



1 LOCATION PLAN
A010 N.T.S.

LEGAL DESCRIPTION:
 PARCELS WW-8 AND WW-11 ON SEC 4M-152
 PART OF BLOCK WW ON REGISTERED PLAN 4M-152
 PARTS 1 AND 3 ON PLAN 4R-8609, FORMER CITY OF GLOUCESTER, NOW IN CITY OF OTTAWA
 AS PREPARED BY STANTEC GEOMATICS LTD., 29 MARCH 2022

Project Zoning Review/Statistics

Municipality: City of Ottawa
Municipal Address: 1400-1410 Youville Drive
Registered Owner: Jim Keay
Lot Area: 9,188 sq.m. (98,894 sq.ft. (2.27 acres))
Zoning By-law: 2008-250
Zone: B (IL2[XXXX] H(14) - Light Industrial
Proposed Use: Automobile Body Shop & Automobile Service Station

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Proposed Development		
Ground Floor, Offices	291	3,130
Ground Floor, Body & Service Shop	1,596	17,177
Ground Floor, Parts	228	2,457
Total	2,115	22,764

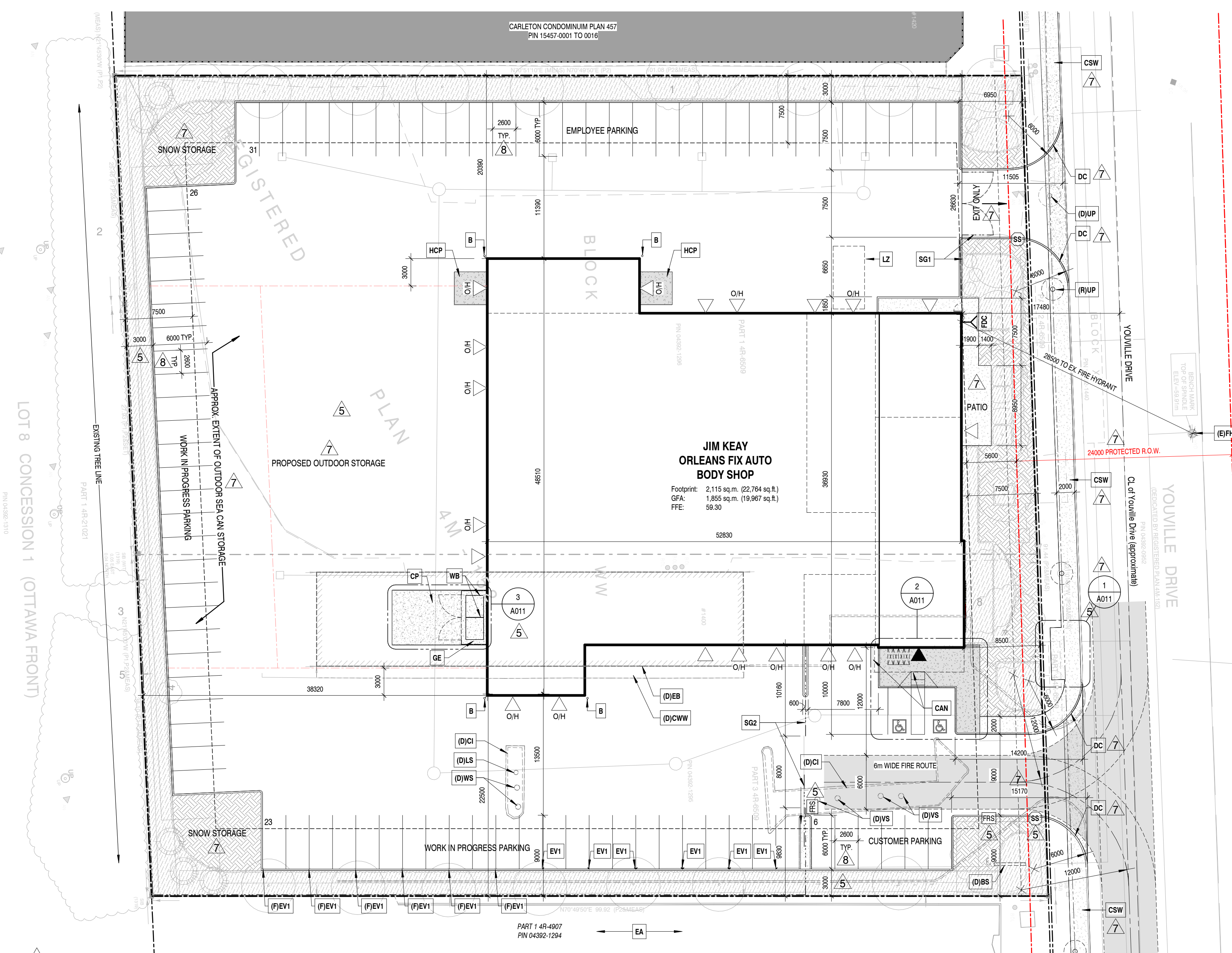
Development Standards

	Required	Provided
Minimum Lot Area	2,000 sq.m.	9,188 sq.m.
Minimum Lot Width	No min.	91.3m
Minimum Required Yard		
Front Yard (min.)	7.5m	7.5m
Interior Side Yard (min.)	7.5m	20.39m
Rear Yard (min.)	7.5m	38.32m
Maximum Building Height	14m	8.01m
Maximum Lot Coverage	65%	22%
Maximum Floor Space Index	2	±0.2
Minimum Width of Landscaped Area		
Abutting a street	3m	6.95m
All other cases	No min.	3m

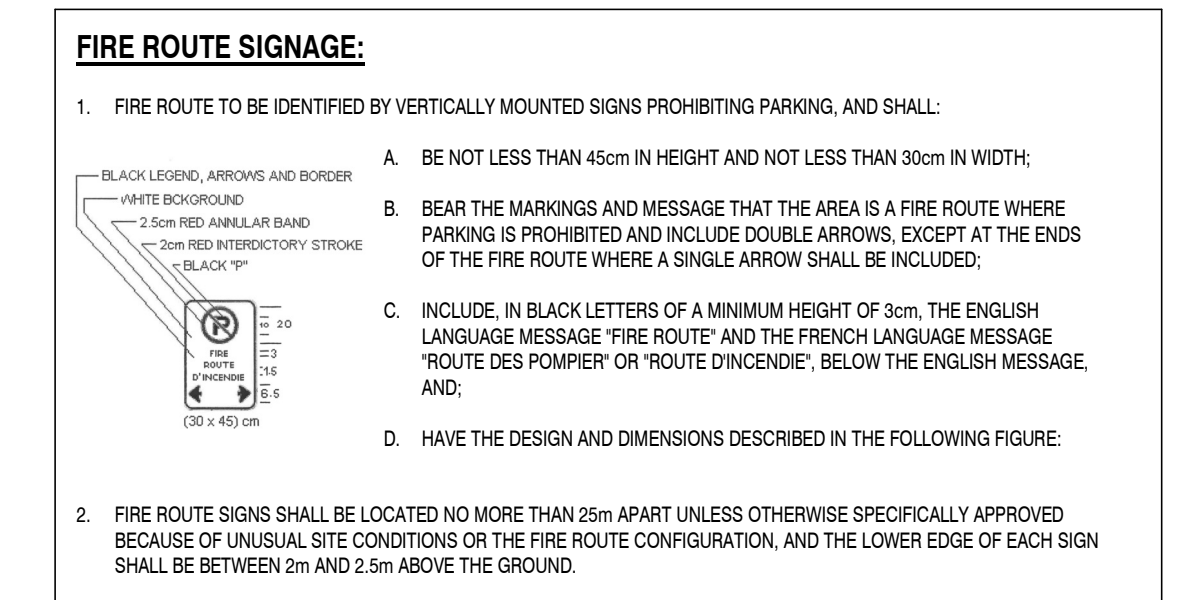
