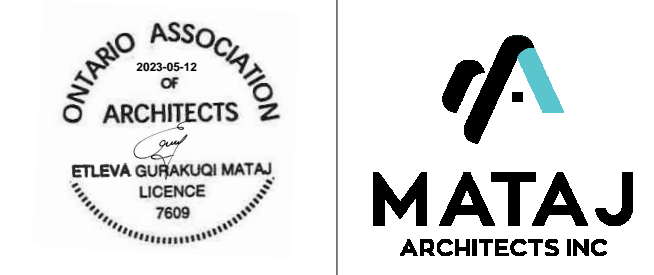


SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

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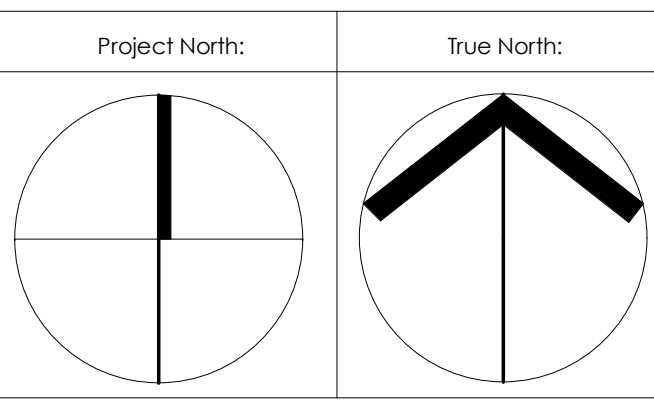
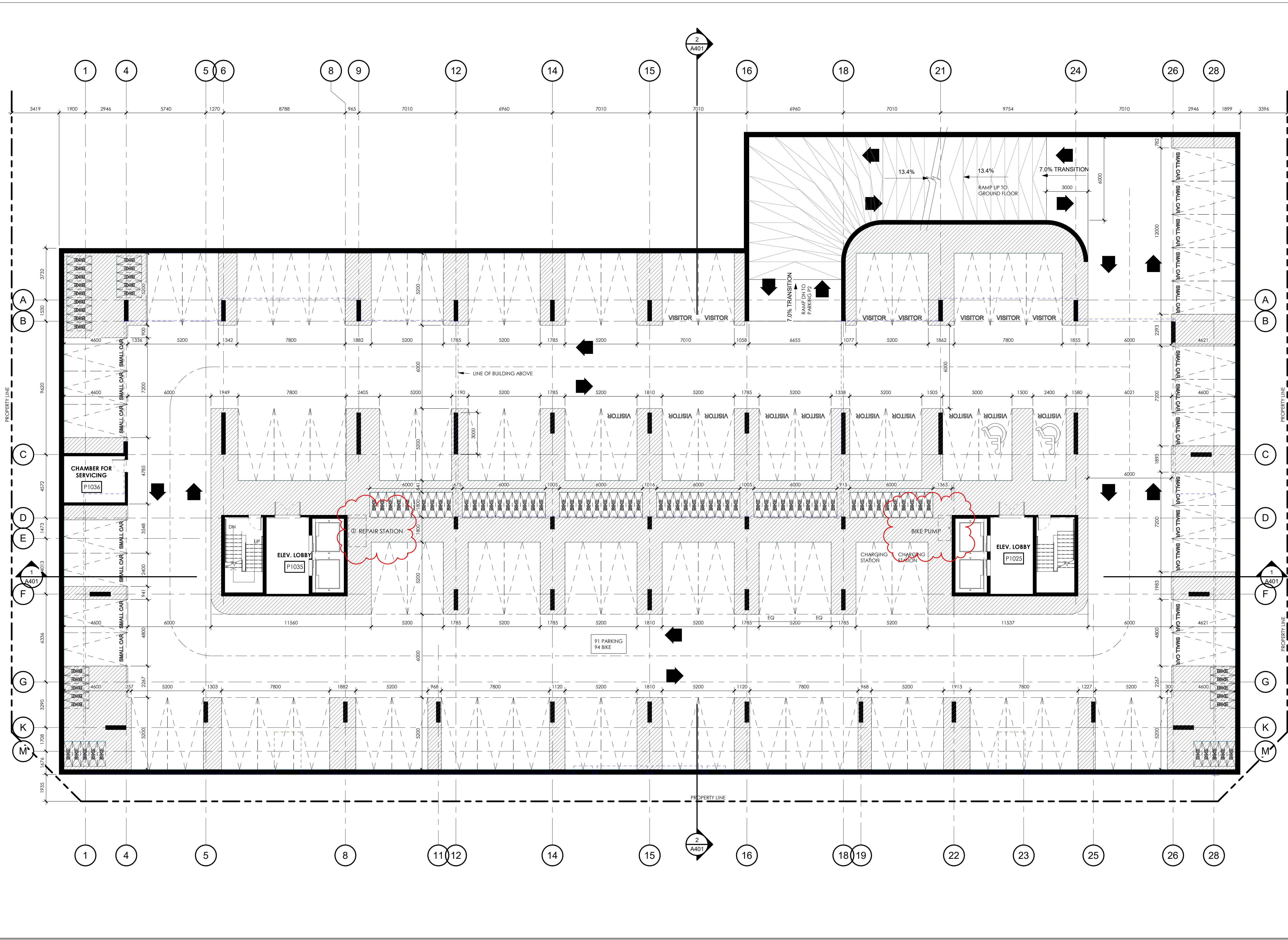
Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
PARKING LEVEL P2

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A200 Of:

City's Application Number: D07-12-22-0127
 City's



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
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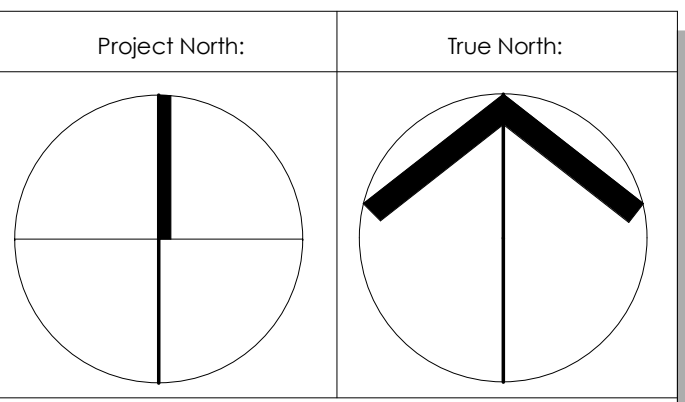
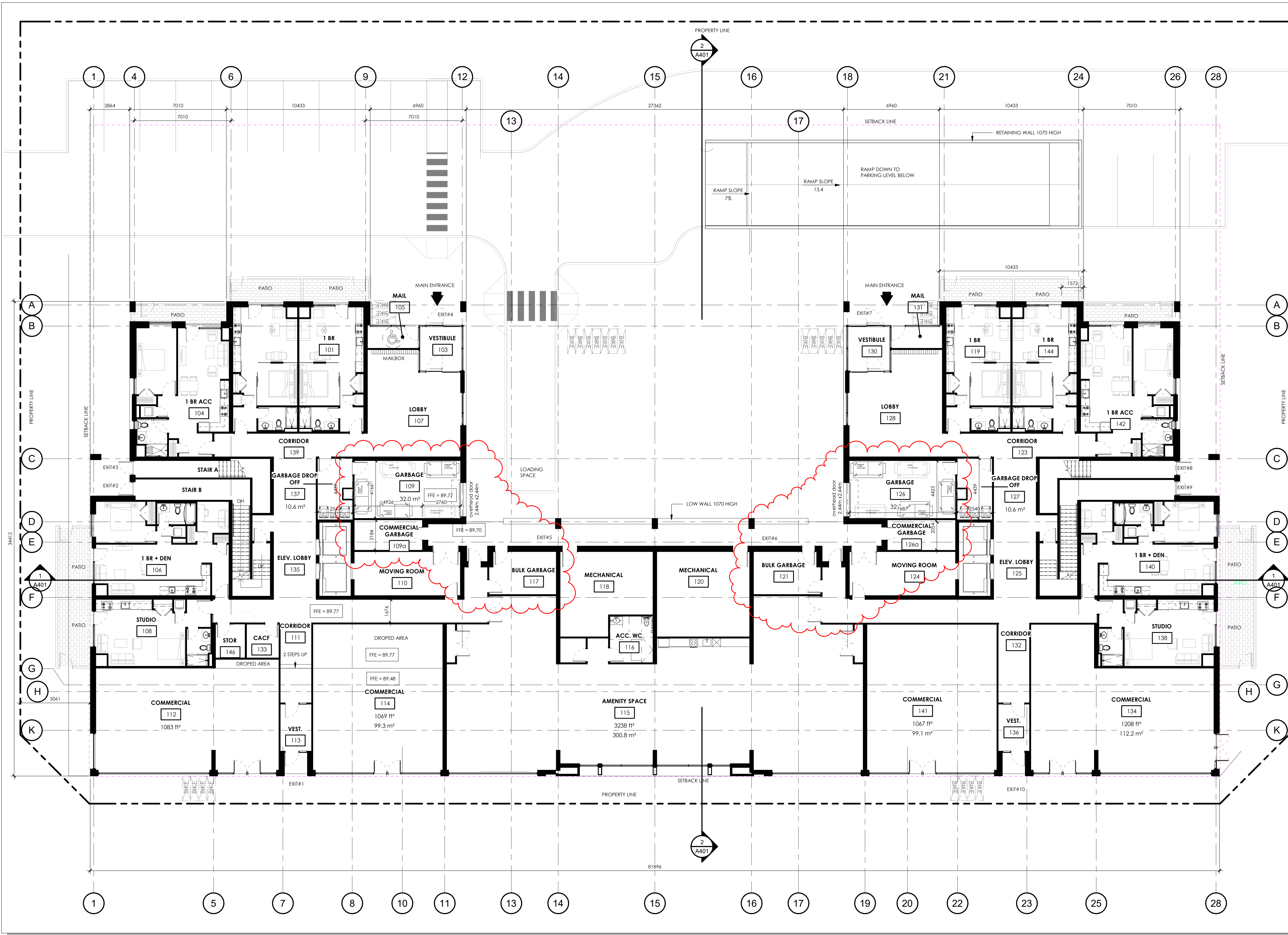
Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
PARKING LEVEL P1

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A201 Of:

City's Application Number: D07-12-22-0127
 City's



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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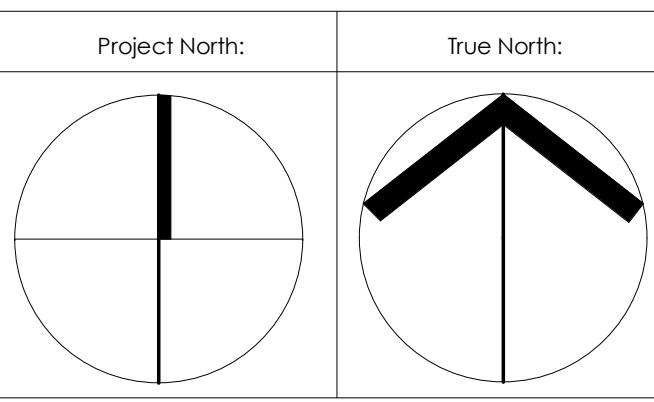
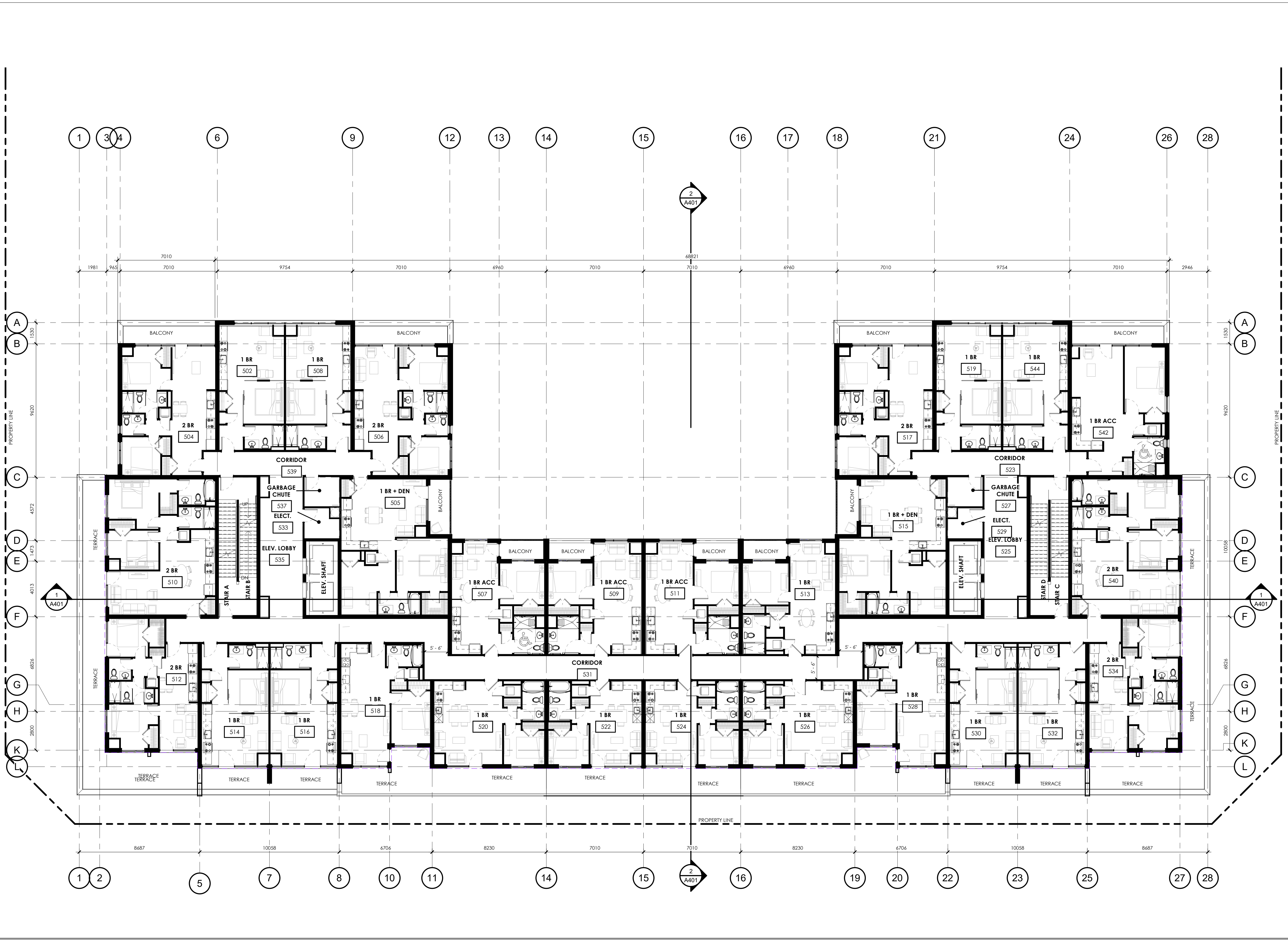
Project:
WATERIDGE APARTMENT BUILDING 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
GROUND FLOOR PLAN

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.: **A202** Of:

City's Application Number: D07-12-22-0127
City's:

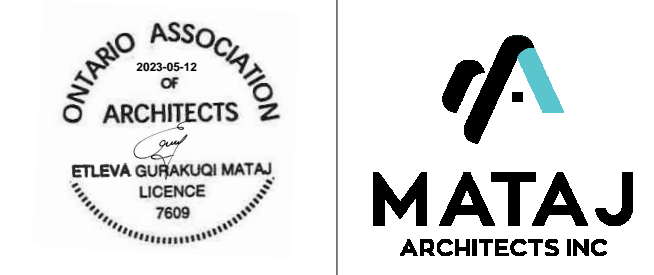


SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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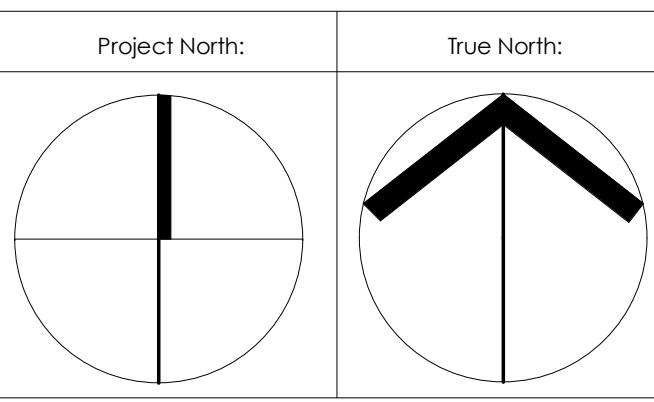
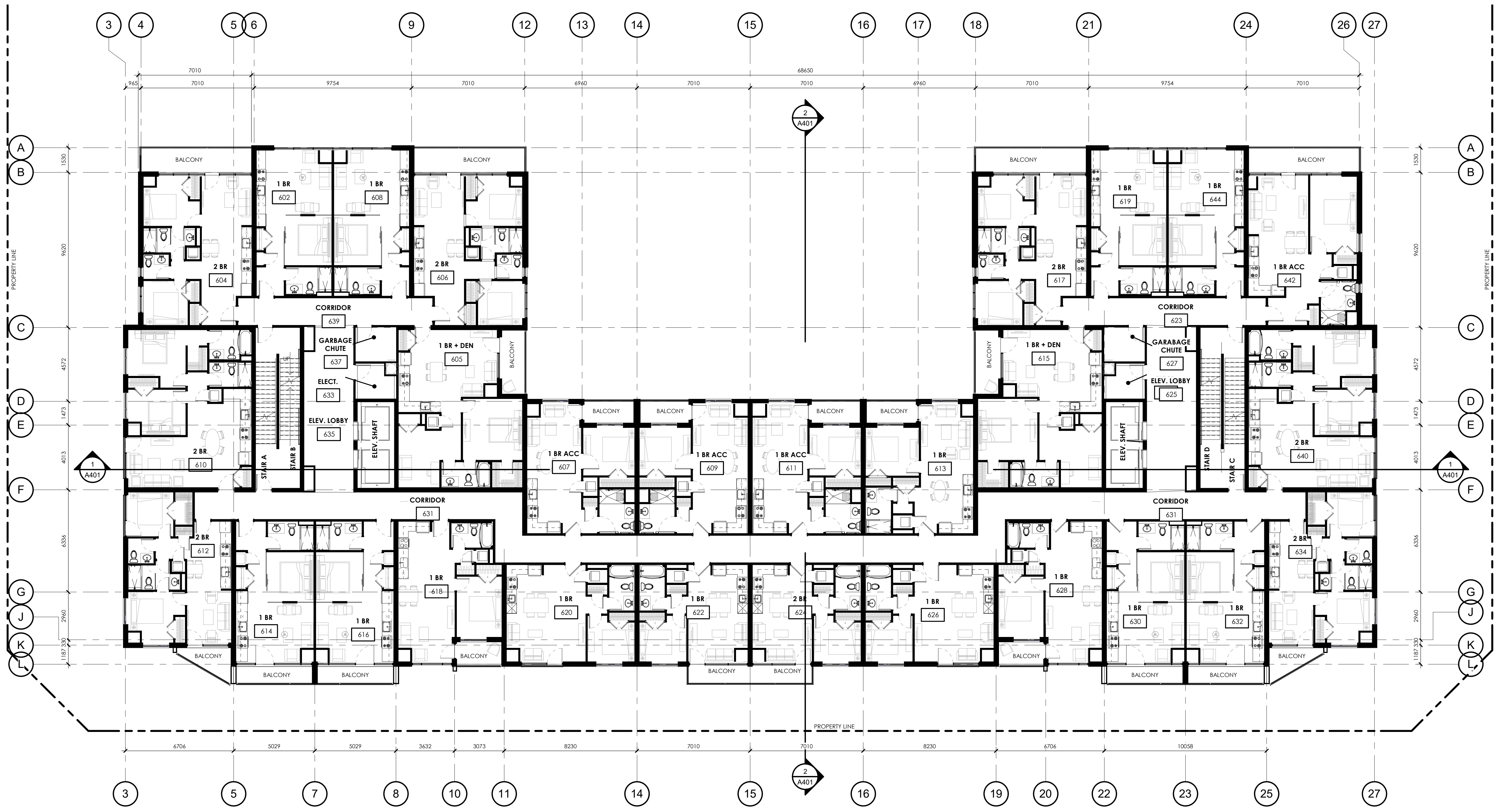
Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A204 of:

