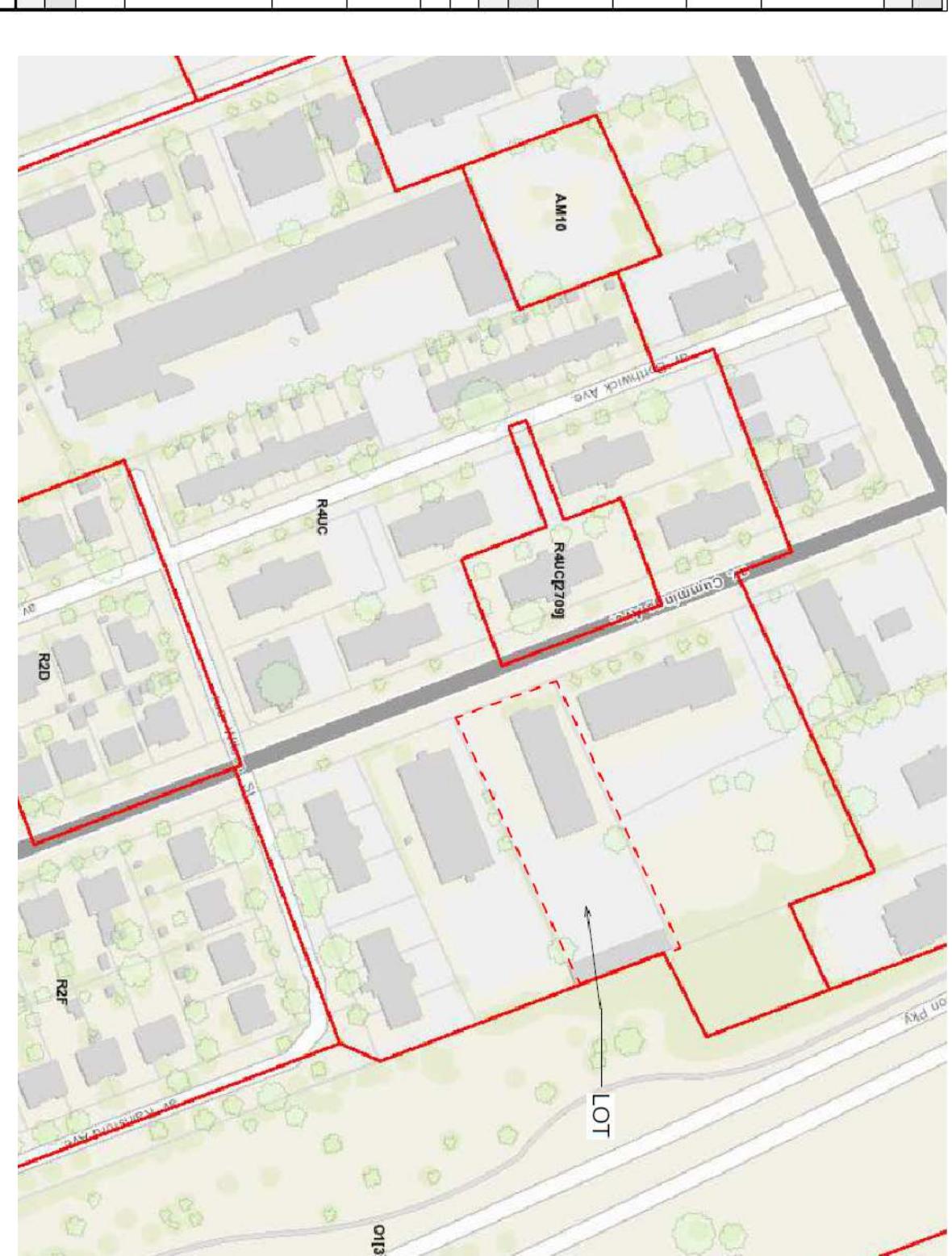


PIN 04269-0124

Section 161: Residential Fourth Density Subzone UC – R4-UC						
Section 161 (Subsection)	Requirement	Provided	Compliance			
(8) for lots > 450 m ²	30% of lot area to be landscaped Lot area = 3268 m ² 30% = 980 m ²	Provided = 990 m ²	Yes			
(15) (b) (iii) for lots > 450 m ²	50% of rear yard to be soft landscaped	97%	Yes			
(15) (d) where front yard setback > 3 m	40% of front yard to be soft landscaped where lot width > 12 m	68.7%	Yes			
(16) (b) for lots > 450 m ²	Minimum 25% of units to be 2 bedroom rise apartment >9 units:	Total units = 29, Total 2 bed units = 22 or 76%	Yes			
Table 162A – Subzone UC – Planned Unit Development						
Table 162A Standards	Requirement	Provided	Compliance			
Minimum lot width	N/A	34.29 m	Yes			
Minimum lot area	1400 m ²	3268 m ²	Yes			
Maximum height	As per dwelling type – low-rise apartment >9 units:	10.45 m	Yes			
Minimum front yard	4.5 m	7.26 m (existing) With 2 m required widening = 5.3 m	Yes			
Minimum rear yard where front yard setback > 4.5 m (Table 144 B (b) and Table 162A - Endnote 4)	For low-rise buildings with > 9 units - 25% of the lot depth which must comprise at least 25% of the area of the lot, and need not exceed 7.5 m	6 m	Not compliant Minor variance required			
Minimum interior side yard	Subsection (b): 7.5 m	South lot line: 1.8 m North lot line: 1.7 m	Not compliant Minor variance required			
Table 162B Endnote 1						
Table 131 – Provisions for Planned Unit Development						
Table 131 Standards	Requirement	Provided	Compliance			
(1) Minimum lot width	N/A	34.29 m	Yes			
(2) Minimum setback for any wall of a residential use building to a private way	1.8 m	1.8 m	Yes			
(4) Minimum separation area between buildings within a planned unit development	(a) where the height of abutting buildings within the PUD is less than or equal to 14.5 m = 1.2 m	Building height is 10.45 m: Distance between buildings: 22.5 m	Yes			
Table 137 (3) Low-rise apartment dwelling						
(1) Minimum % aggregated soft landscaped area	6 m ² per dwelling unit = 29 units x 6 = 174 m ² aggregated into areas up to 54 m ² – 50% of total for community area	Total area provided = Interior Amenity = 56 m ² Balconies = 39 m ² Ext. amenity = 394 m ² Total = 489 m ²	Yes			
Section 137 – Amenity Area						
Table 139 (Subsection)						