Parking, Loading, Queuing

Existing Parking
 Parking Spaces (Minimum 2.6m x 5.2m)

Category	Required	Provided
Offices (2.4 spaces / 100 sq.m.)	7	30
Body Shop & Service Station (3 spaces per Service Bay @ 13 Service Bays)	39	56
Accessible Parking Section 111 of By-law 2017-301	2	2
Loading Spaces (3.5m x 9m)	1	1
Bicycle Parking (Offices: 1 space / 250 sq.m.; All other: 1 space / 1,500 sq.m.)	2	4



2 SITE PLAN
A010 1:300
 GENERAL NOTES:
 1. ALL ARCHITECTURAL SITE PLAN DRAWINGS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE, CIVIL AND ELECTRICAL SITE PLAN DRAWINGS.



SITE PLAN SYMBOLS

ICON	DESCRIPTION
[Symbol]	Existing Buildings
[Symbol]	Existing Buildings to be Demolished
[Symbol]	Proposed Buildings
[Symbol]	Property Lines
[Symbol]	Shared Property Lines
[Symbol]	Setback Lines
[Symbol]	Landscape Buffer
[Symbol]	Overhead Wires
[Symbol]	Fence
[Symbol]	Existing Concrete Curb
[Symbol]	Existing Concrete Curb to be Demolished
[Symbol]	Proposed Concrete Curb
[Symbol]	Depressed Concrete Curb
[Symbol]	Proposed Concrete Sidewalk
[Symbol]	Proposed Landscape Area
[Symbol]	Stop Sign
[Symbol]	Barrier Free Parking Space
[Symbol]	Principal Entrance Door
[Symbol]	Exterior Door (OH indicates Overhead Door)
[Symbol]	Exterior 6m Wide Fire Route (12m centerline radius on all turns, TYP.)