City's Application Number: D07-12-22-0127
 City's:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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1	ISSUED FOR CLC - REPLY	2022/06/30

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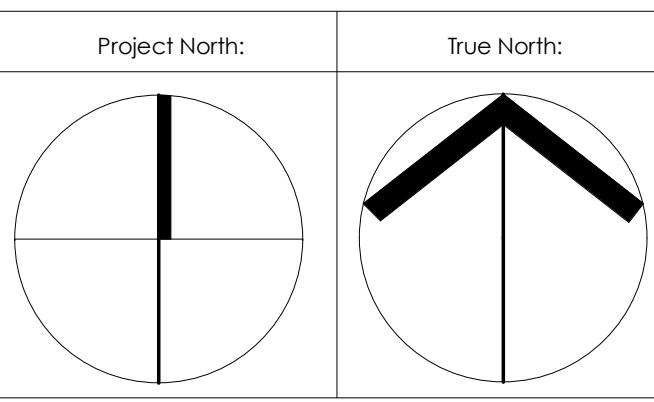
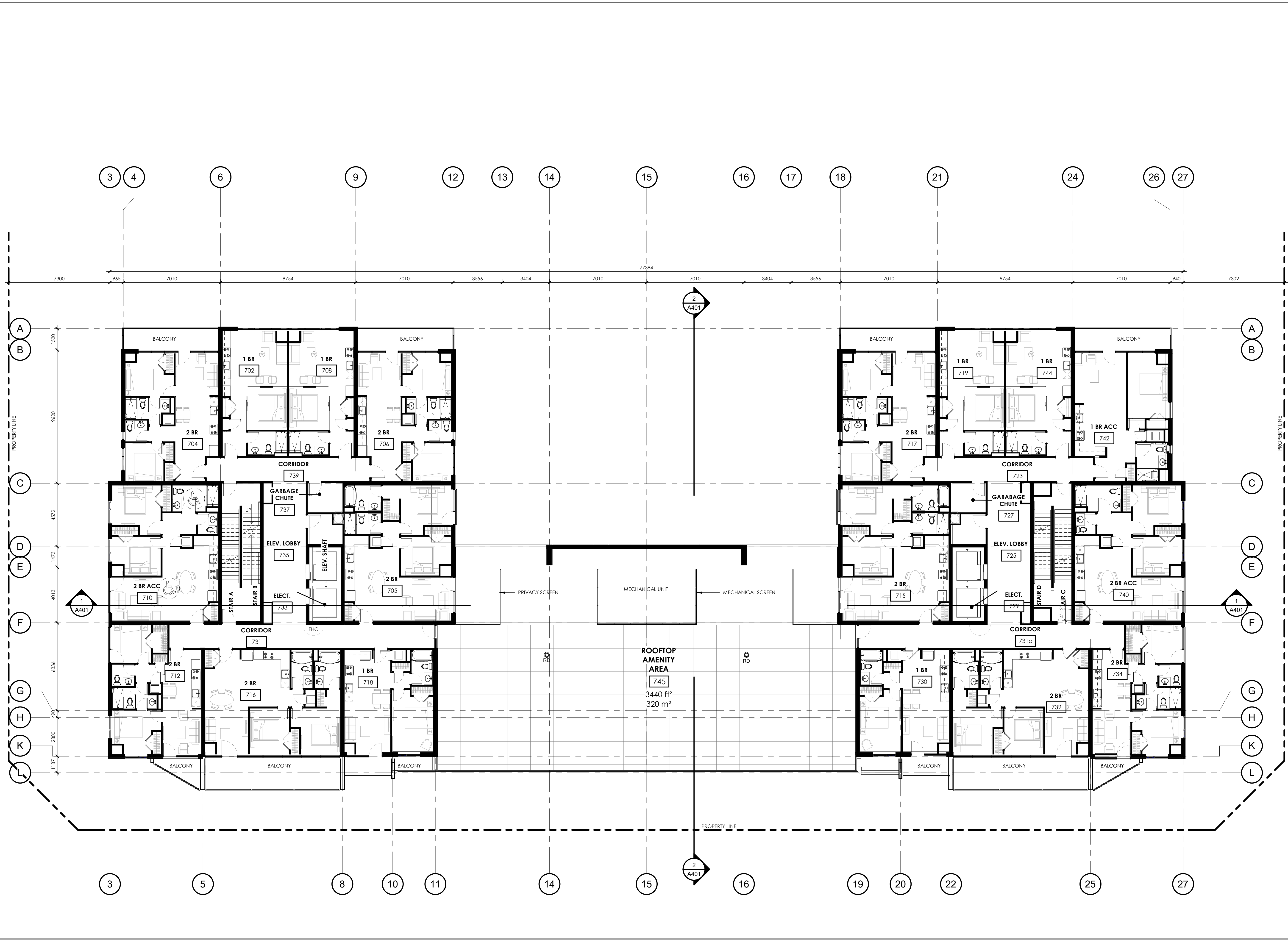
Project:
WATERIDGE APARTMENT BUILDING 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SIXTH FLOOR PLAN (6th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A205 Of:

City's Application Number: D07-12-22-0127
City's



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

Note:
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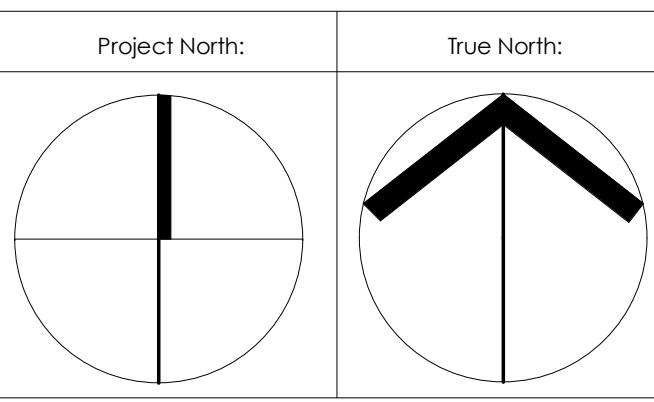
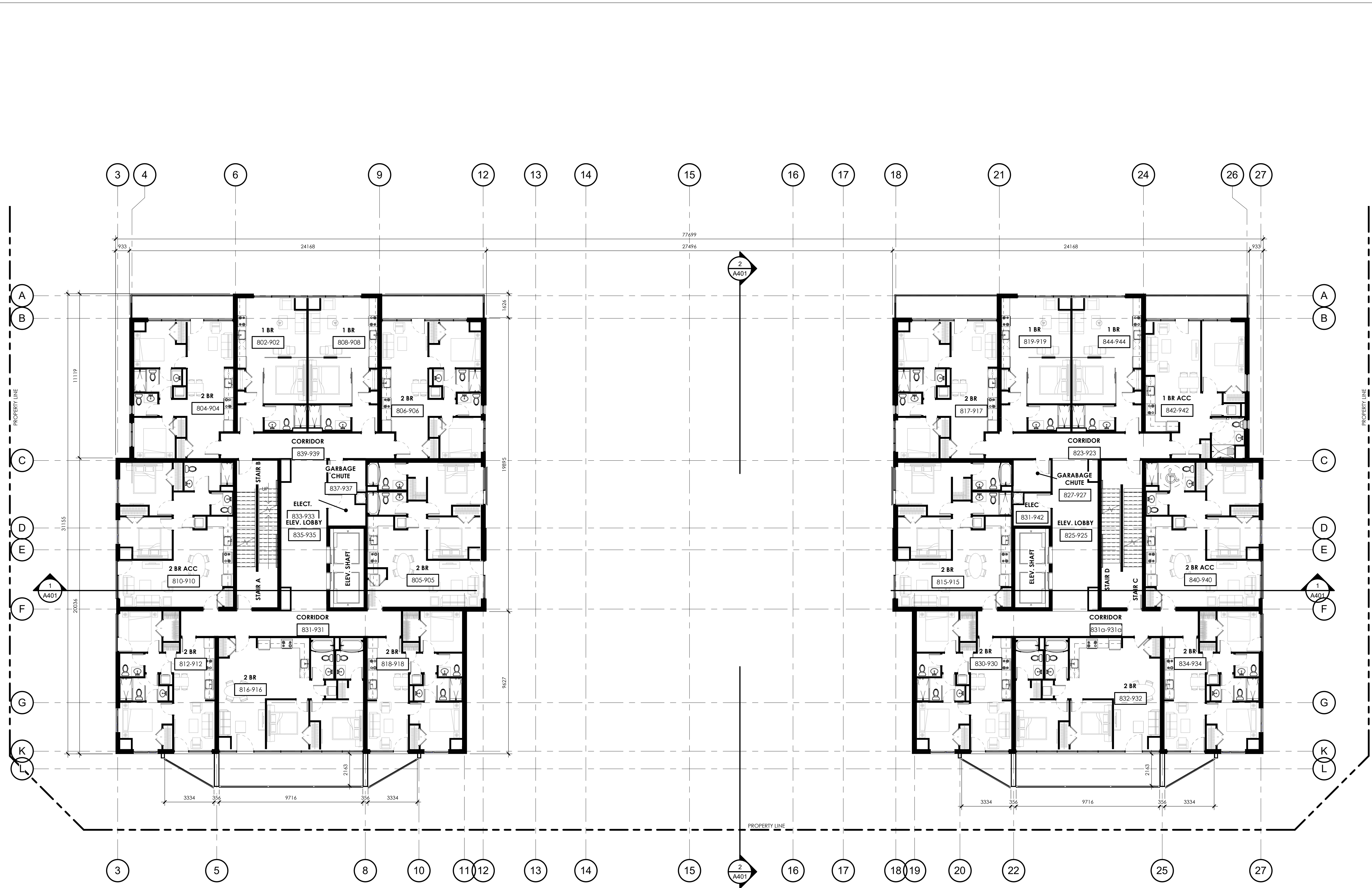
Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SEVENTH FLOOR PLAN (7th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A206 Of:

City's Application Number: D07-12-22-0127
 City's



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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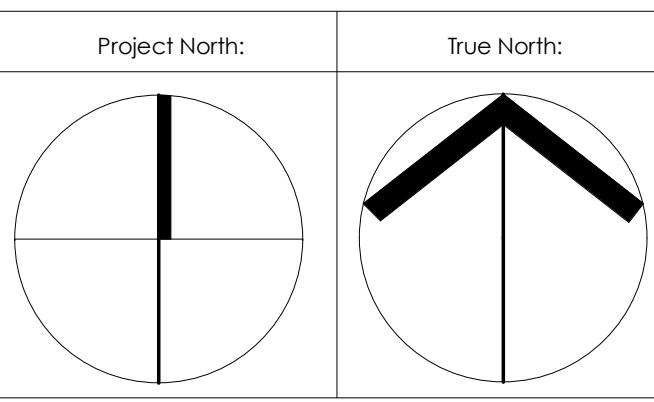
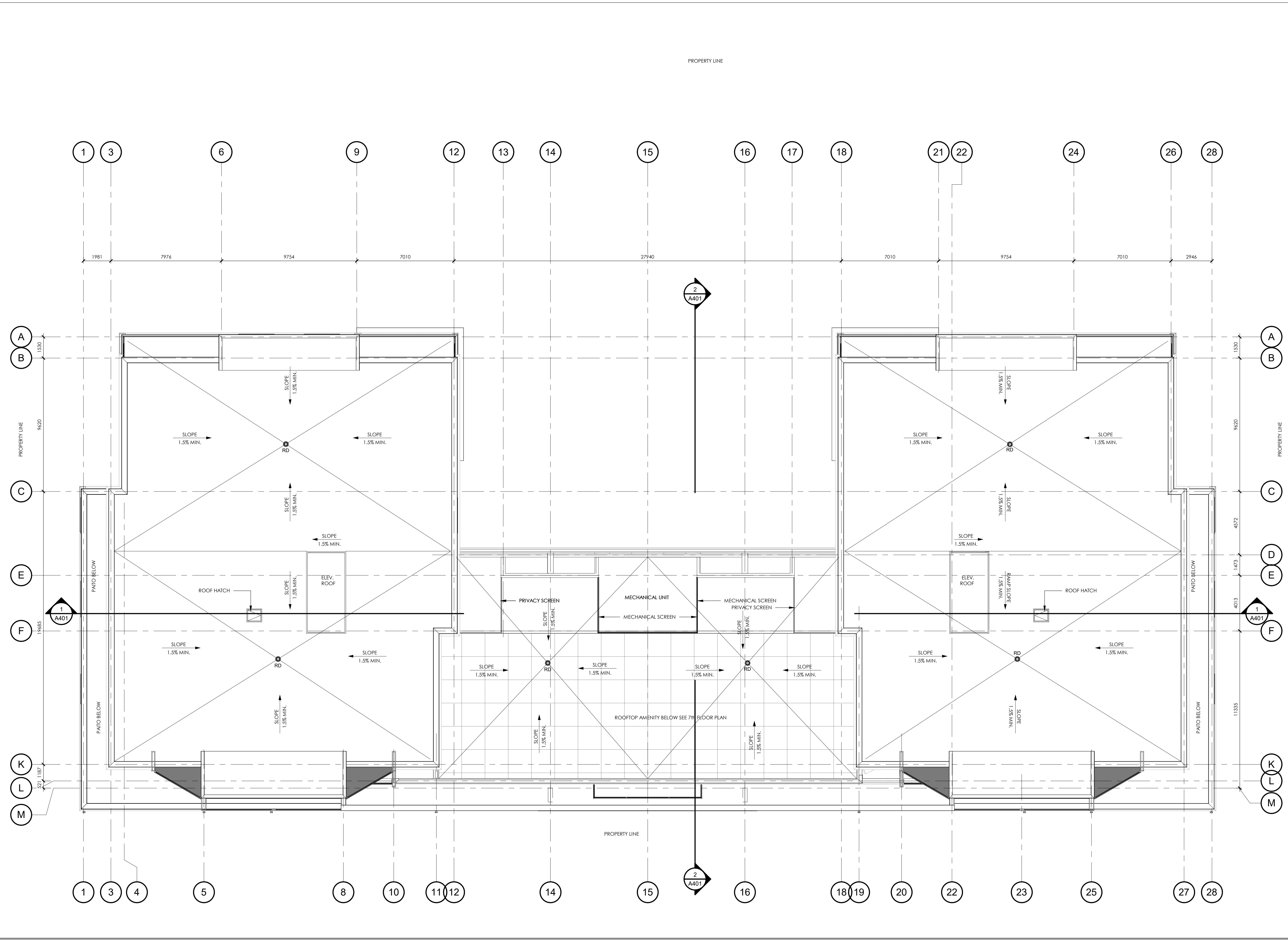
Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
EIGHT & NINE FLOOR PLAN (8th-9th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.: **A207** Of:

City's Application Number: D07-12-22-0127
 City's



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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OF
ARCHITECTS
ELEVA GURAKUJI MATAJ
LICENCE
7809

Architect's Stamp

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Project:
WATERIDGE APARTMENT BUILDING 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
ROOF PLAN

Design By: MAI	Drawn By: -	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.:
A209 Of:

City's Application Number: D07-12-22-0127
City's



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

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Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BLD 1 - RENDER

Design By: EM	Drawn By: SF	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

Drawing No:
A300 Of:

City's Application Number: D07-12-22-0127
 City's

Project North:	True North:

