

LEGEND:

- MANHOLE REFER TO CIVIL
- NEW MANHOLE/PIERS
- NEW CONCRETE
- NEW PAINTED LINES
- NEW SOO
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT REFER TO CIVIL
- CATCH BASIN REFER TO CIVIL
- BUILDING ENTRANCE
- BICYCLE RACK
- DIRECTIONAL ARROW
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- PROPOSED ROAD WORKING
- PROPERTY LINE
- EXISTING CITY LIGHT STANDARDS
- NEW LIGHT STANDARDS
- FIRE ROUTE SIGN
- STOP SIGN
- CENTRAL LINE
- EXISTING TREES TO BE RETAINED
- PROPOSED TREE

REGISTERED PLAN 343
SCALE 1:150
METERS

LEVEL	UNIT	SQ FT		SQ M		TYPE			TOTAL UNITS BY LEVEL
		G.B.A	G.F.A	G.B.A	G.F.A	1 BEDROOM	STUDIO/BF	2 BEDROOM	
MECHANICAL LEVEL	MECH. 1	376	547	35	51				1
	2		544		32				1
	3		344		32				1
	4	4564	682	461	63				1
	5		554		51				1
	6		554		51				1
	7		393	393		33			1
MAIN LEVEL	101		569		52				1
	102		563		52				1
	103		351		33				1
	104	5375	699	499	65				1
	105		699		64				1
	106		615		57				1
	107		574		53				1
	201		569		52				1
	202		563		52				1
	203		351		33				1
204	5419	699	503	65				1	
205		614		57				1	
206		561		52				1	
207		632		59				1	
208		399	399		37			1	
301		569		52				1	
302		563		52				1	
303		351		33				1	
304	5419	699	503	65				1	
305		614		57				1	
306		561		52				1	
307		632		59				1	
308		399	399		37			1	
TOTAL		21 533	15 773	2 002	1 465	1 429	3	18	4

SECTION 151 - Residential Fourth Density Subarea - 4th-6th

Section 151 (Subsection) Requirement Provided Compliance

(a) for lots > 4500 m² Lot area = 3238 m² 50% = 1619 m² Provided = 1690 m² Yes

(b) for lots > 4500 m² 50% = 1619 m² Provided = 1690 m² Yes

(c) for lots for lots > 4500 m² 50% of rear yard to be soft landscaped 97% Yes

(d) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(e) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(f) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(g) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(h) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(i) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(j) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(k) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

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(q) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(r) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(s) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

(t) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

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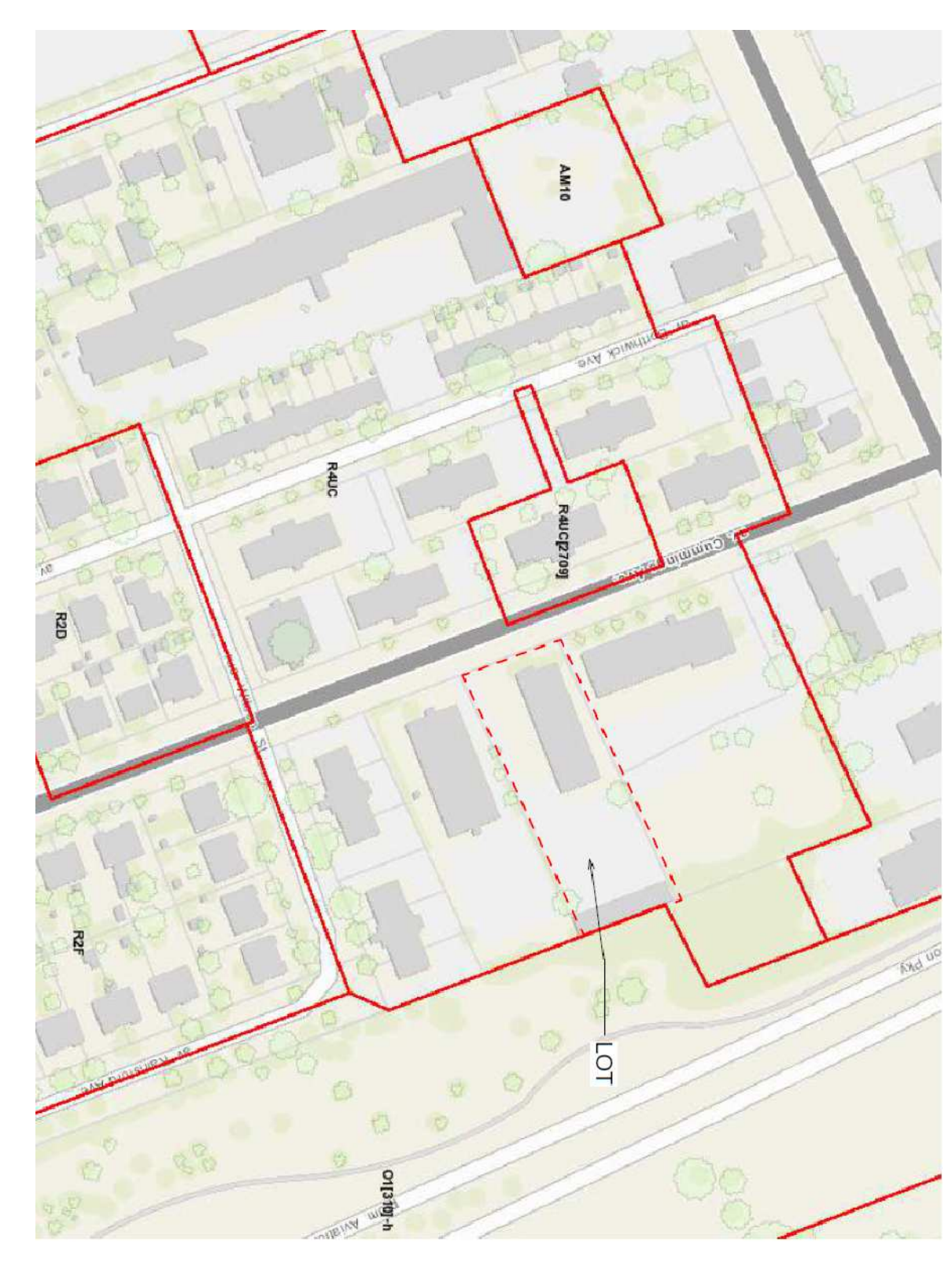
(v) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes

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(z) for lots for lots > 4500 m² 50% of front yard to be soft landscaped where lot width > 12 m 68.7% Yes



SECTION 152 - Residential Fourth Density Subarea - 4th-6th

Section 152 (Subsection) Requirement Provided Compliance

(a) for lots > 4500 m² Lot area = 3238 m² 50% = 1619 m² Provided = 1690 m² Yes

(b) for lots > 4500 m² 50% = 1619 m² Provided = 1690 m² Yes

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637 CUMMINGS AVE. OTTAWA

SITE PLAN

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
DO NOT SCALE DRAWINGS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.
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