SITE PLAN NOTES

NOTE#	NOTE
(D)BS	Existing Signage to be Demolished - Project/Construction Manager to coordinate.
(D)CI	Existing Concrete Island to be Demolished
(D)CWW	Existing Concrete Walkway to be Demolished
(D)EB	Existing Building to be Demolished
(D)LS	Existing Light Standard to be Demolished
(D)UP	Existing Utility Pole, to be relocated. Refer also to Civil.
(D)VS	Existing Vacuum Station to be Demolished - refer to Electrical
(D)WS	Existing Windshield Wash Station to be Demolished - refer to Electrical
(E)FH	Existing Fire Hydrant to remain.
(F)EV1	Future Electric Vehicle Charging Station
(R)UP	Proposed relocation of Existing Utility Pole. Refer also to Civil.
B	Bollard
CAN	Outline of Carport/Canopy above
CP	Concrete Pad - refer to Structural
CSW	Concrete Sidewalk
DC	Depressed Curb
GA	Existing Asphalt
EV1	Electric Vehicle Charging Station: post-mounted level 2 dual-charging station by Owner
GE	Prefinished Metal Panel on Galvanized Steel framing
HCP	12'-0" x 12'-0" Concrete Pad c/w In-slab Heating - refer to Mechanical & Structural
LZ	Loading Zone, 3.5m W x 7.0m L
SG1	Steel post & chain linked swinging gate, c/w locking mechanism
SG2	Steel post & chain linked sliding gate, c/w locking mechanism
WB	Waste Bins, by Owner

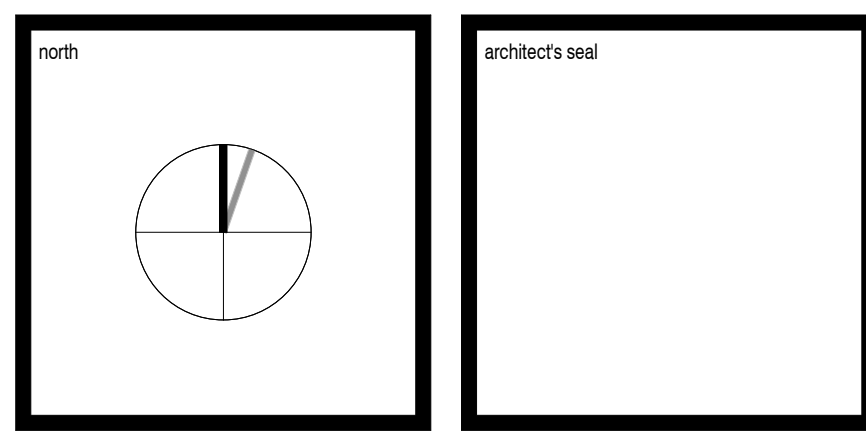
REVISIONS

No.	DATE	DESCRIPTION
0	05 July 2022	Issued for Coordination
1	12 August 2022	Issued for Coordination
2	16 August 2022	Issued for Site Plan Control
3	15 September 2022	Issued for PCA/Consultant Coordination
4	23 December 2022	Issued for Coordination
5	25 January 2023	Response to Planning Comments
6	20 March 2023	Issued for Permit
7	20 April 2023	Response to Planning Comments
8	12 June 2023	Response to Planning Comments

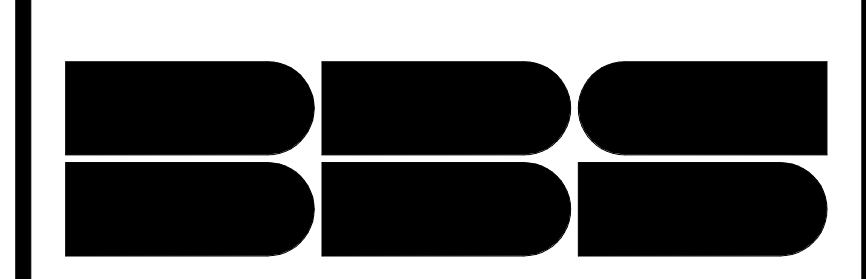
G. Wildman
GERALDINE WILDMAN
 ACTING MANAGER, DEVELOPMENT REVIEW, EAST PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Geraldine Wildman at 6:54 pm, Sep 05, 2023

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and / or omissions to the Architect. All contractors must comply with all pertinent codes and by-laws. Do not scale drawings. This drawing may not be used for construction until signed by KWC Architects Inc. and shall not be used without the Architect's consent.