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD		
TRANSPARENT GLAZING AREA	TOTAL WALL AREA OF NON-RESIDENTIAL USE	PERCENTAGE (50% MIN. REQUIRED)
223.42 SM	368.53 SM	61%

HATCH DENOTES BIRD FRIENDLY GLAZING

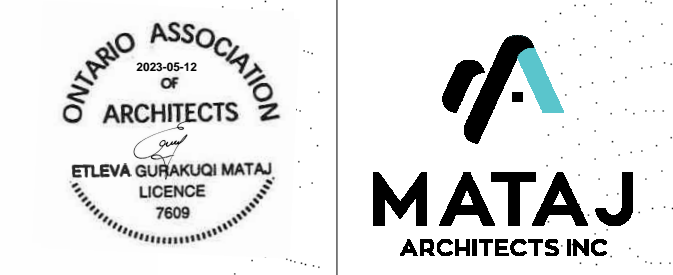
EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
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1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:-

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Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SOUTH (FRONT) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

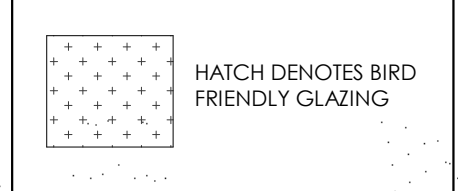
Drawing No:
A301 Of:

City's Application Number: D07-12-22-0127
 City's



1 BLD 1 - SOUTH ELEVATION (FRONT)
 A301 1:125

NOTES:
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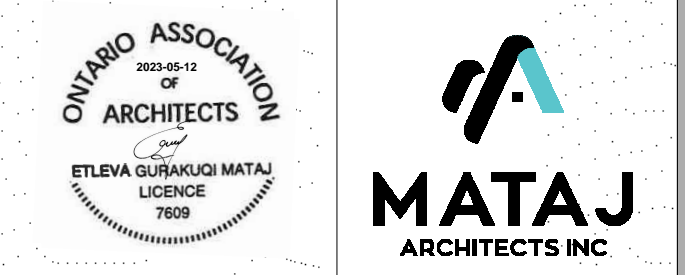
EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-146
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
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1	ISSUED FOR CLC - REPLY	2022/06/30

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Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
EAST & WEST ELEVATIONS

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A302 Of:

City's Application Number: D07-12-22-0127
 City's

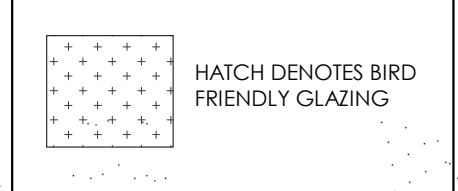


2 BLD 1 - EAST ELEVATION
 A302 1:125

1 BLD 1 - WEST ELEVATION
 A302 1:125

Project North:	True North:
SPA FILE NO. -	

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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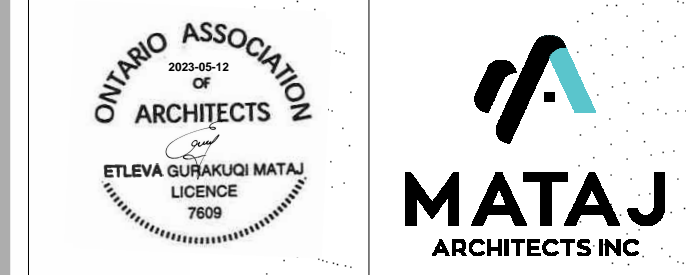
EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRICRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



REV	DESCRIPTION	REV. DATE
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1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:-

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 1.905.231.4444

Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
NORTH (REAR) ELEVATION

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A303 Of

City's Application Number: D07-12-22-0127
 City's

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HATCH DENOTES BIRD FRIENDLY GLAZING

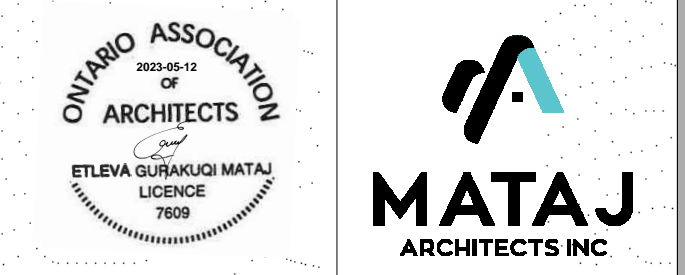
EXTERIOR ELEVATION LEGEND	
E01	EFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EFS - GREY
E03	EFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11

Drawing Issues/Revisions:-

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Project:
WATERIDGE APARTMENT BUILDING 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
PARTIAL EAST & WEST ELEVATIONS

Design By: MAI	Drawn By: -	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A304 Of:

City's Application Number: D07-12-22-0127
 City's



2 PARTIAL WEST ELEVATION
 A304 1:125



1 PARTIAL EAST ELEVATION
 A304 1:125



2 PERSPECTIVE VIEW SE
A305



1 PERSPECTIVE VIEW SW
A305



3 PERSPECTIVE VIEW NW
A305

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

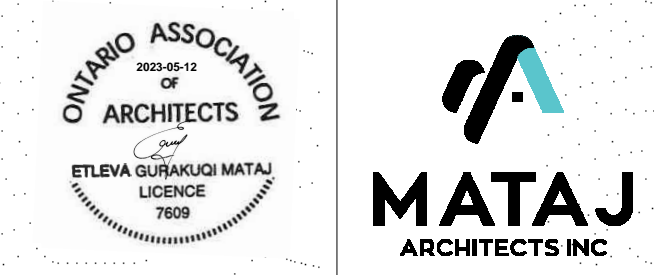
Drawing Issues/Revisions: -

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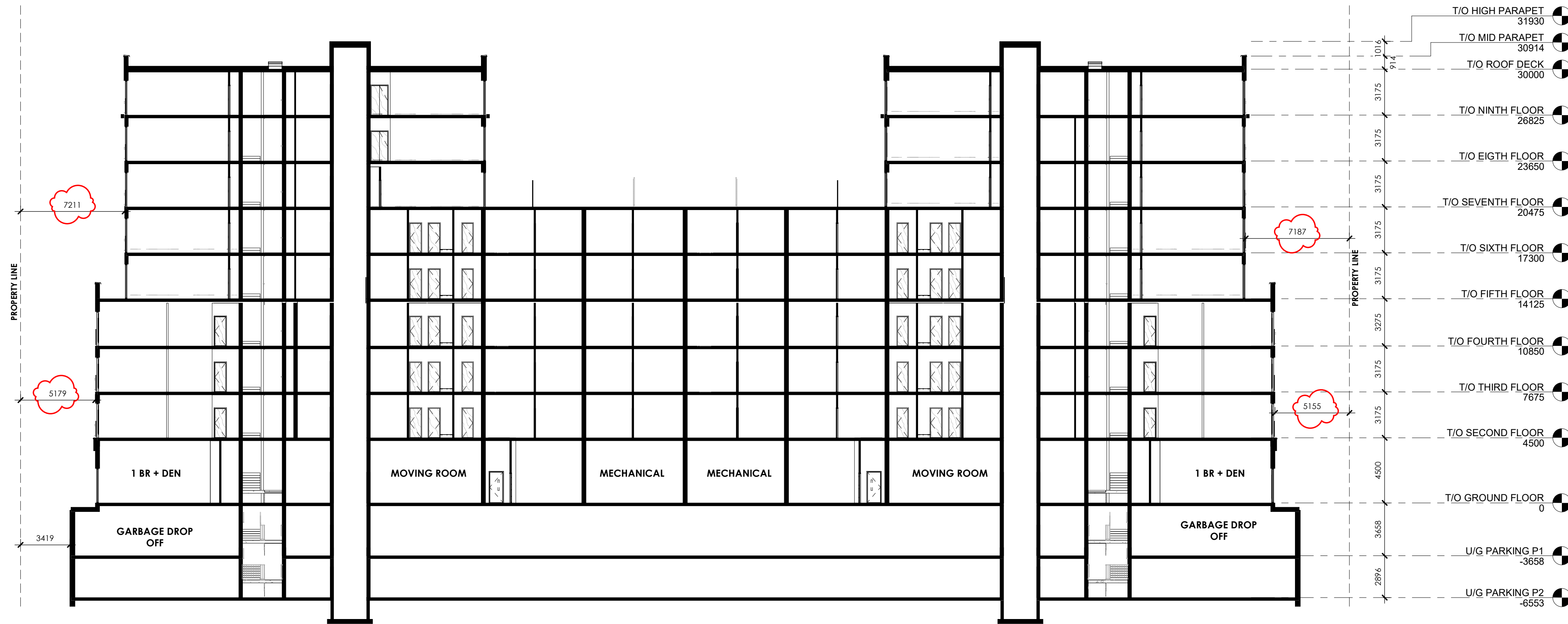
Project:
WATERIDGE APARTMENT BUILDING 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS

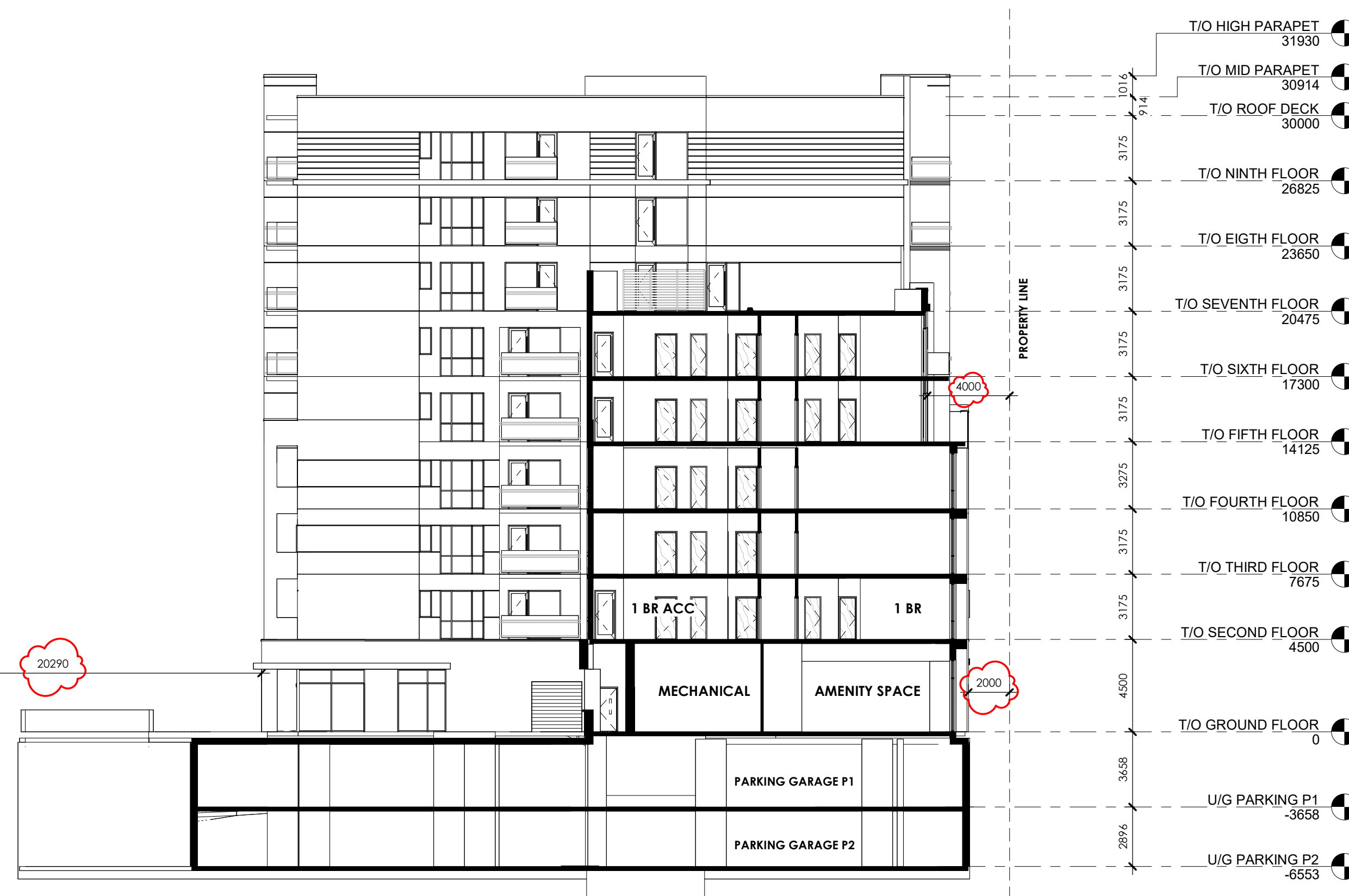
Design By: EM	Drawn By: TV/BL	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

Drawing No:
A305 Of:

City's Application Number: D07-12-22-0127
City's



1 BLD 1 - SITE SECTION I
A401 1 : 200



2 BLD 1 - SITE SECTION II
A401 1 : 200

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

Note:
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MATAJ ARCHITECTS INCORPORATED
204-418 Incaquois Shore Rd
Oakville Ontario L6H 0X7
1.905.281.1444

Project:
WATERIDGE APARTMENT BUILDING 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
BUILDING 1 - SITE SECTIONS

Design By: MAI	Drawn By: -	Approved By: EM
Scale: 1 : 200	Date: Issue Date	Project No.: 22-004

Drawing No:
A401 Of:
City's Application Number: D07-12-22-0127
City's

[LIST OF DRAWINGS](#)

COVER SHEET	
A000	COVER SHEET
ARCHITECTURAL	
ASP-1	SITE PLAN
ASP-2	SITE DETAILS
A201	PARKING LEVEL P2
A202	PARKING LEVEL P1
A203	GROUND FLOOR PLAN
A204	TYPICAL FLOOR (2nd-4th)
A205	FIFTH FLOOR PLAN (5th)
A206	SIXTH FLOOR PLAN (6th)
A207	SEVENTH FLOOR PLAN (7th)
A208	EIGHT & NINE FLOOR PLAN (8th-9th)
A209	ROOF PLAN
A301	SOUTH (FRONT) ELEVATION
A302	WEST ELEVATION
A303	NORTH ELEVATION
A304	EAST ELEVATION
A305	3D VIEWS
A401	BUILDING 2 - SITE SECTIONS

WATERIDGE APARTMENT BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

[ISSUED FOR SPA - 1ST REVIEW REPLY](#)

CLIENT:
BAYVIEW GROUP
108 CHESTNUT ST
TORONTO, ON M5G 1R3
T: 416-597-6368



ARCHITECT:
MATAJ ARCHITECTS INC.
206-418 IROQUOIS SHORE RD
OAKVILLE, ON L6H 0X7
T: 905.281.4444



CIVIL:
WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



LANDSCAPE:
WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



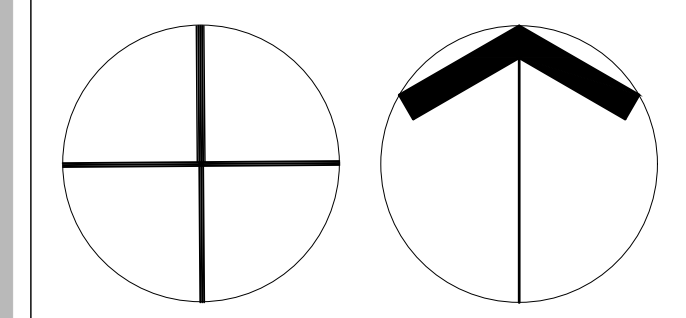
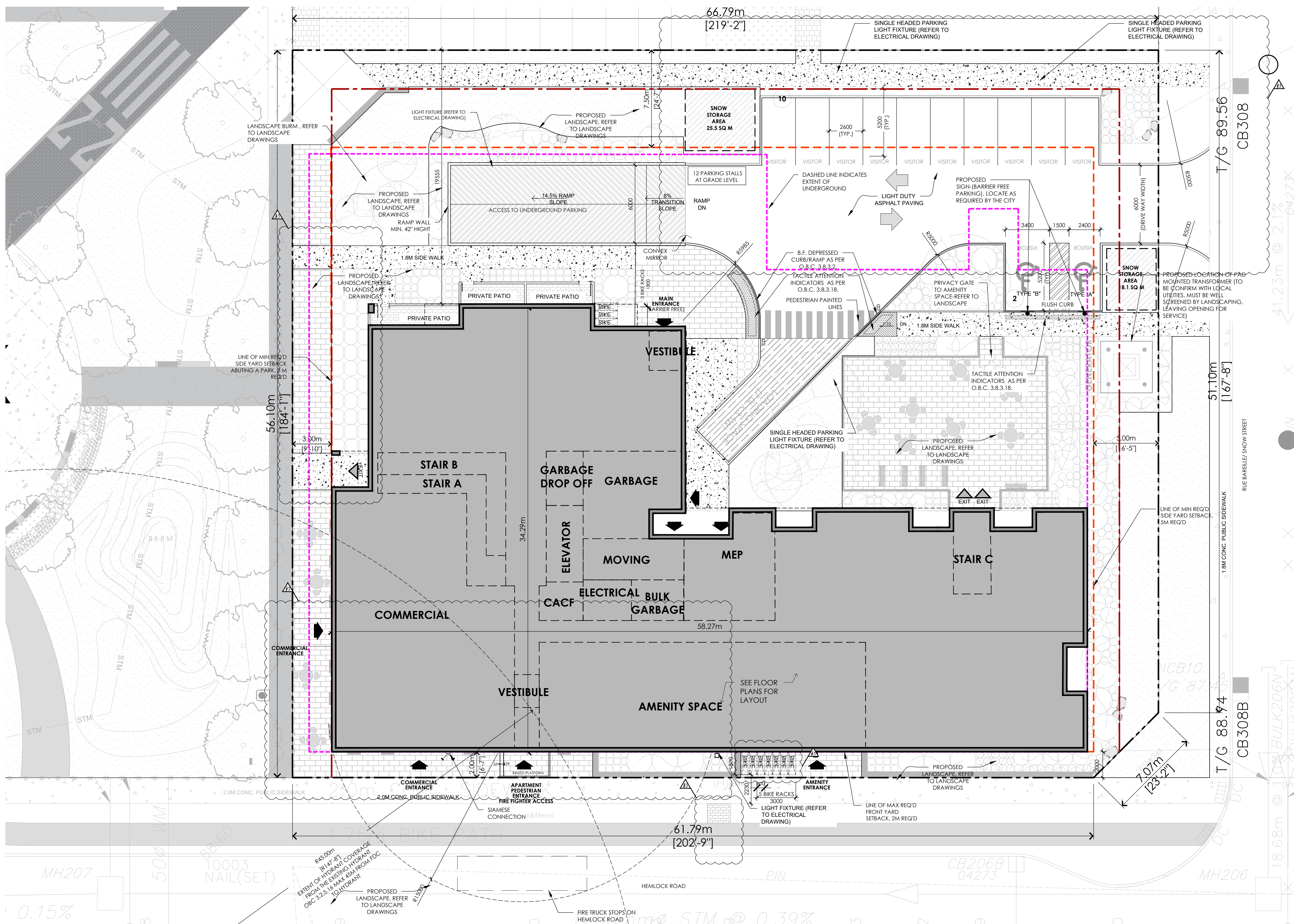
ELECTRICAL
DESIGN WORKS ENGINEERING
826 KING ST. N., UNIT 15
WATERLOO, ON N2J 4G8
T: 1.780.814.5533



