

NOTES: GENERAL

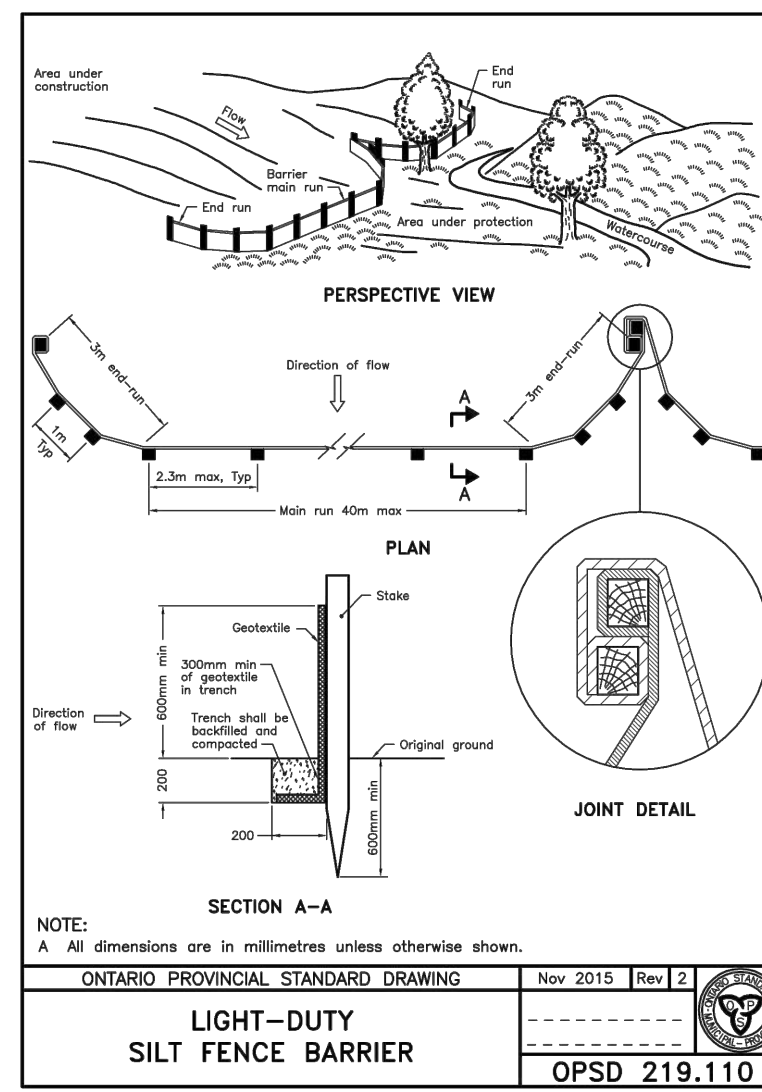
- 1. DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS
2. ALL SERVICES, MATERIALS, CONSTRUCTION METHODS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND REGULATIONS...