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 Ottawa, Ontario, Canada, K1Y 4R4
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 Phone: 613 238-2217
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 E-Mail: kwc@kwc-arch.com



BUILDING A REPUTATION ON EXCELLENCE

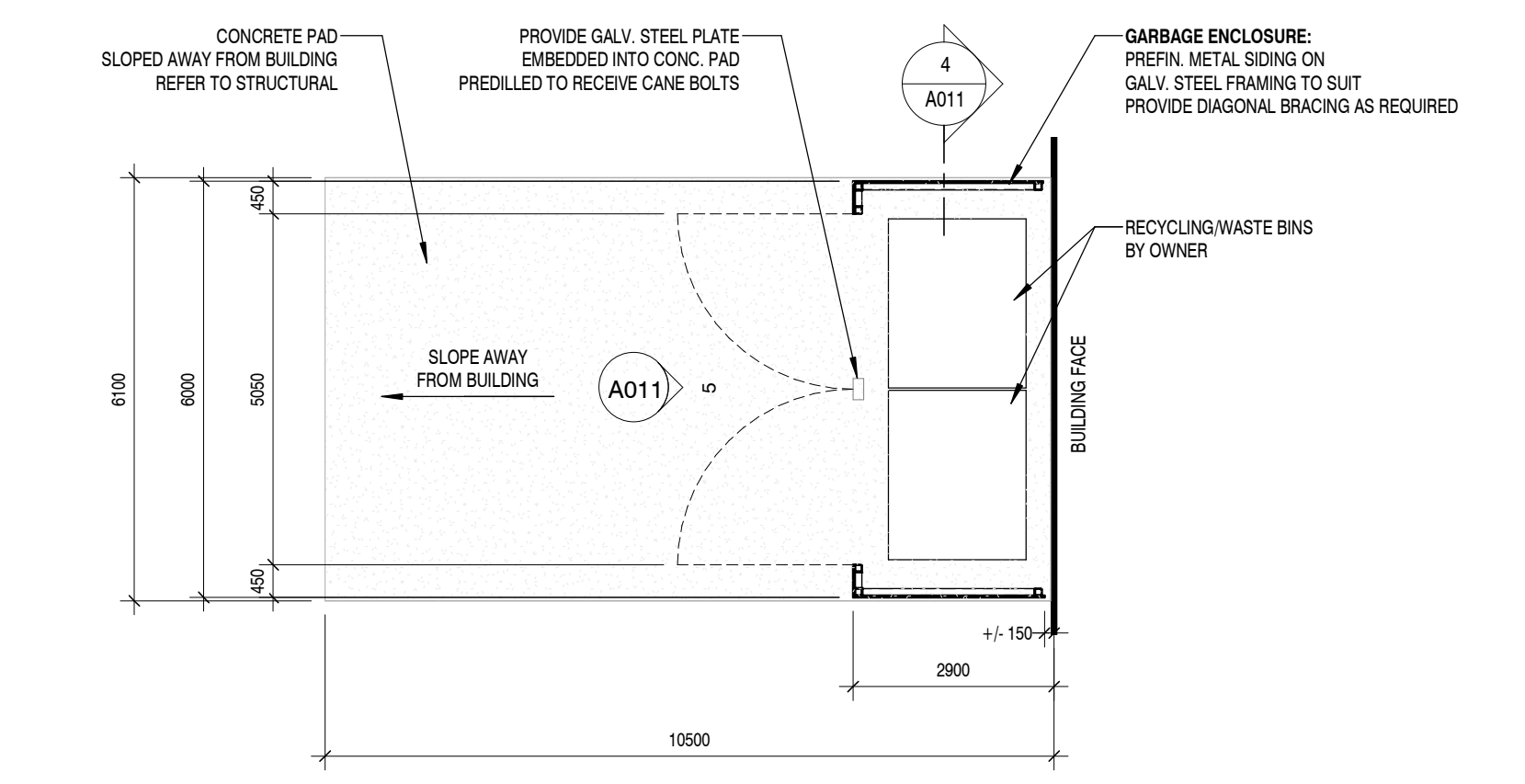
BBS CONSTRUCTION (ONTARIO) LTD.
 1805 WOODWARD DRIVE,
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 TEL: (613) 226-8830 FAX: (613) 226-7709
 www.bbsconstruction.ca