URBAN PLANNER
DEMARCO CONSTRUCTION
195 MENTEN PLACE, UNIT 103
OTTAWA, ON K2H 9C1
T: 1.613.829.2777



PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL 03.1)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN- GENERAL NOTES	SITE PLAN- GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SITE PLAN IS BASED UPON AND MUST BE USED IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MANA ARCHITECTS ACCEPTS NO LIABILITY FOR THE ACCURACY OF THE DATA PROVIDED HEREON UNLESS SPECIFICALLY NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.	TOPIC SURVEYORS INFO: ONTARIO LAND SURVEYORS NAME: CASSIDIAN VOLLEBEKE LTD. 14 COCKSCOE GATE SUITE 200 UNIT 100, OAKVILLE ON L6M 4K7 CANADA TEL: 905.846.8888 EMAIL: info@clm-rl.com	1. ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.	5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE CITY.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMANDER OF HERE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FREE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 2003-49 REFER TO 2003-24(2)	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 (REQUIRE PLAN 441-181 CITY OF OTTAWA)	2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR/OWNER AT THE COST OF RELOCATION OF ANY UTILITY TO THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	6. ALL EXISTING DRIVEWAYS TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND ORIGINATED TO NARROW ZERO CORNER LIGHT DISTRIBUTION AT THE PROPERTY LINE.	8. ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DECORATIVE SHOW-UP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	PROPOSED GRADING REFER TO CIVIL DWGS		3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE DISTURBANCE DURING CONSTRUCTION.	7. ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.	9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA	CONDENSING LINE ON 4" CONCRETE PAD REFER TO MECH DWGS		4. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE DISTURBANCE DURING CONSTRUCTION.	8. ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.	10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
EXISTING DOWNPOUT	SHOULDER HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET REFER TO ELECTRICAL DWGS						



3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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 2022-06-12
 ETELEVA GURAKUJI MATAJ
 LICENCE 7809

MATAJ ARCHITECTS INC.

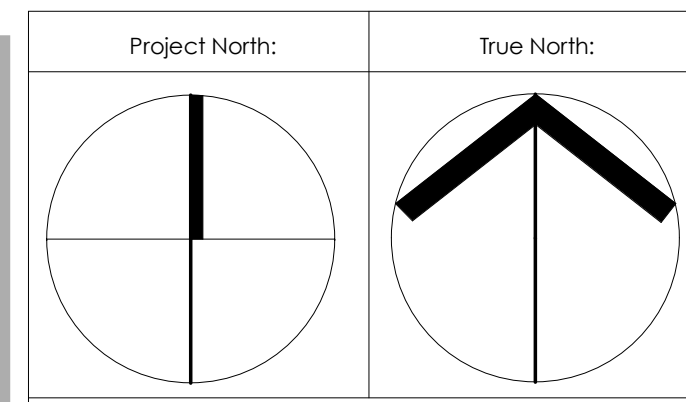
Architect's Stamp
MATAJ ARCHITECTS
 INCORPORATED
 206-418 Incauld Shore Rd
 Oakville Ontario
 L6H 0K7
 T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 2 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.:
ASP-6
 City's Application Number : D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

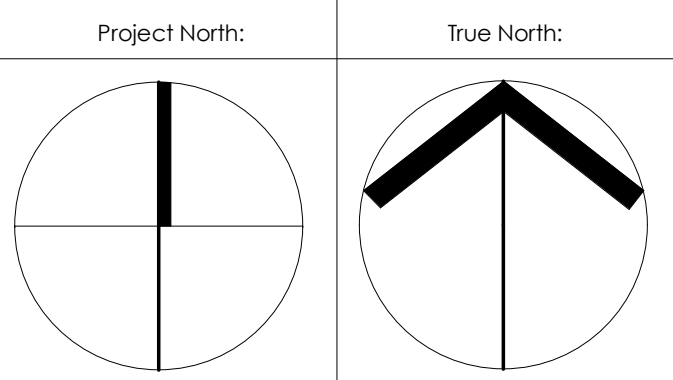
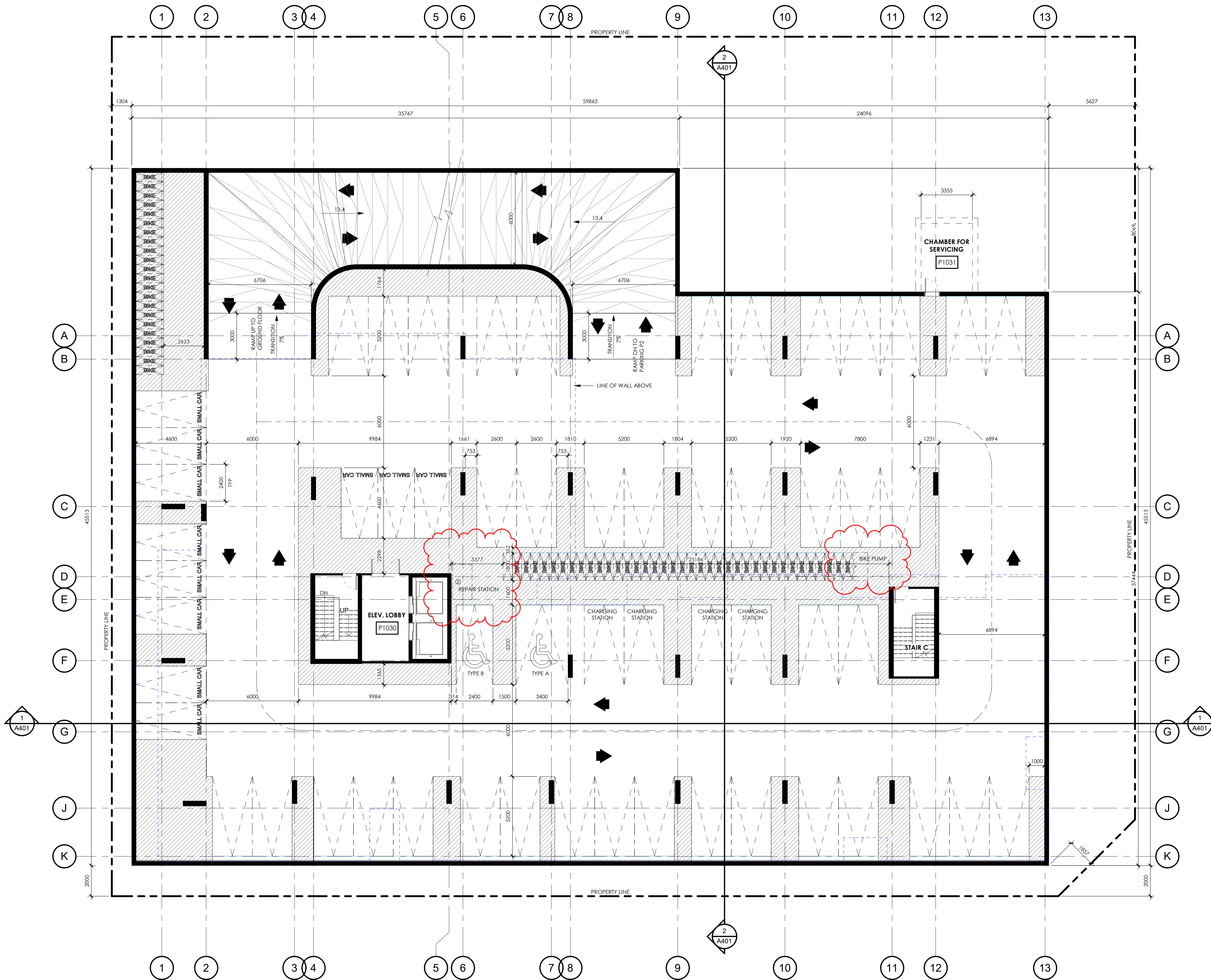
Sheet Title:
PARKING LEVEL P2

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A201 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:





SPA FILE NO. -

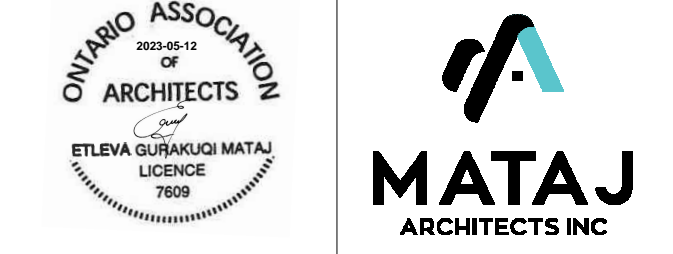
REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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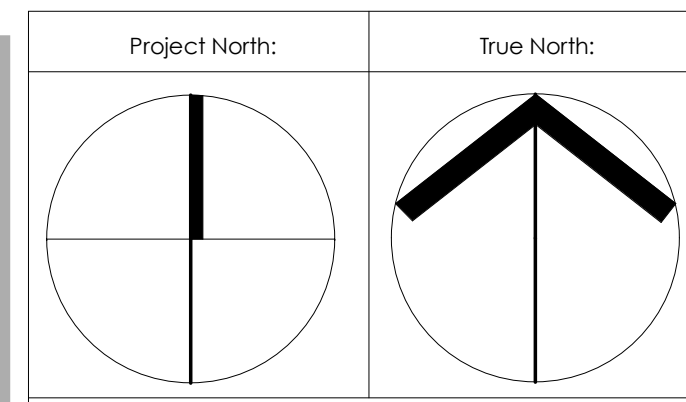
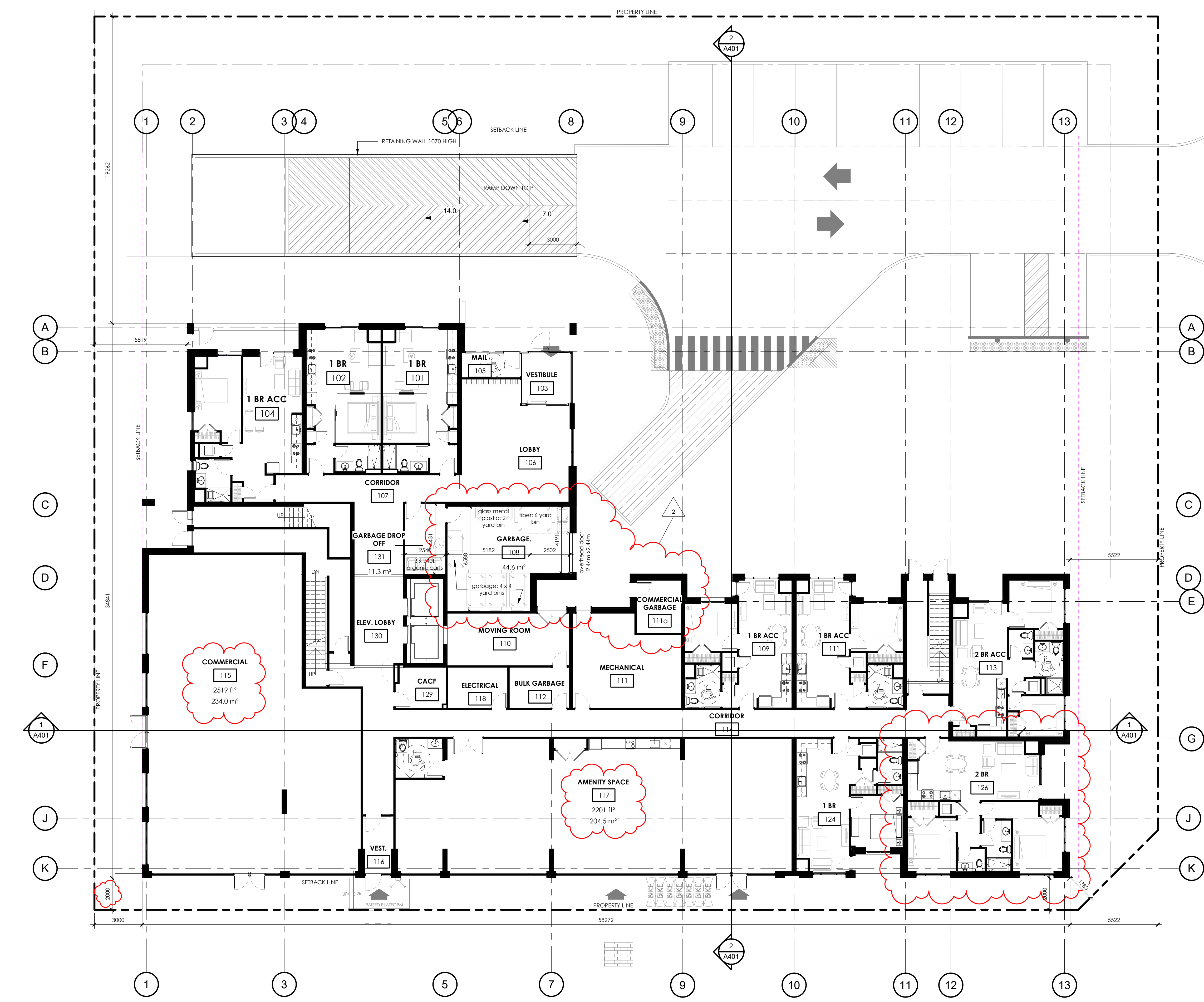
Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
PARKING LEVEL P1

Design By: MAI	Drawn By: -	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A202 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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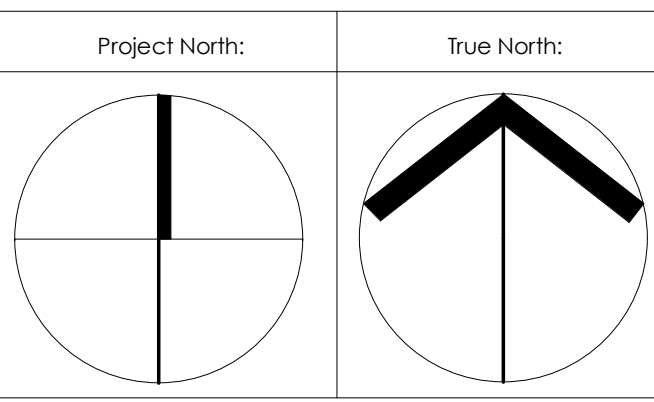
Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
GROUND FLOOR PLAN

Design By: MAI	Drawn By: -	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A203 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

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INCORPORATED
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Oakville Ontario
L6H 0X7
1.905.281.1444

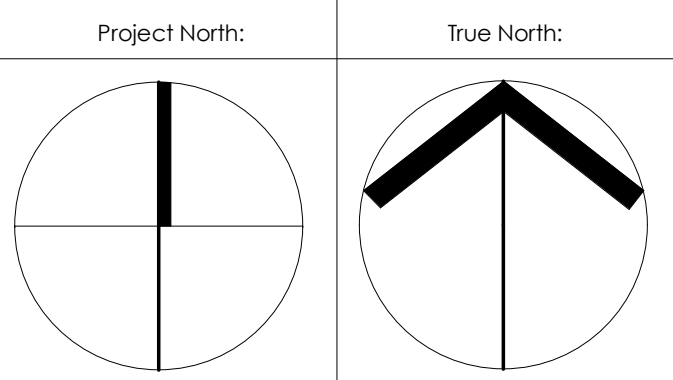
Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
TYPICAL FLOOR (2nd-4th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A204 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

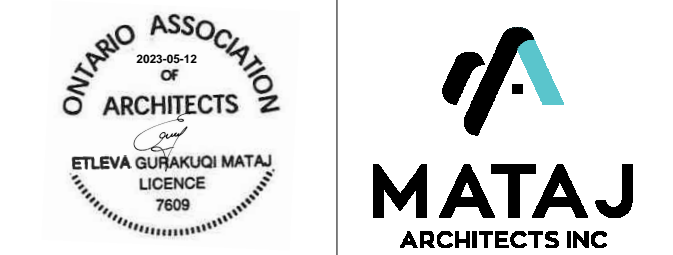
REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

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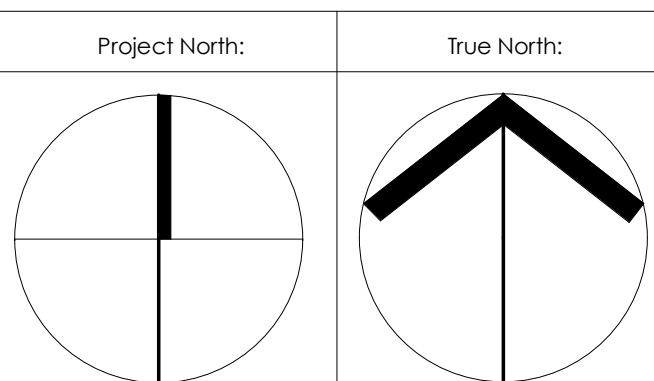
Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A205 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