NOTES: WATERMAIN

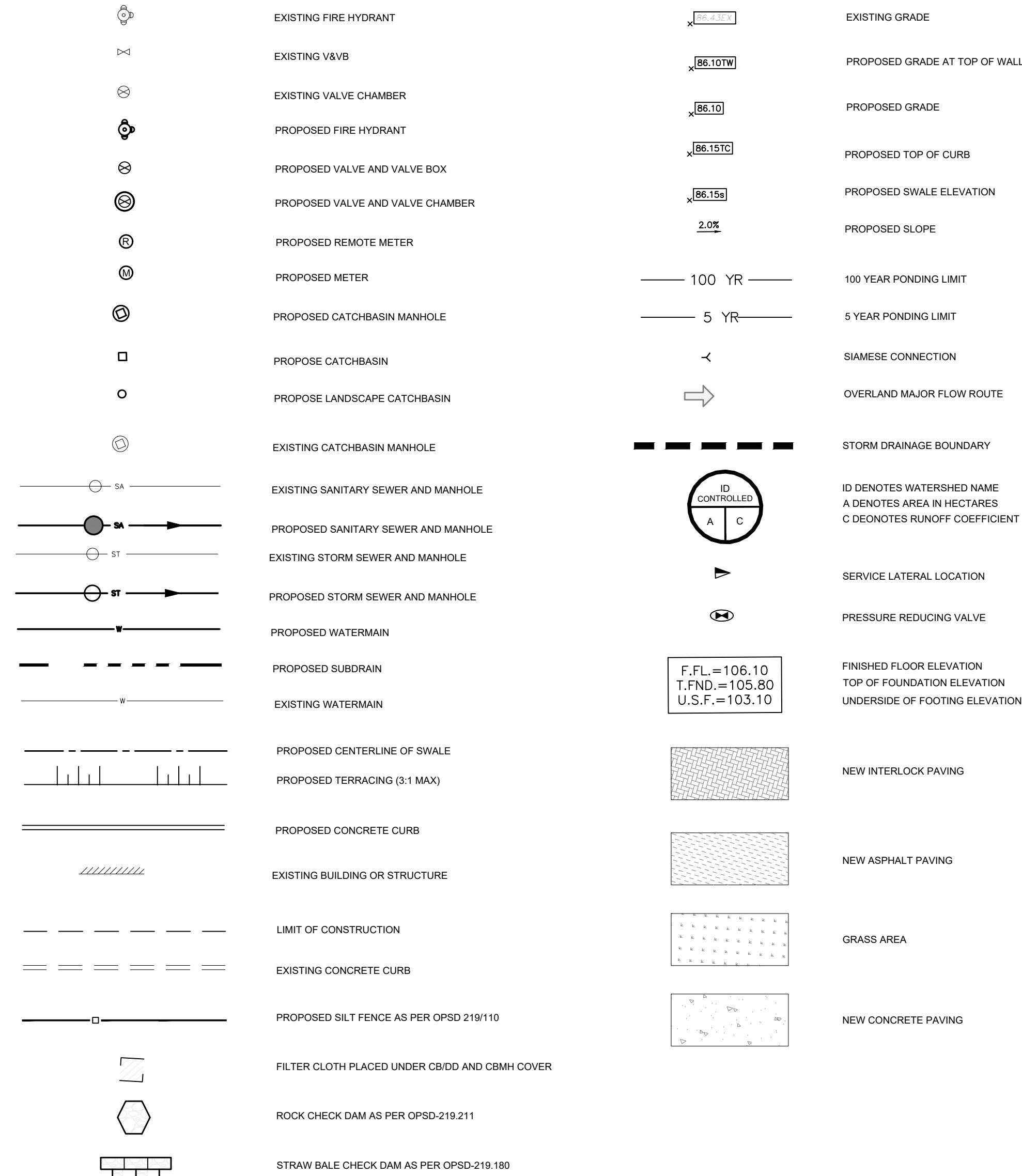
- 1. ALL WATERMAIN AND WATERMAIN APPURTANANCES, MATERIALS, CONSTRUCTION AND TESTING METHODS SHALL CONFORM TO THE CURRENT CITY OF OTTAWA AND MINISTRY OF ENVIRONMENT STANDARDS AND SPECIFICATIONS.
2. ALL WATERMAIN 300mm DIAMETER AND SMALLER TO BE POLY VINYL CHLORIDE (PVC) CLASS 150 DR 18 MEETING AWWA SPECIFICATION C900...

NOTES: STORM SEWERS AND STRUCTURES

- 14. ALL STORM SEWER MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS. PROVIDE CCTV INSPECTION REPORTS FOR ALL NEW STORM SEWERS, SERVICES AND CB LEADS.
15. STORM SEWERS 450mm DIAMETER AND SMALLER SHALL BE PVC SDR-35, WITH RUBBER GASKET PER CSA A-257.3.



LEGEND:



NOTES: SANITARY SEWER AND MANHOLES

- 9. ALL SANITARY SEWER, SANITARY SEWER APPURTANANCES AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS. PROVIDE CCTV INSPECTION REPORTS FOR ALL NEW SANITARY PIPING.
10. SANITARY SEWER PIPE SIZE 150mm DIAMETER AND GREATER TO BE PVC SDR-35 (UNLESS SPECIFIED OTHERWISE) WITH RUBBER GASKET TYPE JOINTS IN CONFORMANCE WITH CSA B-182.2.3.4.

NOTES: PARKING LOT AND WORK IN PUBLIC RIGHTS OF WAY

- 1. CONTRACTOR TO REINSTATE ROAD CUTS AS PER CITY OF OTTAWA DETAIL R10.
2. CONTRACTOR TO PREPARE SUBGRADE, INCLUDING PROFFROLLING, TO THE SATISFACTION OF THE GEOTECHNICAL CONSULTANT PRIOR TO THE COMMENCEMENT OF PLACEMENT OF GRANULAR B MATERIAL.
3. FILL TO BE PLACED AND COMPACTED PER THE GEOTECHNICAL REPORT REQUIREMENTS.