Section 101 - Resident	Requirement	Provided	Compliance			
(3) In Area X and Table 101 Row 11	Total Units – 19 existing + 29 new units = 48 0 spaces for first 12 units - .5 spaces for 36 (balance) = 18 spaces	Front yard > 3 m with lot width > 12 m = 40% 76 %	Lot width > 12 m	Yes		
(4) A walkway located in a front yard or corner side yard is permitted subject to the following:	(b) Where a walkway extends from the right-of-way, it must be separated from any driveway by at least 0.6m of soft landscaping.	0.60 m	Yes			
(c) (i) The width of a walkway serving a low-rise apartment building may not exceed: 1.8 m	1.8 m		Yes			
Parking, Queueing and Loading Provisions						
Section 102 - Visitor	Requirement	Provided	Compliance			
(2) in Area X and Table 102 Low-rise Apartment	Total Units – 19 existing + 29 new units = 48 0 spaces for first 12 units - .1 spaces for 36 (balance) = 3.6 or 4 spaces	18 spaces 4 spaces	Yes			
Section 107 - Aisle and Driveway Provisions						
(1) (a) A driveway providing access to a parking lot or parking garage must have a minimum width of;	Requirement	Provided	Compliance			
Section 110 - Landscaping provisions for parking lots	For two way traffic – 6 m	6 m	Yes			
Table 110 (b) lot containing > 10 and < 100 spaces	Minimum width - 1.5 m	1.03 m	Not compliant Minor variance required	Required		
Section 111 - Bicycle Parking Space Rates and Provisions	Requirement	Provided	Compliance			
Table 111A (b) (i)	.5 per unit; 48 X .5 = 24 spaces	32 spaces	Yes			



SP01 2
N.T.S. ZONING PLAN

ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART 1, PLAN OF THE WEST HALF OF LOT 25 CONCESSION 1 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. PLAN AMENDED ON APRIL 26, 2022 TO ADD UNDERGROUND SERVICES, PLAN AMENDED ON JUNE 29 , 2022 TO SHOW ASPHALT DRIVEWAY EXTENT.

DO NOT SCALE DRAWINGS.
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CONSTRUCTION UNTIL SIGNED BY THE
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JAWAN PROPERTIES INC.

200 SKIPPER DRIVE, MANOTICK
ON K4M 0M5

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PROJECT

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS
ON SITE AND TO REPORT ALL ERRORS AND/OR
OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL
CODES AND BYLAWS AND OTHER AUTHORITIES
HAVING JURISDICTION OVER THE WORK