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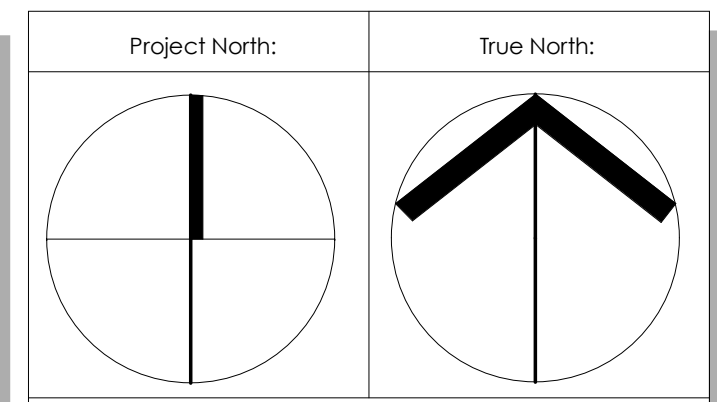
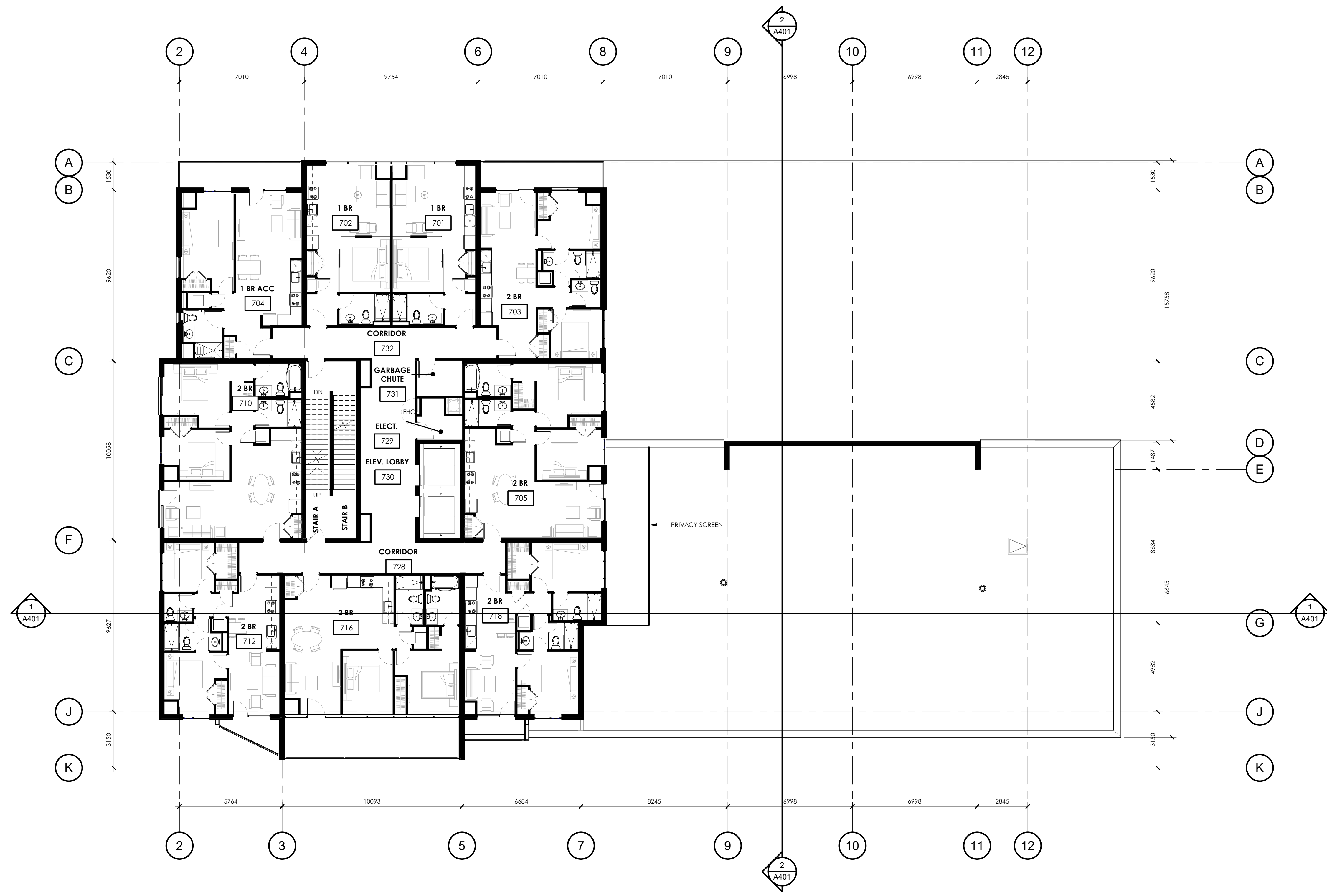
Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SIXTH FLOOR PLAN (6th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A206 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

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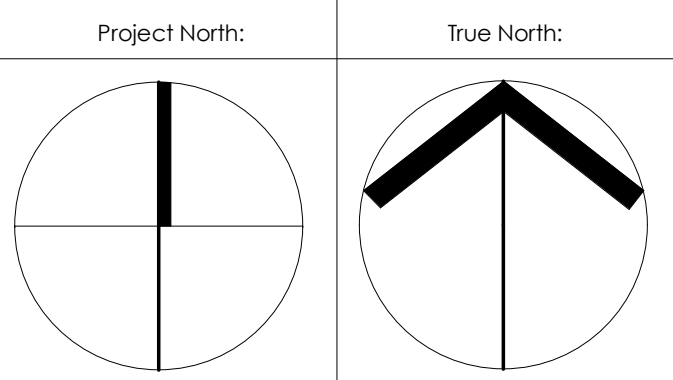
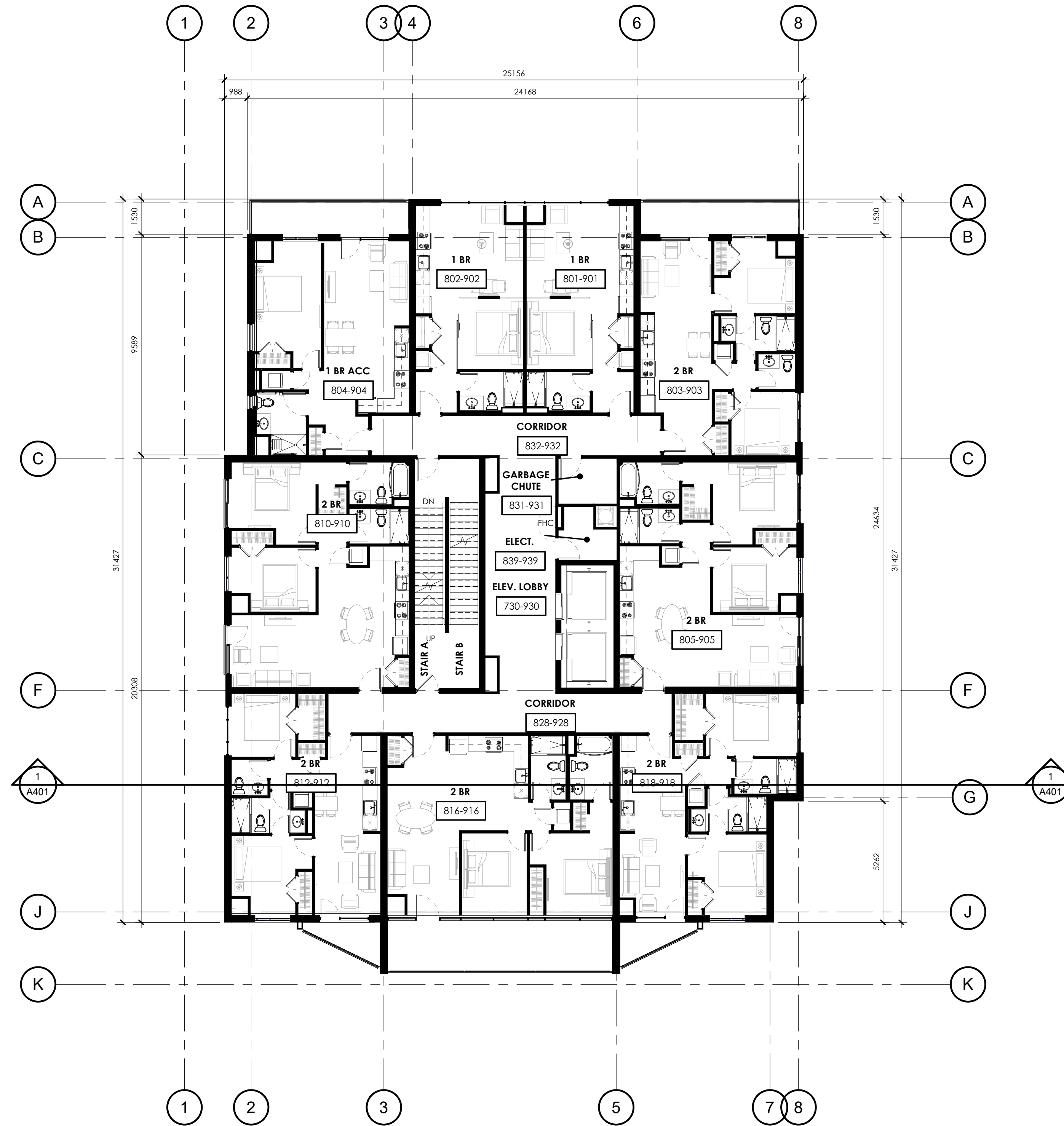
Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
SEVENTH FLOOR PLAN (7th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A207 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

Note:
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T.905.231.4444

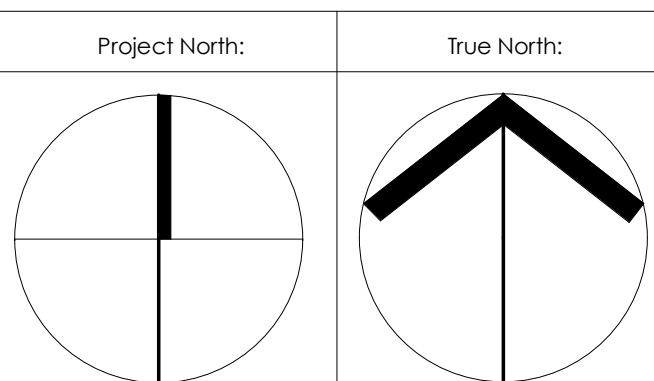
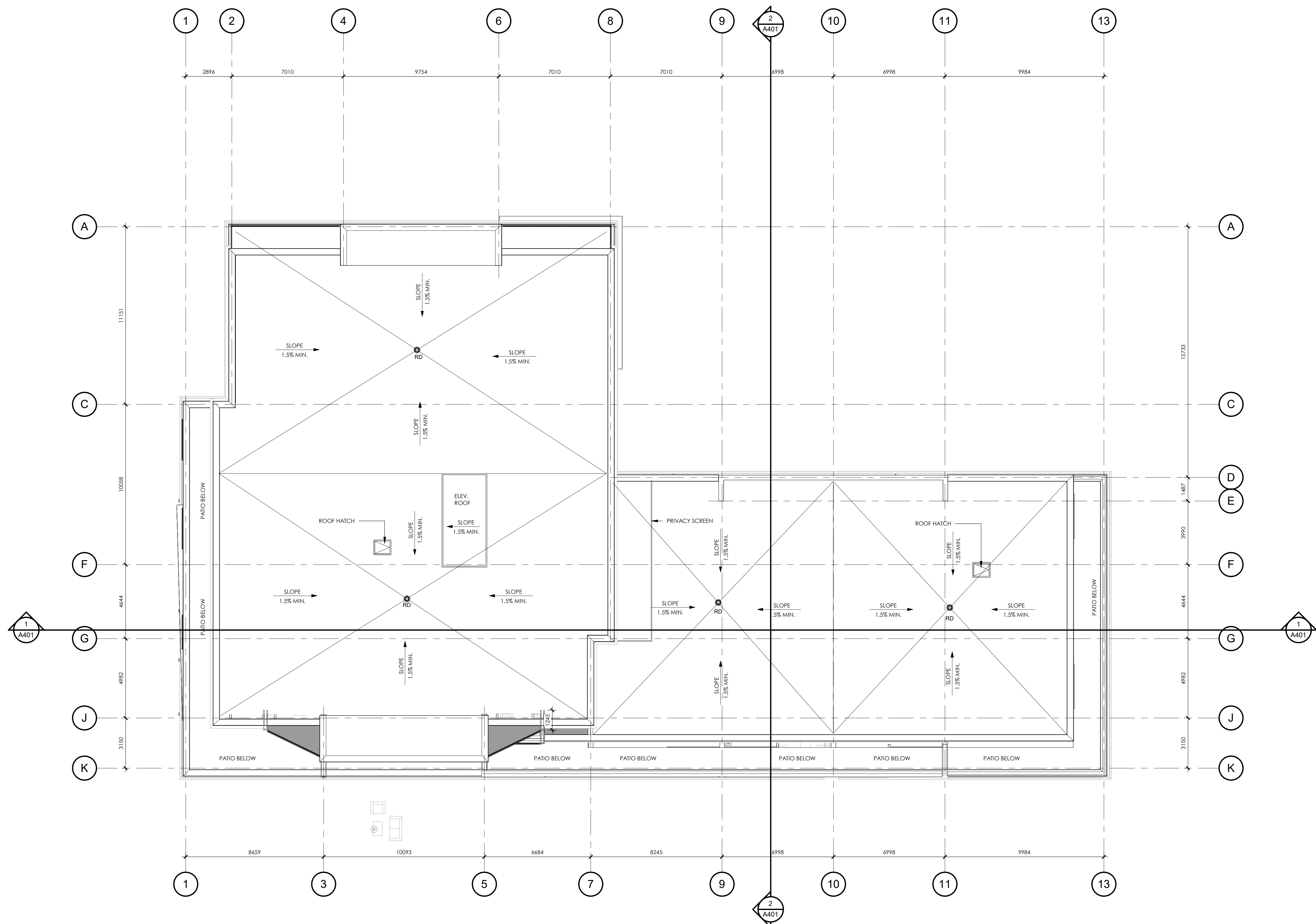
Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
EIGHT & NINE FLOOR PLAN (8th-9th)

Design By: MAI	Drawn By: TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A208 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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 Oakville Ontario
 L6H 0X7
 1.905.231.4444

Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
ROOF PLAN

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A209 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:

Project North:	True North:
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SPA FILE NO. -

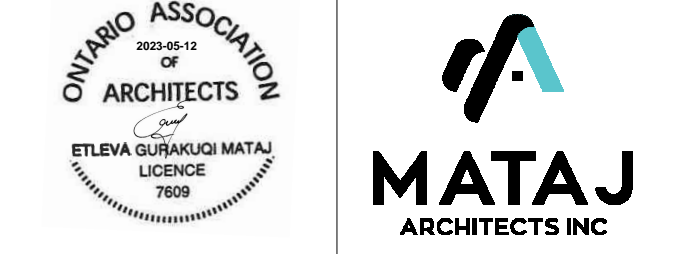
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

Note:
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Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
SOUTH (FRONT) ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

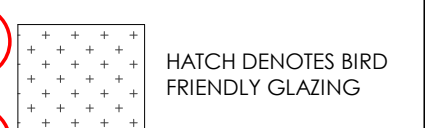
Drawing No:
A301 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

NOTES:
1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.

TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD		
TRANSPARENT GLAZING AREA	TOTAL WALL AREA OF NON-RESIDENTIAL USE	PERCENTAGE (50% MIN. REQUIRED)
115.69 SM	184.237 SM	63%



PROPERTY LINE

PROPERTY LINE

- T/O HIGH PARAPET 32250
- T/O MID PARAPET 31220
- T/O ROOF DECK 30000
- T/O NINTH FLOOR 26825
- T/O EIGHTH FLOOR 23850
- T/O SEVENTH FLOOR 20475
- T/O SIXTH FLOOR 17300
- T/O FIFTH FLOOR 14125
- T/O FOURTH FLOOR 10850
- T/O THIRD FLOOR 7675
- T/O SECOND FLOOR 4500
- T/O GROUND FLOOR 0

5000

3000

7797

5522

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.