owner **JIM KEAY**

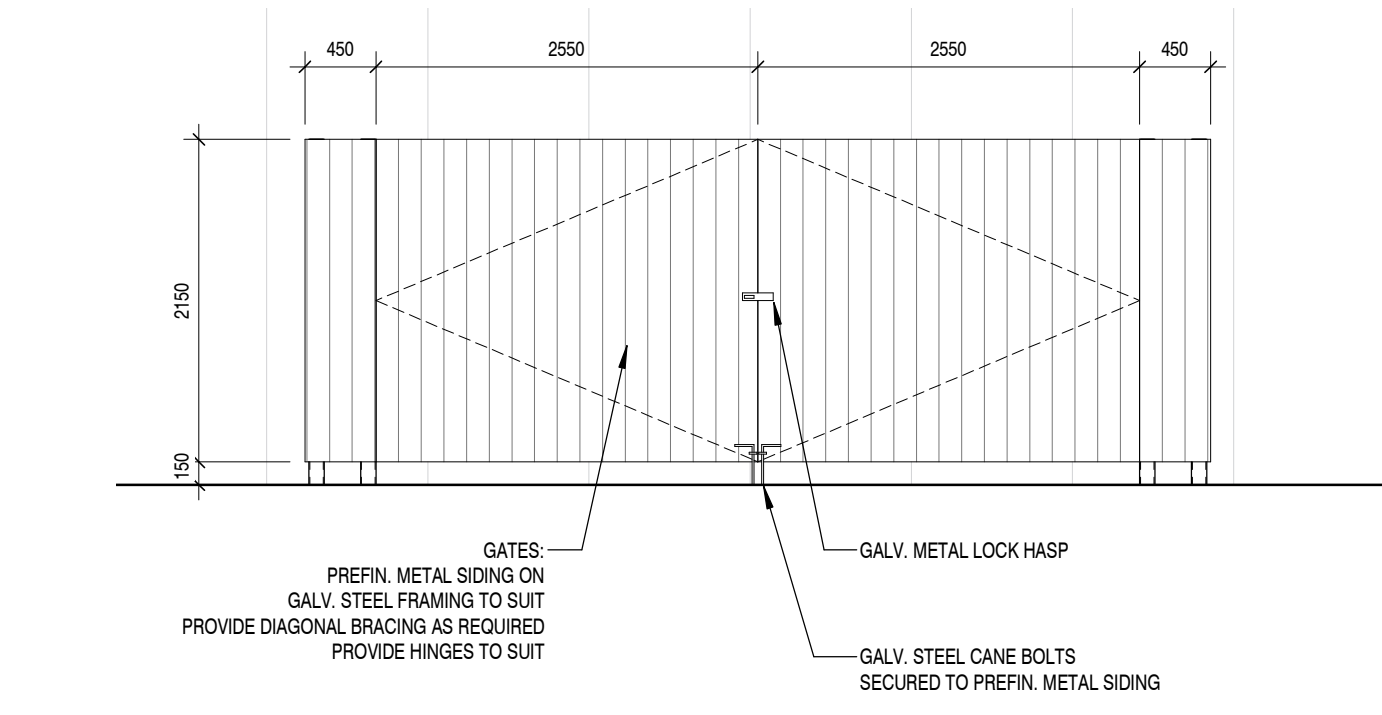
project **'FIX AUTO' ORLEANS - AUTOMOBILE BODY SHOP**

drawing title **SITE PLAN**

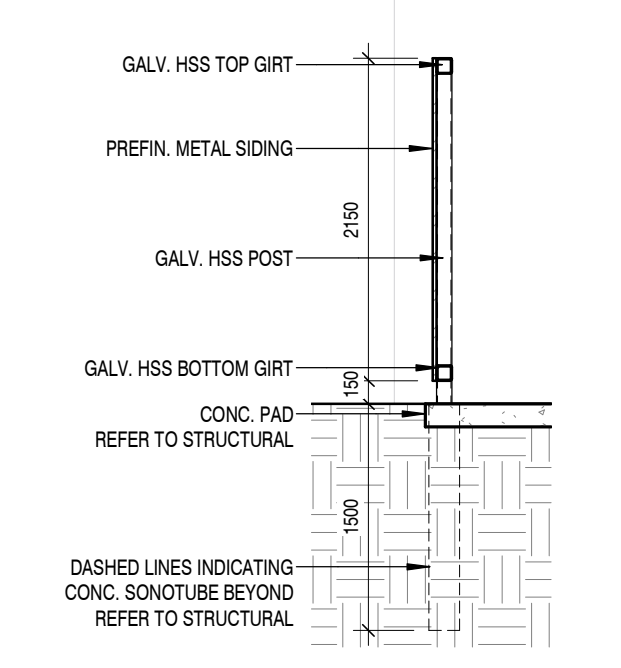
project no.	2255	drawing no.	A010
scale	As Indicated		
drawn by	TC		
date	2023 JAN 31		