PAVEMENT STRUCTURE - HEAVY DUTY (BUSES AND TRUCKS)

Table with columns COURSE, MATERIAL, THICKNESS. Includes Surface (HL3 or SUPERPAVE 12.5 AC, 50 mm), Binder (HL8 or SUPERPAVE 19.0 AC, 60 mm), Basecourse (OPSS GRANULAR 'A', 150 mm), Subbase (OPSS GRANULAR 'B' TYPE II, 450 mm).

PAVEMENT STRUCTURE - LIGHT DUTY (CARS ONLY)

Table with columns COURSE, MATERIAL, THICKNESS. Includes Surface (HL3 or SUPERPAVE 12.5 AC, 65 mm), Basecourse (OPSS GRANULAR 'A', 150 mm), Subbase (OPSS GRANULAR 'B' TYPE II, 300 mm).

WATERM STATION table with columns STATION, DESCRIPTION, FINISHED, EXISTING, PROP. TOP, AS-BUILT. Lists watermain stations from 0+000 to 0+175.49.

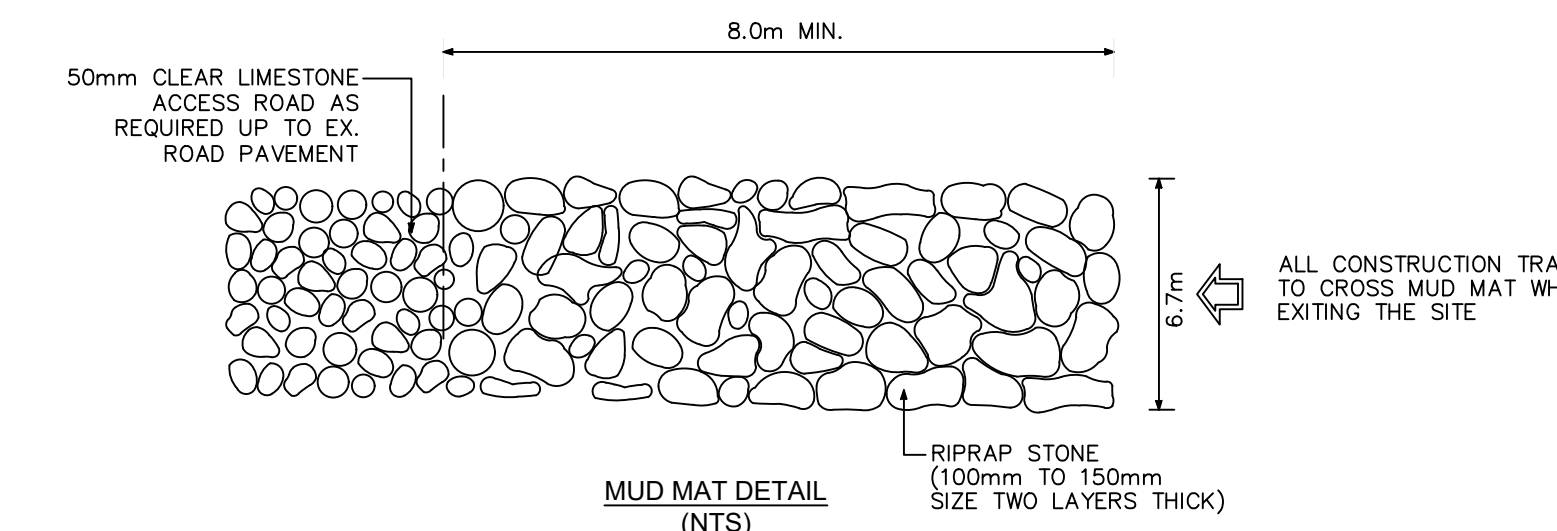
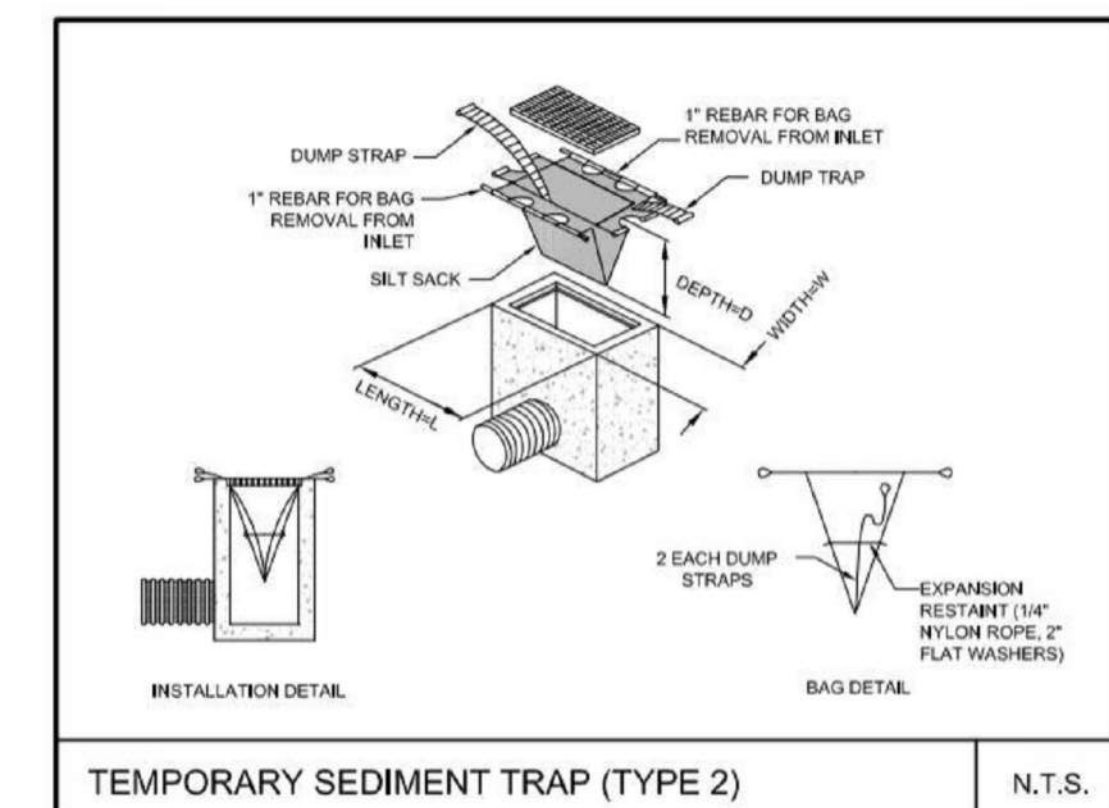
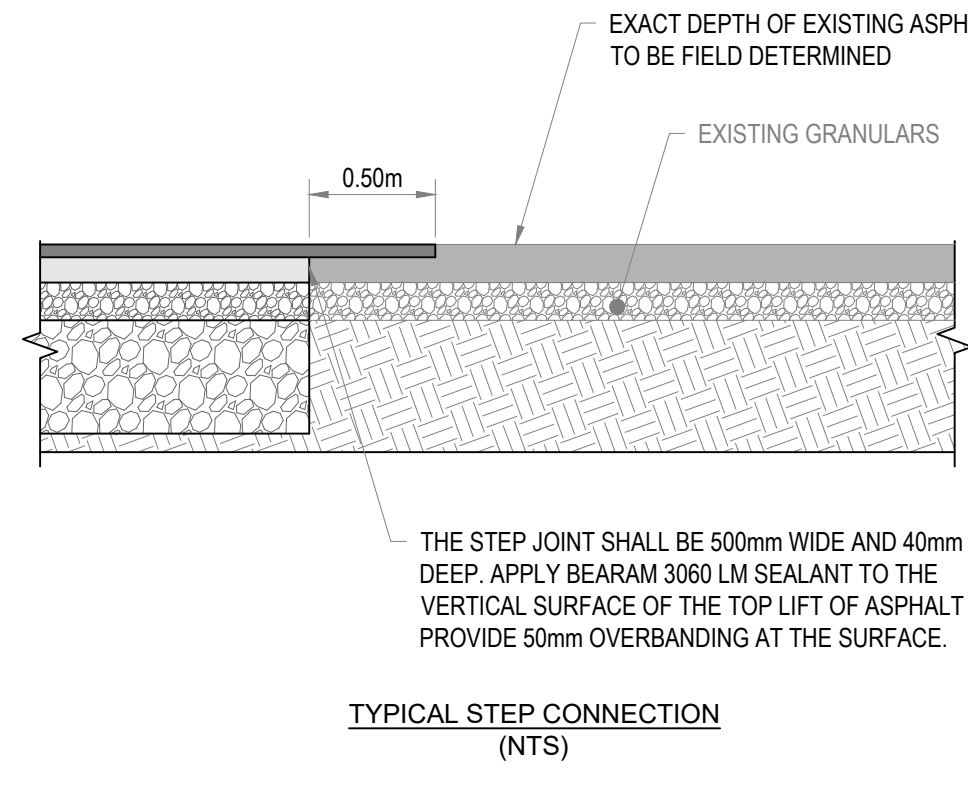
PIPE CROSSING TABLE with columns Structure ID, Invert, Obvert, Size, Clearance, Structure Type. Lists crossings for 1, 2, 3, and 4.