HATCH DENOTES BIRD FRIENDLY GLAZING

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



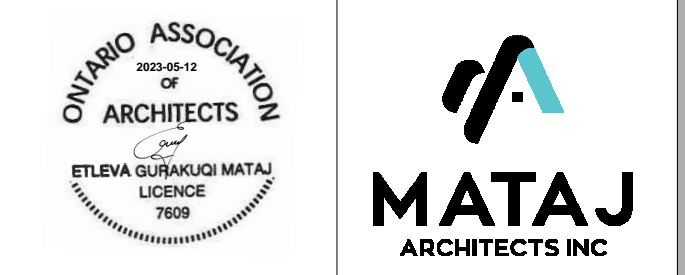
1 BLD 2 - NORTH ELEVATION (REAR)
 A303 1 : 125

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11

Drawing Issues/Revisions:

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 T.905.281.1444

Project:
WATERIDGE APARTMENT BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
NORTH ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A303 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



2 3D VIEW - SOUTH WEST
A305



1 3D VIEW - SOUTH EAST
A305

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 2

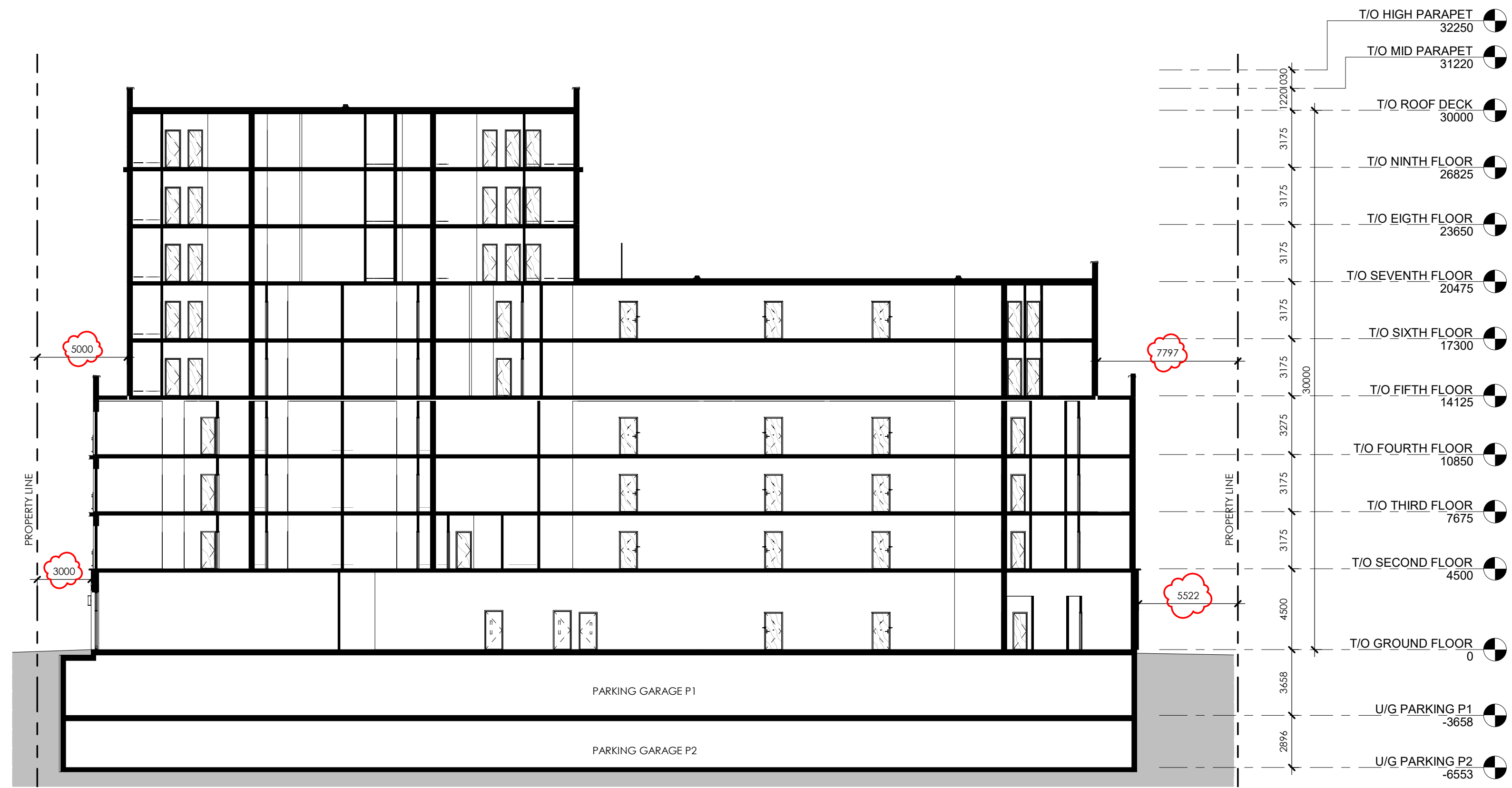
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS

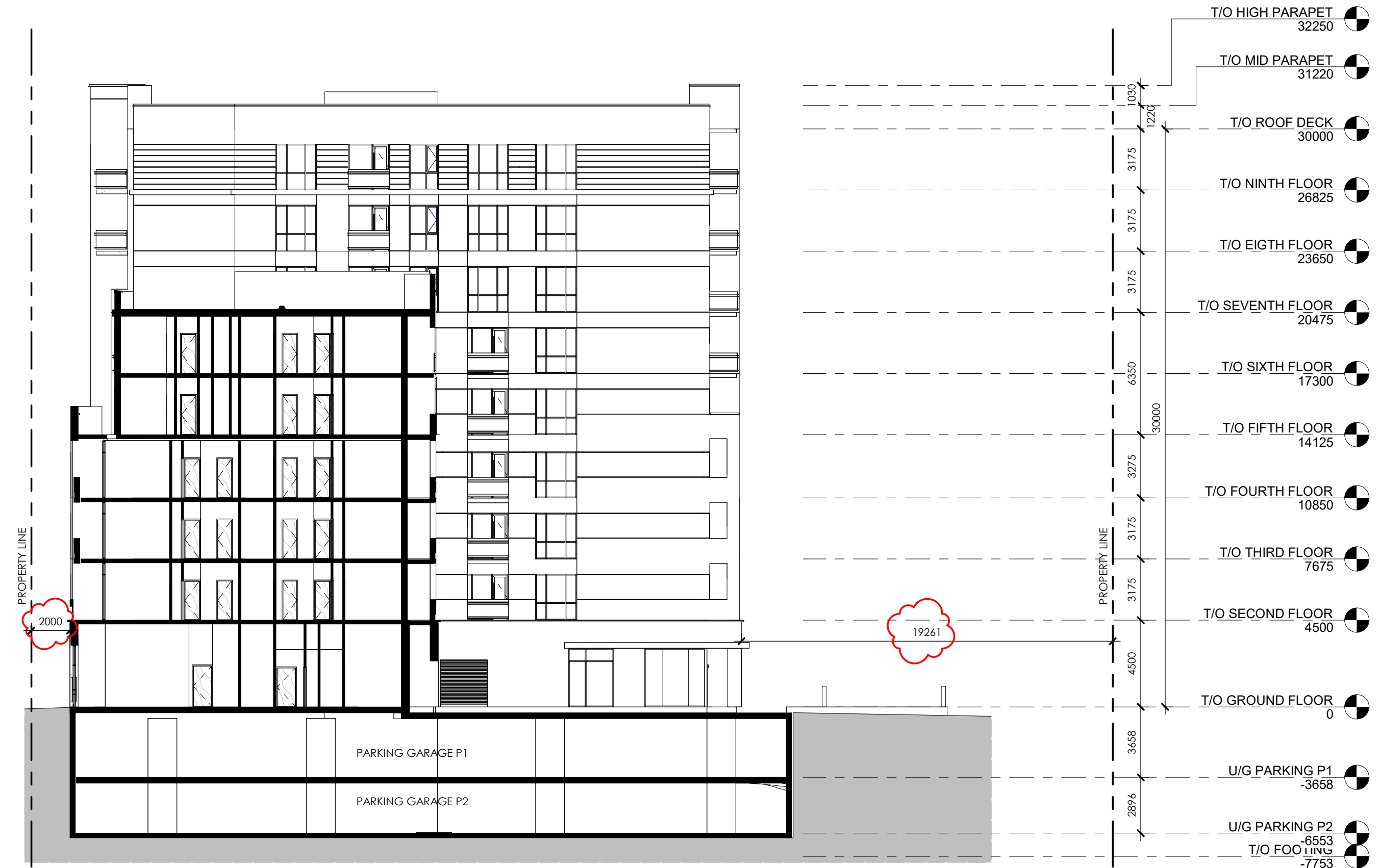
Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

Drawing No:
A305 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



1 BUILDING 2 SITE SECTION I
A401 1 : 200



2 BUILDING 2 SITE SECTION II
A401 1 : 200

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
BUILDING 2 - SITE SECTIONS

Design By: MAI	Drawn By: -	Approved By: EM
Scale: 1 : 200	Date: Issue Date	Project No.: 22-004

Drawing No:
A401 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

LIST OF DRAWINGS

COVER SHEET	
A000	COVER SHEET

ARCHITECTURAL	
ASP-1	SITE PLAN
ASP-2	SITE DETAILS
A003	SITE STATISTICS
A003A	GFA FLOOR PLANS 01
A003B	GFA FLOOR PLANS 02
A201	PARKING LEVEL P1
A203	GROUND FLOOR PLAN
A204	TYPICAL FLOOR (2nd-4th)
A205	FIFTH FLOOR PLAN (5th)
A206	SIXTH FLOOR PLAN (6th)
A207	ROOF LEVEL PLAN
A208	ROOF PLAN
A301	WEST ELEVATION (FRONT)
A302	EAST ELEVATION
A303	SOUTH ELEVATION
A304	NORTH ELEVATION
A305	3D VIEWS
A401	BUILDING SECTION I

WATERIDGE APARTMENT BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

ISSUED FOR SPA - 1ST REVIEW REPLY

CLIENT:

BAYVIEW GROUP
108 CHESTNUT ST
TORONTO, ON M5G 1R3
T: 416-597-6368



ARCHITECT:

MATAJ ARCHITECTS INC.
206-418 IROQUOIS SHORE RD
OAKVILLE, ON L6H 0X7
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CIVIL:

WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



LANDSCAPE:

WSP
1600 BOULEVARD RENE LEVESQUE WEST
11th FLOOR MONTREAL, QUEBEC H3H 1P9
T: 1.514.340.0046



ELECTRICAL

DESIGN WORKS ENGINEERING
826 KING ST. N., UNIT 15
WATERLOO, ON N2J 4G8
T: 1.780.814.5533



URBAN PLANNER

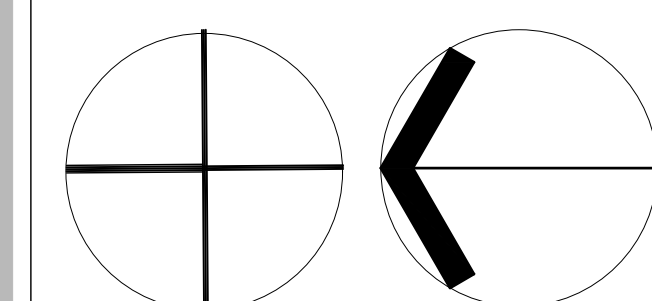
DEMARCO CONSTRUCTION
195 MENTEN PLACE, UNIT 103
OTTAWA, ON K2H 9C1
T: 1.613.829.2777



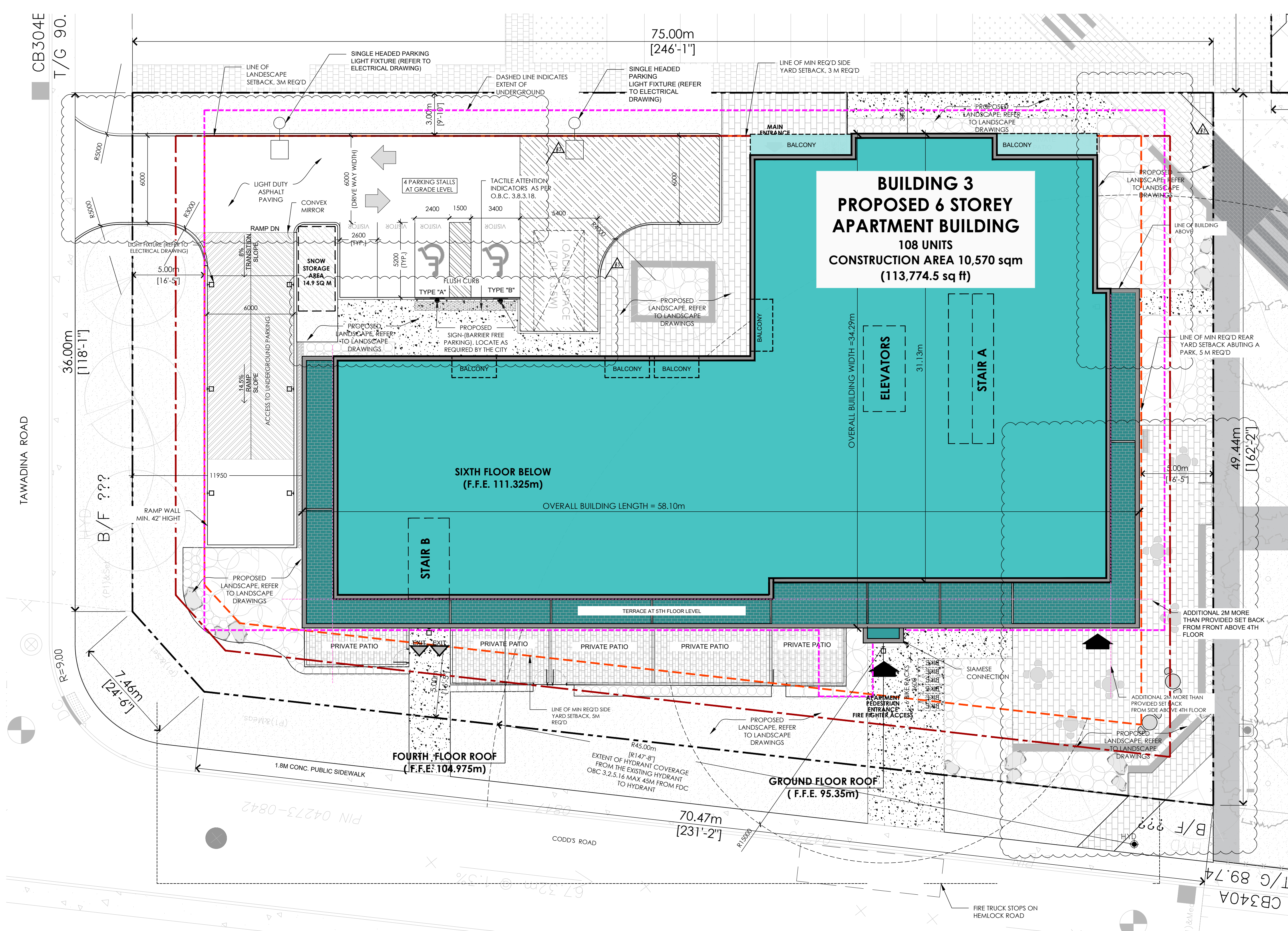
COVER SHEET



PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MANA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DESIGNER EMPLOYED INCLUDED IN THIS SET OF DRAWINGS.	TOP SURVEYORS INFO: CHANDAN LAND SURVEYORS INC. 1000 SHEPPARD AVE. EAST SUITE 200 MARKHAM, ONTARIO L3R 0Y4	1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS ARE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE TO BE SET OUT IN THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NON-HEAVY DUTY ASPHALT PAVING (REMANUER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FREE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49 REFER TO 204-2042	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REGISTRATION PLAN 441-181 CITY OF OTTAWA	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR'S OWNER.	2 ALL EXISTING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	6 ALL EXISTING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	PROPOSED GRADING REFER TO CIVIL DWGS		3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.	3 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWGS		4 ALL BARBER FREE ENTRANCES AND BARBER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8	4 ALL CONCRETE UNITS TO BE SCREENED ON THE EXTERIOR SIDE.	8 ALL CONCRETE UNITS TO BE SCREENED ON THE EXTERIOR SIDE.
EXISTING DOWN WALK	SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)			9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS						10 WHERE FEASIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	10 WHERE FEASIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:



No.	Date:	Issue/Revision	By:
3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
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 T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

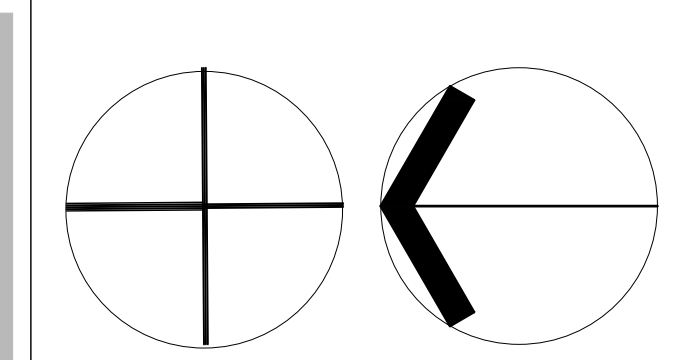
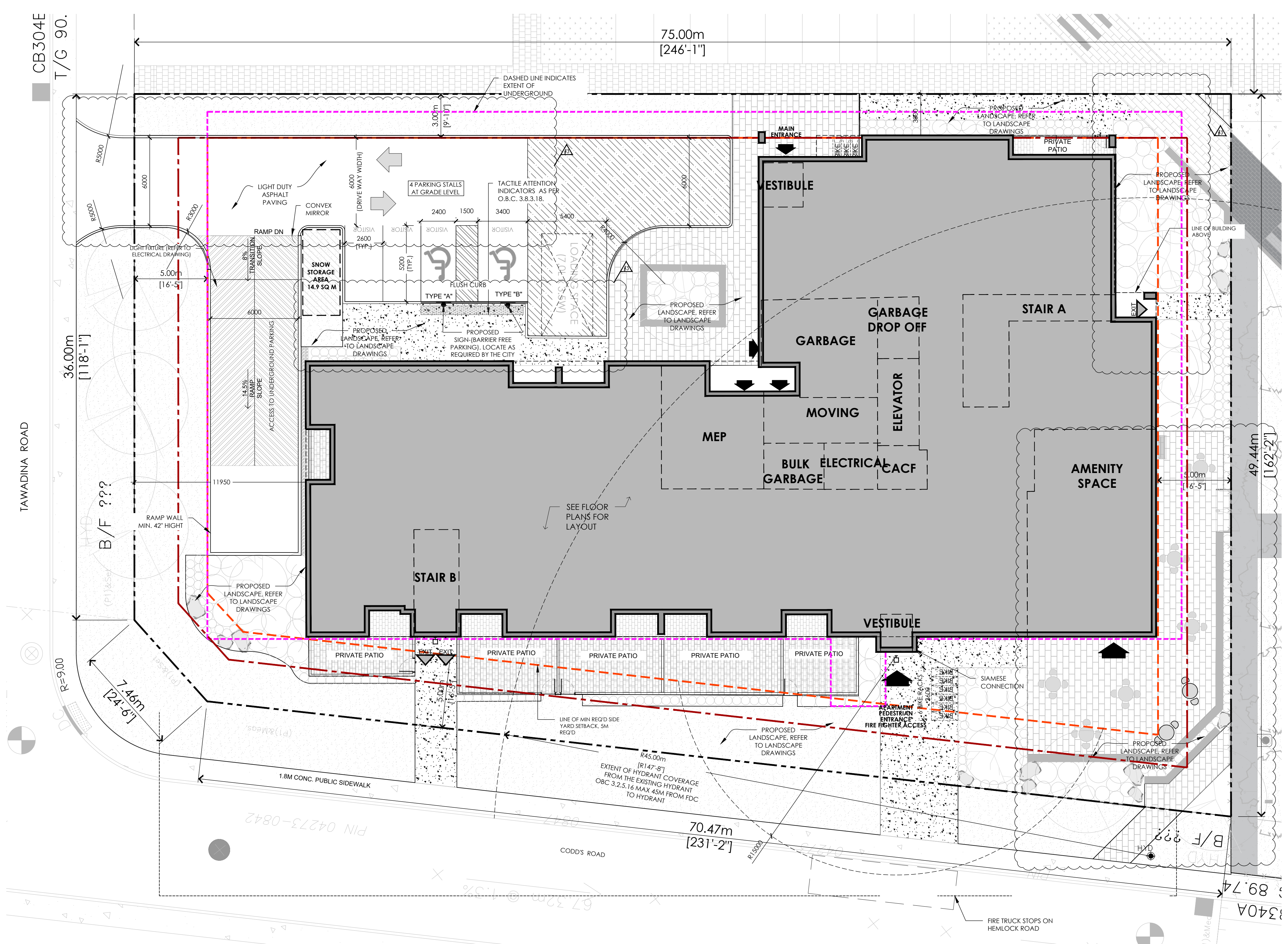
Sheet Title:
SITE PLAN - BLDG 3 ROOF LEVEL