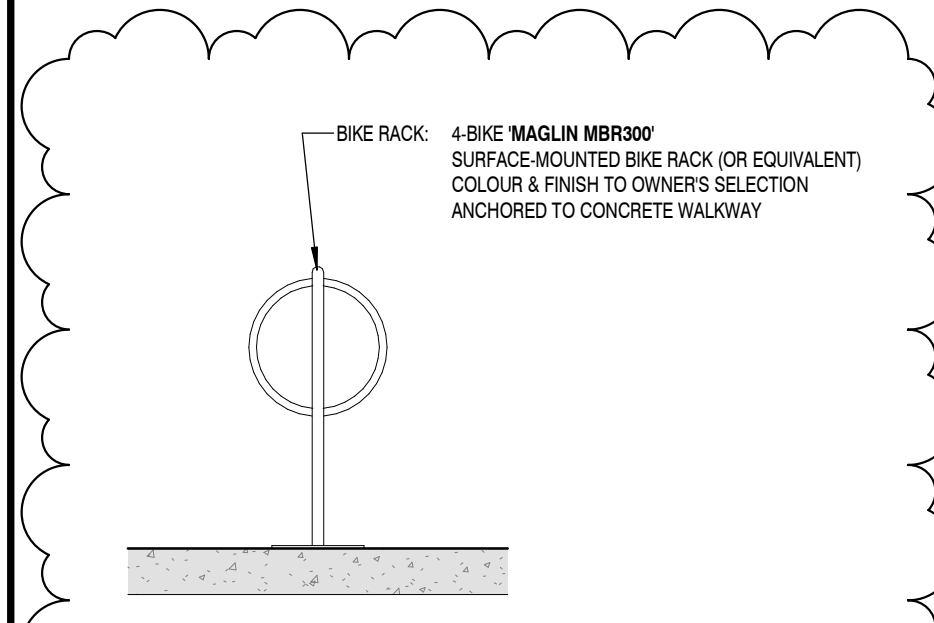
3 PLAN DETAIL - GARBAGE ENCLOSURE
A011 1:100



