

**" AVIATION PARKWAY "**  
**EAST HALF OF LOT 25**  
 PIN 04269-0787 PART 1 PLAN 5R-252

**ELEVATION NOTES**

1. Elevations shown are geodetic and are referred to the CGVD25 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**UTILITY NOTES**

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet No. C-21-11 (Revision date September 2015).
4. Sanitary and storm sewer grades and inverts were derived from City of Ottawa Plan Reference 2623 (Sheet 4 of 12) (Revision 2, dated May 6, 1996).
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

**SURVEYOR'S REAL PROPERTY REPORT**

**PART 1** Plan of  
**PART OF THE WEST HALF OF LOT 25**  
**CONCESSION 1 (OTTAWA FRONT)**  
**Geographic Township of Gloucester**  
**CITY OF OTTAWA**  
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Plan Amended on April 26, 2022 to Add Underground Services.  
 Plan Amended on June 29, 2022 to Show Asphalt Driveway Extent.

Scale 1 : 250

**Metric**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

- I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveys Act and the regulations made under them.
  2. The survey was completed on the 2nd day of March, 2022.

March 18, 2022  
 Date  
  
 E. H. Herveyer  
 Ontario Land Surveyor

**PART 2**  
 THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: March 18, 2022

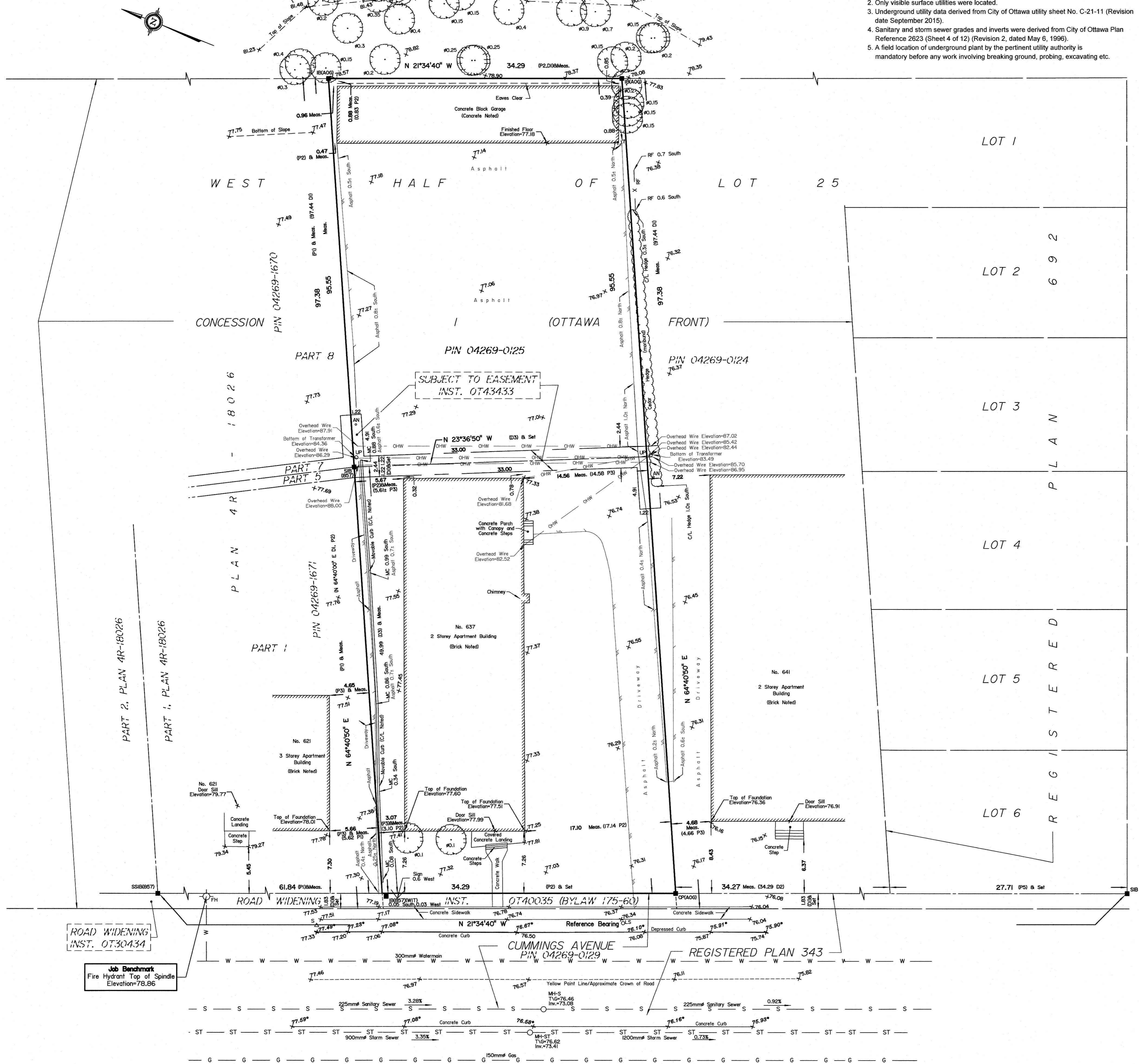
ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to Manor Park Management Inc. (The Client), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

**Notes & Legend**

Denotes	
	Survey Monument Planted
	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
Meas.	Measured
(WIT)	Witness
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Plan 4R-18026
(P2)	(1287) Plan July 10, 1986
(P3)	(647) Plan February 17, 1960
(P4)	(AOG) Plan January 23, 1992
(P5)	Registered Plan 692
(D1)	Inst. N347843
(D2)	Inst. NS32404
(D3)	Inst. OT43433
MC	Movable Curb
	Maintenance Hole (Sanitary)
	Overhead Wires
	Underground Storm Sewer
	Underground Sanitary Sewer
	Underground Water
	Underground Gas
	Utility Pole
	Anchor
	Light Standard
	Fire Hydrant
	Top of Grate
	Diameter
	Location of Elevations
	Top of Concrete Curb Elevation
	Centreline
	Deciduous Tree
	Rail Fence

Bearings are astronomic, derived from the easterly limit of Cummings Avenue, shown to be N 21°34'40" W on Plan 4R-18026.

For bearing comparisons, a rotation of 0°40'10" counter-clockwise was applied to bearings on (P2), (D1) and (D3).



ROAD WIDENING  
 INST. OT30434

Job Benchmark  
 Fire Hydrant Top of Spindle  
 Elevation=78.86

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**V-22629**  
  
 THIS PLAN IS NOT VALID UNLESS  
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 COPY ISSUED BY THE SURVEYOR  
 In accordance with  
 Regulation 1028, Section 29 (3).