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:150	22-06-29	22-004

Drawing No.: **ASP-7**

City's Application Number : D07-12-22-0122
 City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE MOST RECENT CONDUCTED SURVEY FOR THIS PROPERTY. MANUA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DOES NOT GUARANTEE THE ACCURACY OF THE DATA.	TOPIC SURVEYORS INFO CHANDRA LAND SURVEYERS NAME: CHANDRA VOLKMER LTD 14 CONCORDE GATE SUITE 200 MILLS RD, OAKVILLE ON L6M 4T4 TEL: 905.839.8888 EMAIL: info@clc-ot.com	1 ALL EXISTING DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NON-HEAVY DUTY ASPHALT PAVING (REMANUER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 2003-49Y REFER TO 2024 ZONING	PROPOSED GRADING REFER TO CIVIL DWGS	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWGS	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED TO THE SATISFACTION OF THE CONTRACTOR'S OWNER.	6 ALL EXTERIOR LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND ORIGINATED TO HANGAN ZERO CORNER LIGHT DISTRIBUTION AT THE PROPERTY LINE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	CONCRETE SIGN (REFER TO CIVIL DWGS)	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REGULATED PLAN 441-181 CITY OF OMAHA	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.	7 ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA				4 ALL BARRIERS FREE OF CHARGE AND BARRIERS FREE PARTS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LANDSCAPE FLOOR.
EXISTING DOWN WALKWAY	SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS							10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

3	23/05/11	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:
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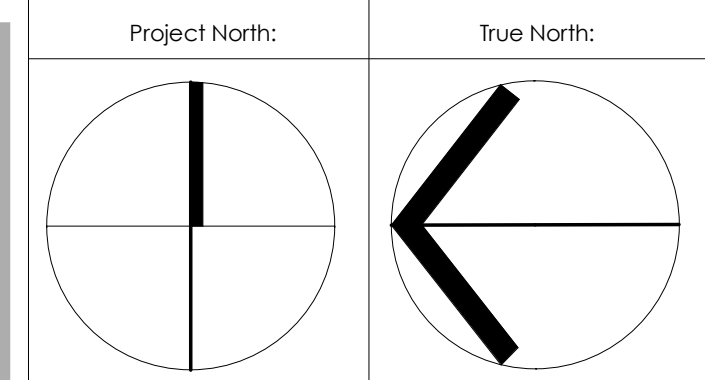
Project:
WATERIDGE APARTMENT BUILDING
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 3 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004
Drawing No.:		

ASP-8

City's Application Number : D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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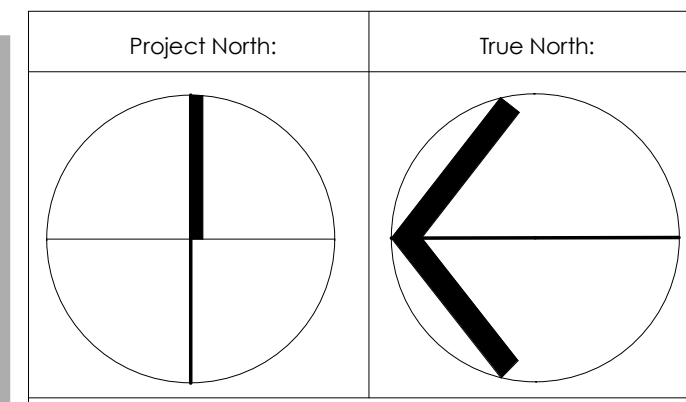
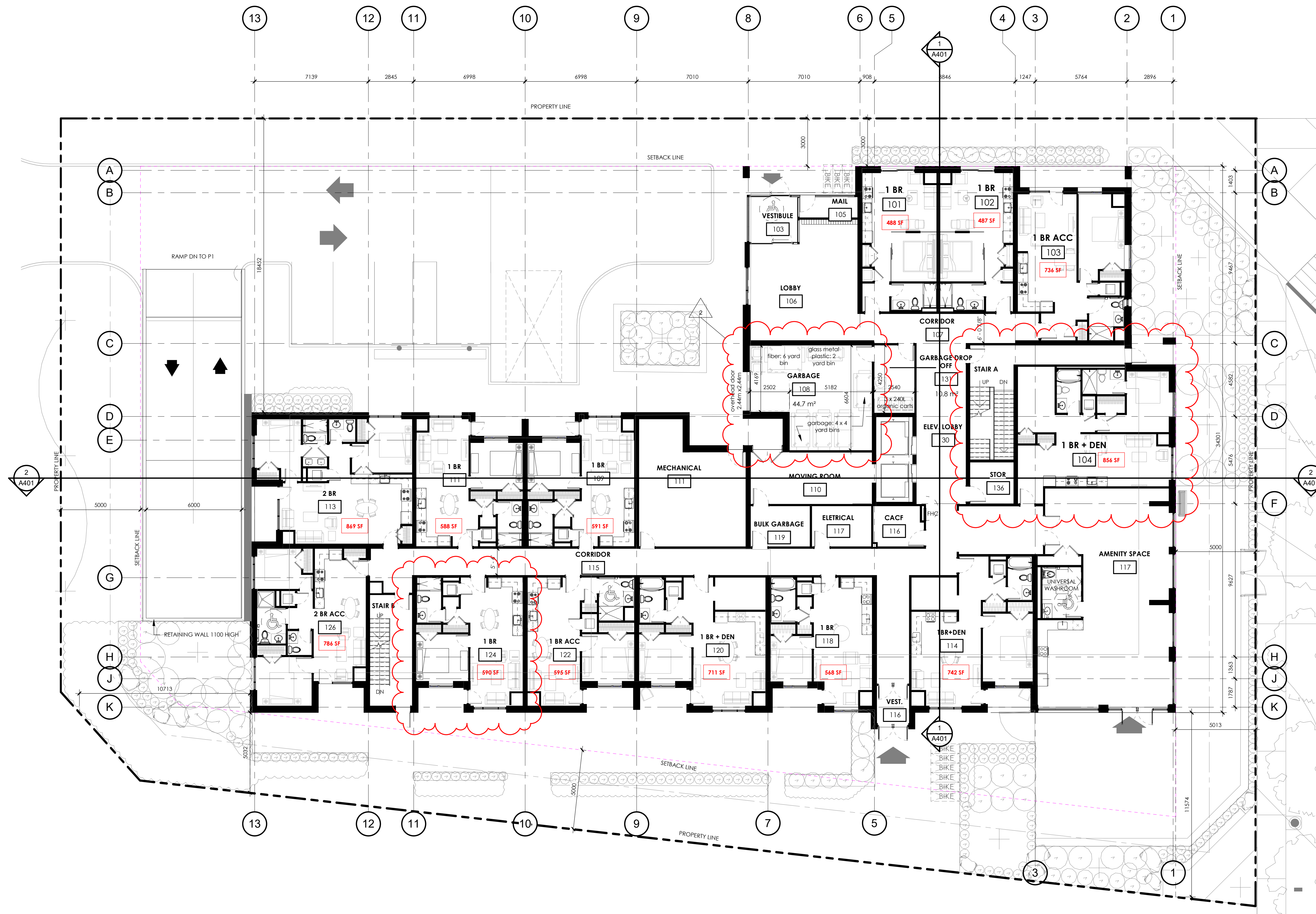
Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERIDGE VILLAGE,
 OTTAWA, ON

Sheet Title:
PARKING LEVEL P1

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A201 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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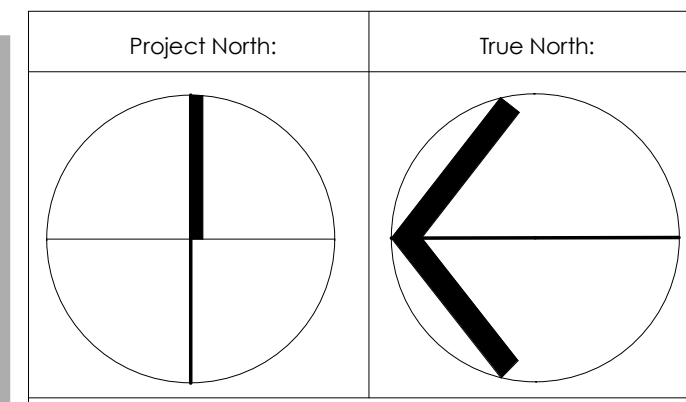
Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
GROUND FLOOR PLAN

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A203

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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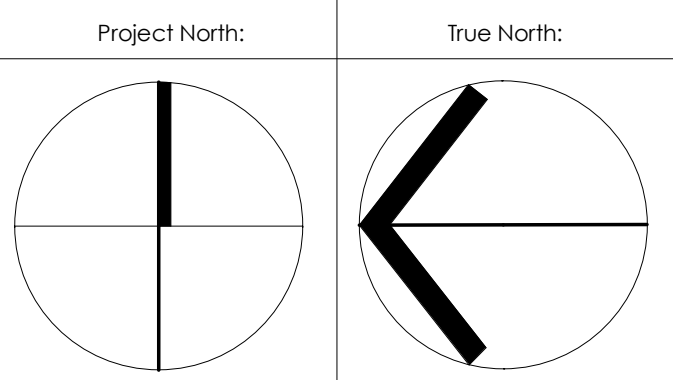
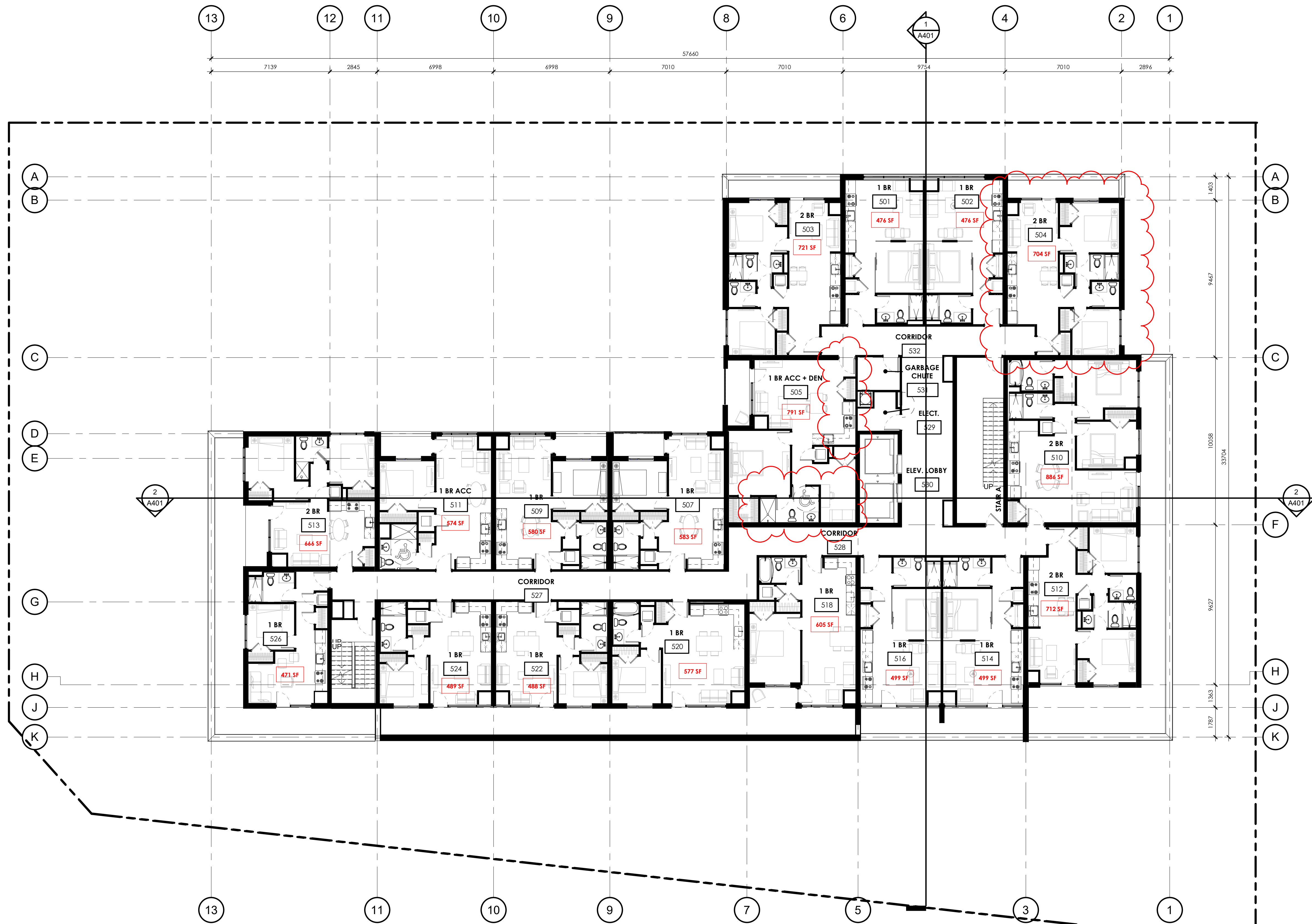
Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
TYPICAL FLOOR (2nd-4th)

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A204 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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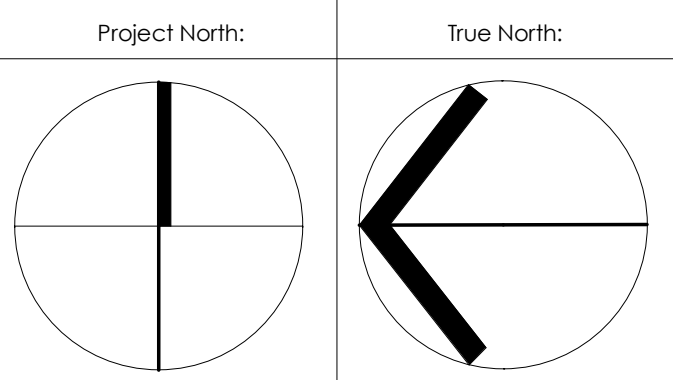
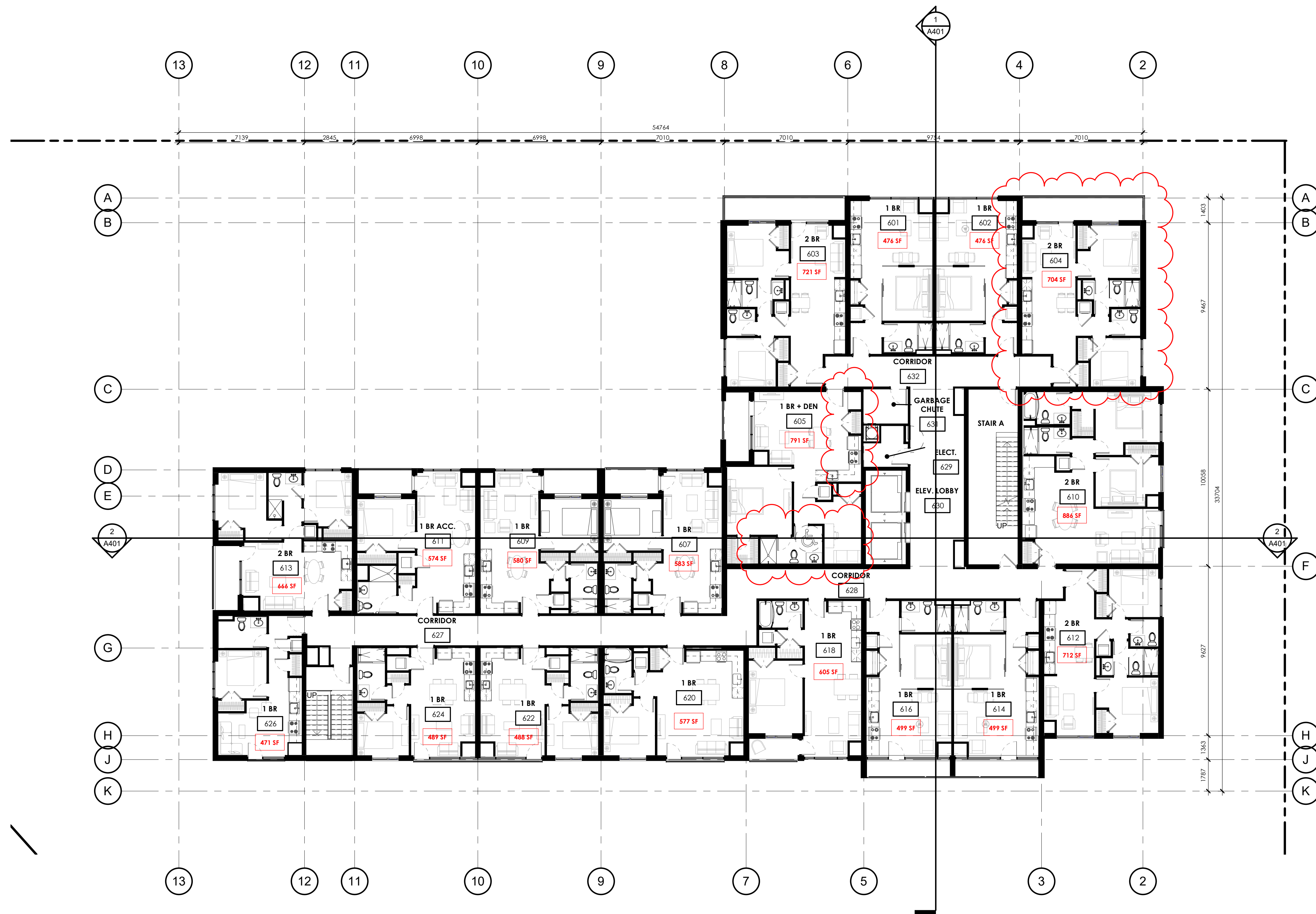
Project:
WATERIDGE APARTMENT BUILDING 3
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
FIFTH FLOOR PLAN (5th)