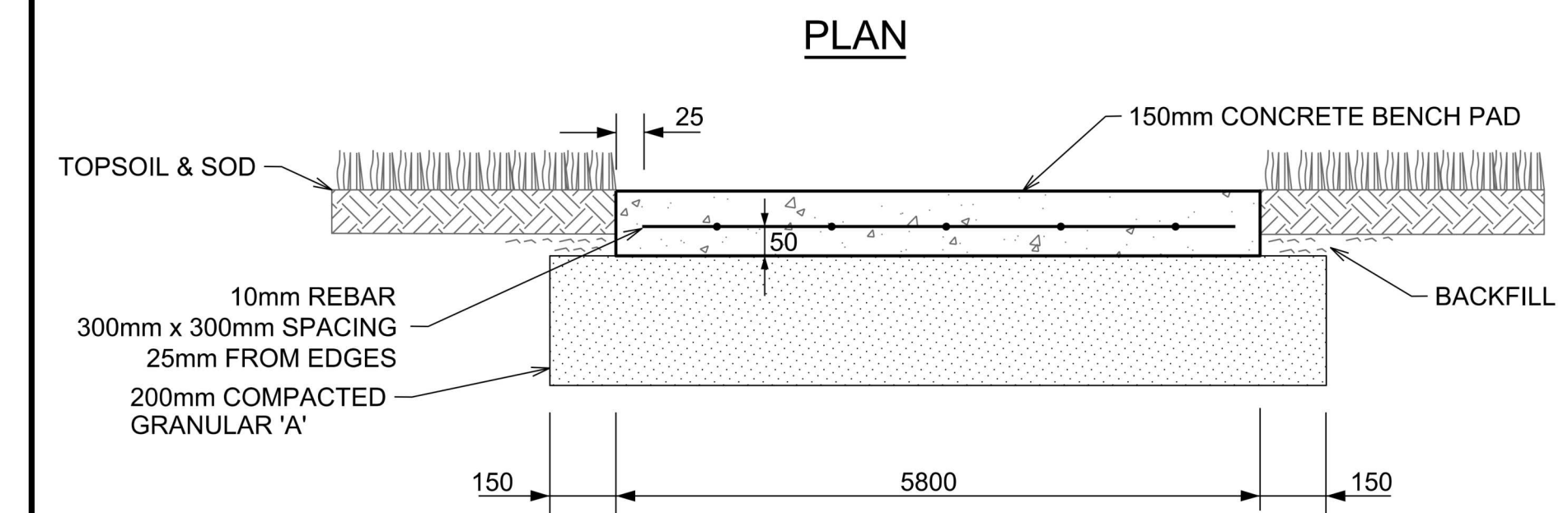
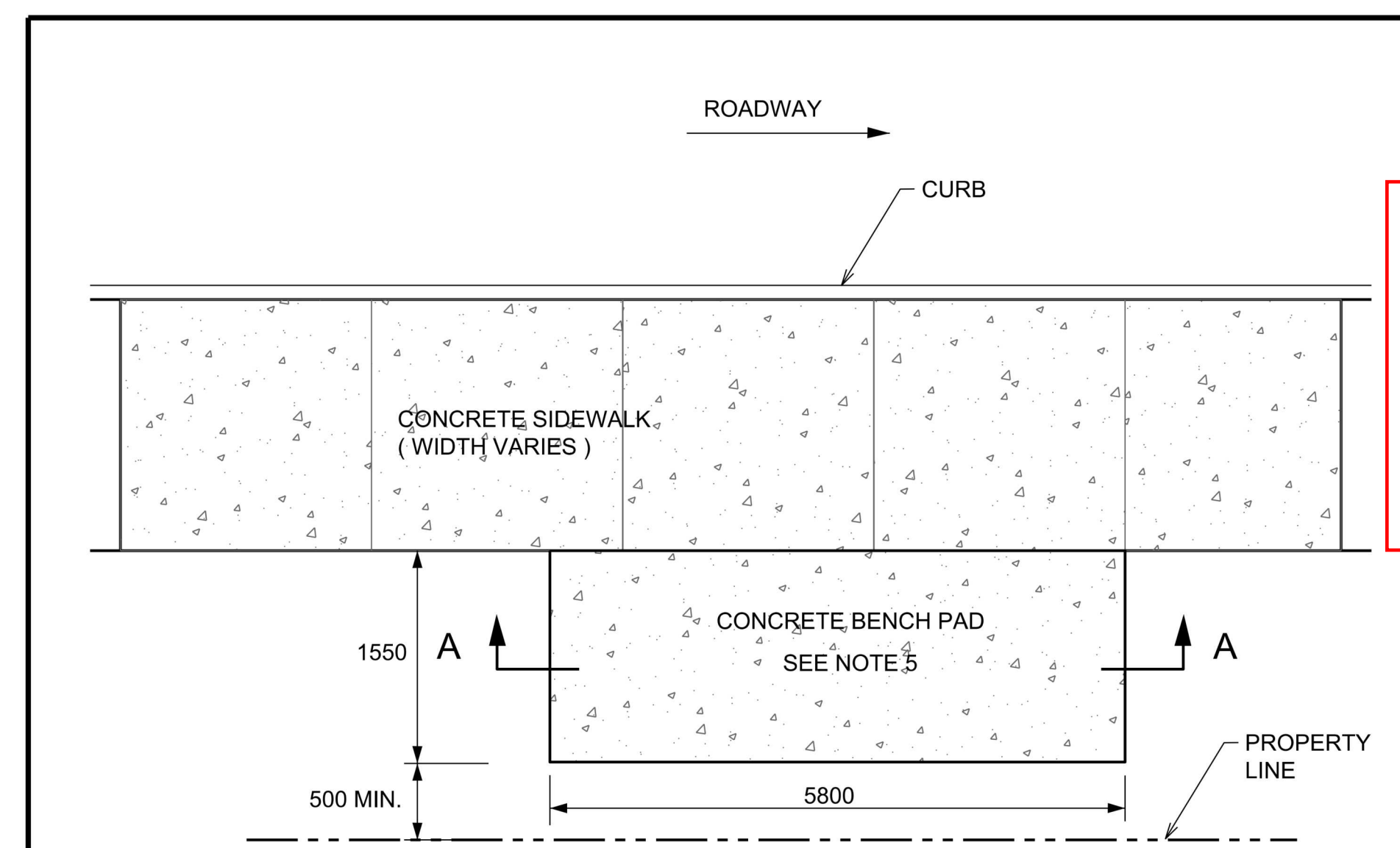
5 ELEVATION DETAIL - GARBAGE ENCLOSURE
A011 1:50



4 ELEVATION & SECTION - GARBAGE ENCLOSURE
A011 1:50



6 ELEVATION DETAIL - BIKE RACK
A011 1:25



1. CONCRETE PADS TO BE IN ACCORDANCE WITH OPSS AND CITY OF OTTAWA STANDARDS.
2. ALL PADS TO BE SLOPED 2% MAX. TOWARDS THE ROAD UNLESS OTHERWISE DIRECTED BY THE CONTRACT ADMINISTRATOR.
3. THE SURFACE ELEVATION OF THE PAD MUST BE FLUSH TO THE SURFACE ELEVATION OF ADJACENT GRADE (SIDEWALK OR BOULEVARD).
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
5. FINISH TO MATCH SIDEWALK.