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.: **A205** Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



SPA FILE NO. -

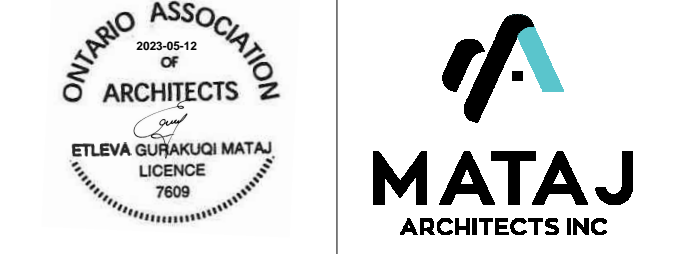
REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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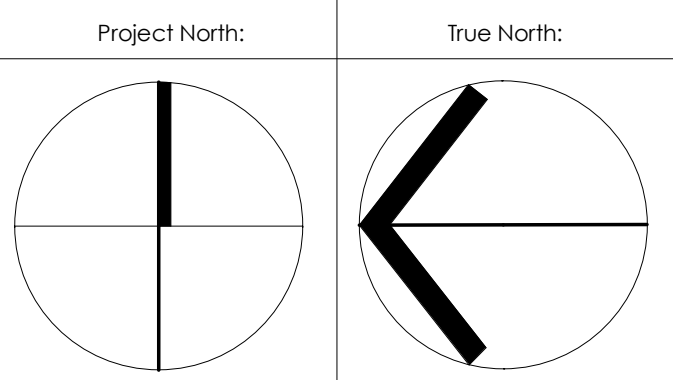
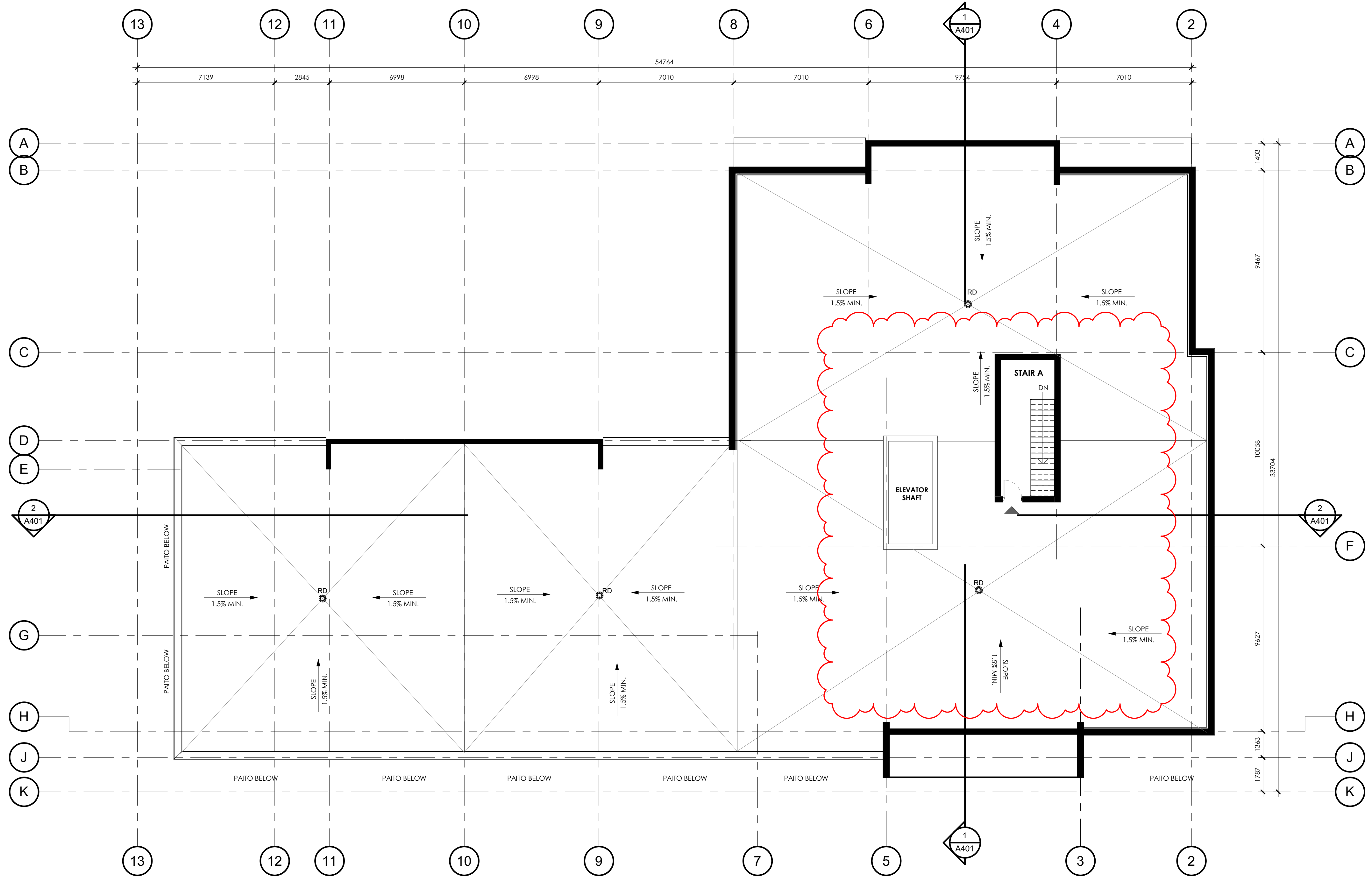
Project:
WATERIDGE APARTMENT BUILDING 3
375 CODD'S RD, WATERIDGE VILLAGE,
OTTAWA, ON

Sheet Title:
SIXTH FLOOR PLAN (6th)

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A206 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



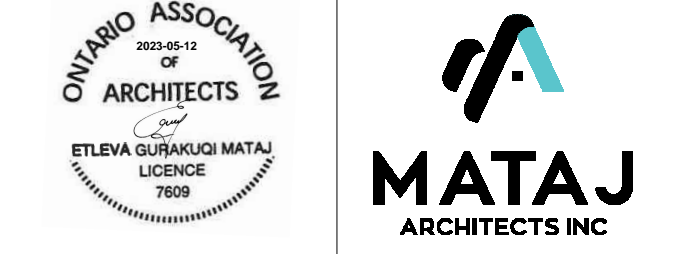
SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
ROOF LEVEL PLAN

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A207 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:

- NOTES:
- 1 - CM/BUILDER SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE, BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECTS & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.
 - 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.
 - 3 - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (MS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
WEST ELEVATION (FRONT)

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.: **A301** Of: _____

City's Application Number: D07-12-22-0122
 City's Plan Number:



1 BLD 3 - WEST ELEVATION (FRONT)
 A301 1 : 125

NOTES:

- 1 - CM/BUILDER SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE. BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECT'S & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.
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- 3 - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

Note:
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Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
EAST ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.:
A302 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



1 BLD 3 - EAST ELEVATION
 A302 1 : 125



1 BLD 3 - SOUTH ELEVATION
A303 1 : 125

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

Note:
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Architect's Stamp
MATAJ ARCHITECTS INCORPORATED
206-418 Incoquit Shore Rd
Oakville Ontario
L6H 0X7
1.905.281.1444

Project:
WATERIDGE APARTMENT BUILDING 3
375 CODD'S RD, WATERIDGE VILLAGE,
OTTAWA, ON

Sheet Title:
SOUTH ELEVATION

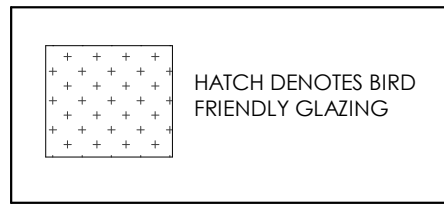
Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A303 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

NOTES:

- 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
- 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.



EXTERIOR ELEVATION LEGEND	
E01	EFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EFS - GREY
E03	EFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

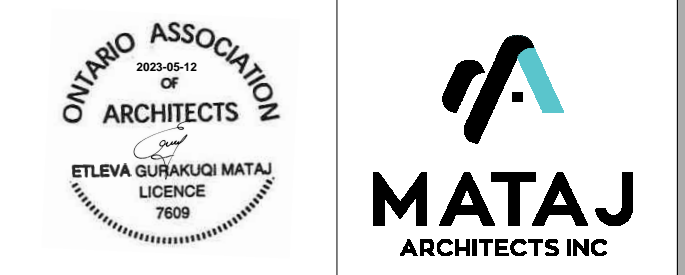


Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 3
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
NORTH ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No.:
A304 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



1 3D VIEW - SOUTH WEST
A305



2 3D VIEW - SOUTH EAST
A305



3 3D VIEW - NORTH EAST
A305

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
WATERIDGE APARTMENT BUILDING 3
375 CODD'S RD, WATERDIGE VILLAGE,
OTTAWA, ON

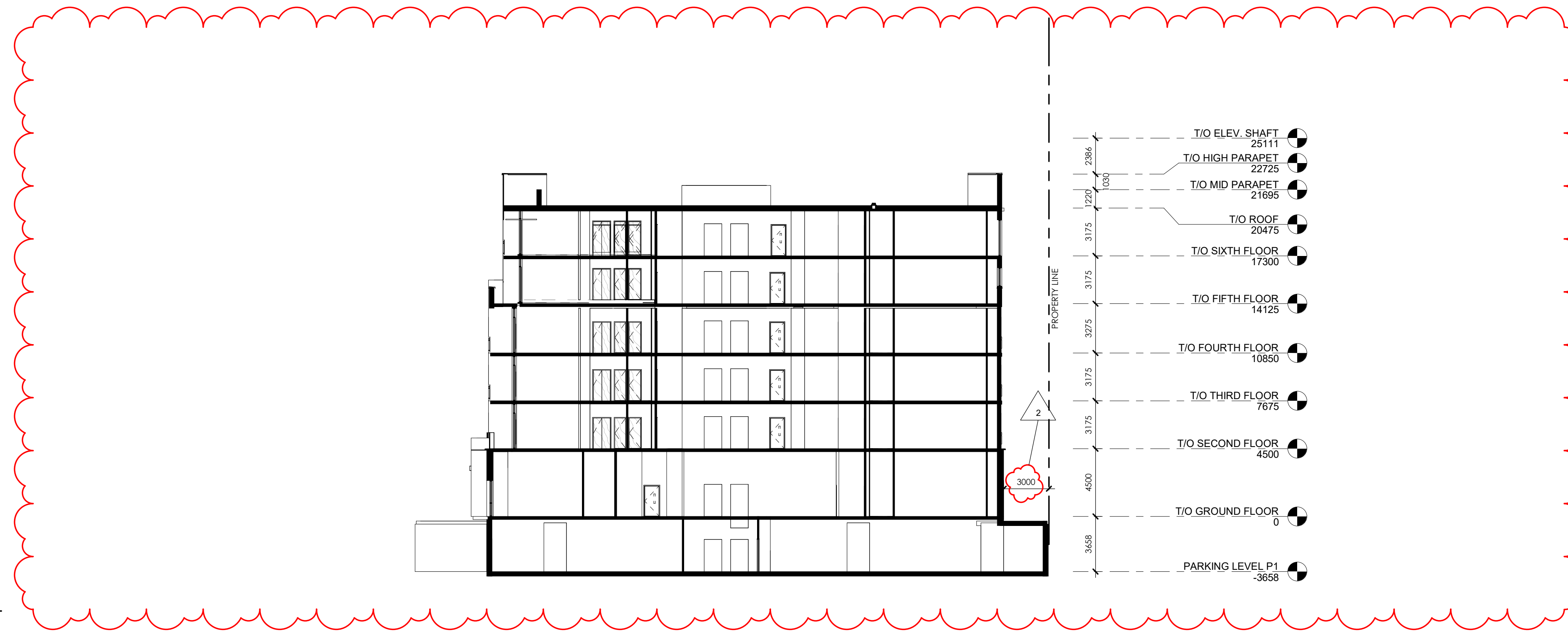
Sheet Title:
3D VIEWS

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

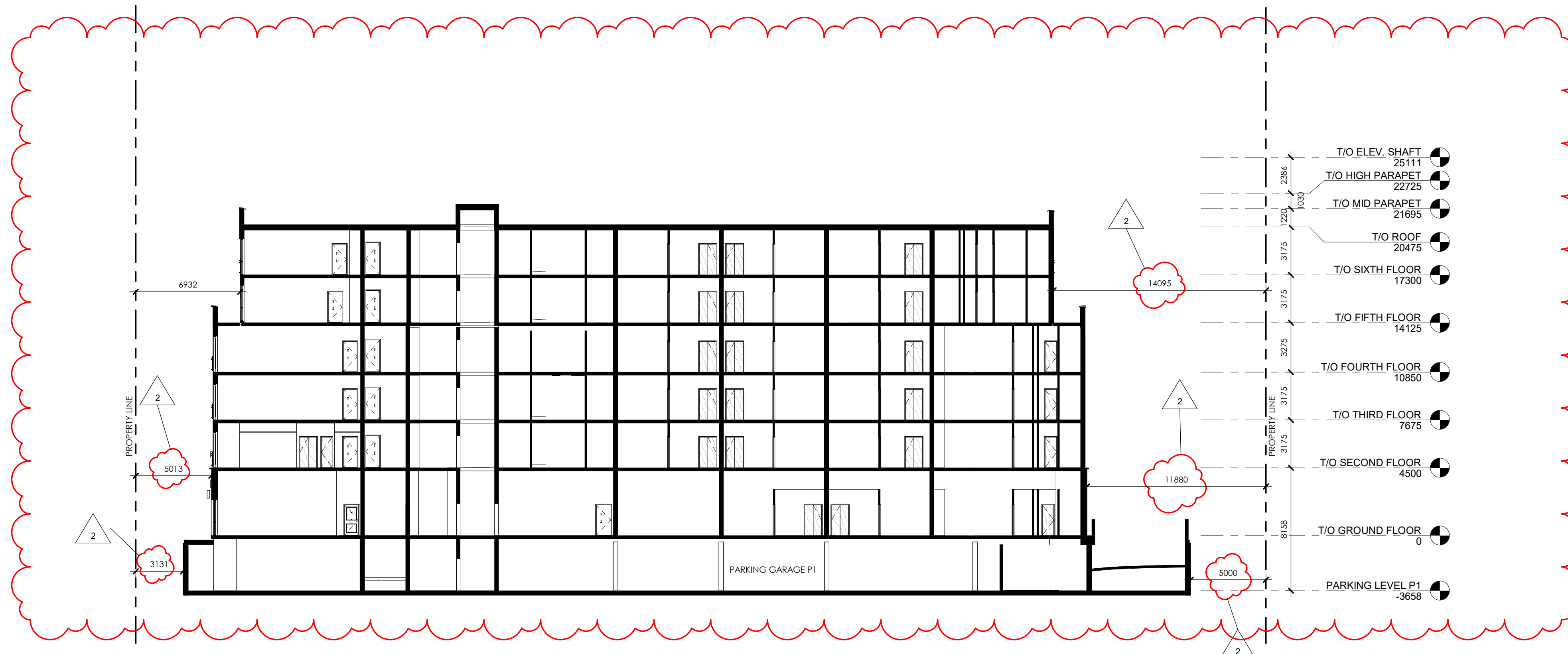
Drawing No.:
A305 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

1 BUILDING 3 SITE SECTION I
A401 1 : 200



2 BUILDING 3 SITE SECTION II
A401 1 : 200



Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2023/05/11
1	ISSUED FOR CLC - Reply	2022/06/30


Drawing Issues/Revisions:

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2023-06-12
OF
ARCHITECTS
ETIYEN GURAKUOJ MATAJ
LICENSE
7809



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ARCHITECTS INC

Architect's Stamp

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Project:
WATERIDGE APARTMENT BUILDING 3
375 CODD'S RD, WATERIDGE VILLAGE,
OTTAWA, ON

Sheet Title:
BUILDING SECTION I

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 200	Date: Issue Date	Project No.: 22-004

Drawing No:
A401 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