Ottawa CONCRETE BENCH PAD ADJACENT TO SIDEWALK

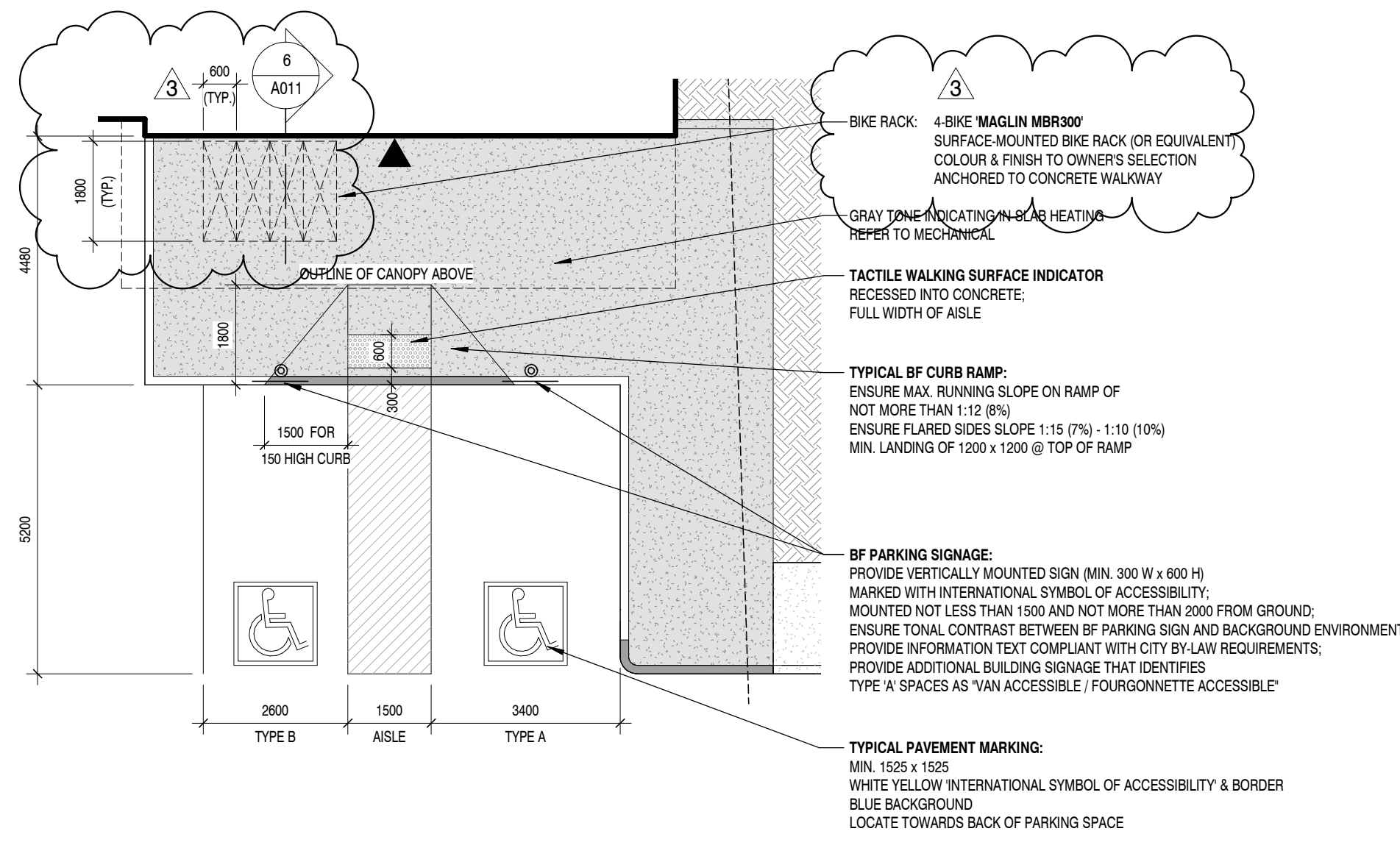
DATE: MARCH 2016

REV. DATE:

DWG. No.: SC11.2

N.T.S.

2 SC11.3 BUS STOP DETAIL
A011 1/4" = 1'-0"



2 PLAN DETAIL - ACCESSIBLE PARKING LAYOUT
A011 1:100

No.	DATE	DESCRIPTION
0	25 January 2023	Response to Planning Comments
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APPROVED
By Geraldine Wildman at 6:55 pm, Sep 05, 2023

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north

architect's seal

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owner
JIM KEAY

project
'FIX AUTO' ORLEANS - AUTOMOBILE BODY SHOP

drawing title
SITE DETAILS

project no. **2255**

scale **As indicated**

drawn by **TC**

date **2023 JAN 31**

drawing no. **A011**