STORM STRUCTURE TABLE with columns Structure ID, Top of Grate, Invert In, Invert Out, Size, OPSD, Cover. Lists structures STMH01 to CBMH06.

SAN STRUCTURE TABLE with columns Structure ID, Top of Grate Elevation, Invert In, Invert Out, Size, OPSD, Cover. Lists structures SAMH01 and SAMH02.

NOTES: EROSION AND SEDIMENT CONTROL

- \*\* CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION, MONITORING, REPAIR AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL FEATURES, AND MEETING ASSOCIATED LEED REQUIREMENT.
1. PRIOR TO START OF CONSTRUCTION:
1.1. INSTALL SILT FENCE IN LOCATION SHOWN ON DWG 005.
1.2. INSTALL FILTER FABRIC OR SILT SACK FILTERS IN ALL THE CATCHBASINS AND MANHOLES TO REMAIN DURING CONSTRUCTION WITH THE SITE (SEE TYPICAL DETAIL).



GENERAL NOTES:

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THE PLANS, SPECIFICATIONS AND THE DESIGN INTENT...

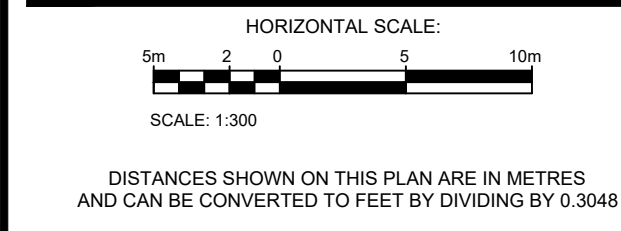


SUBJECT TO APPROVAL

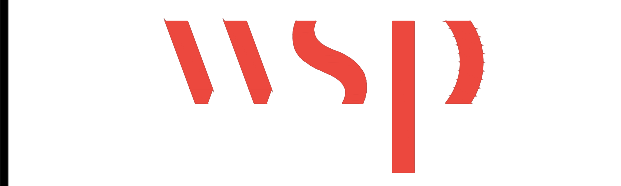
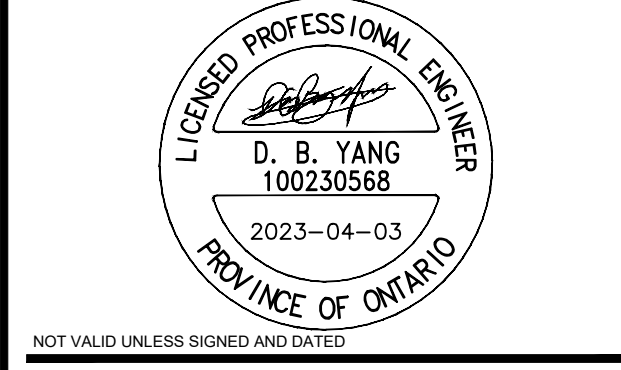
BENCH MARK No.1 ELEVATION=56.43

Table showing bench mark details for BENCH MARK No.1 with fields for name, elevation, and date.

Table with columns No., COMMENTS, D.Y., DATE. Lists revision 02 and 01.



DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



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CLIENT 2705460 ONTARIO INC. C/O ANAND AGGARWAL MANOR PARK MANAGEMENT 231 BRITANNY DRIVE, SUITE D OTTAWA, ON K1K 0R8



ANNIS, O'SULLIVAN, VOLLEBECK Ontario Land Surveyors 14 CONOURS GATE SUITE 400, WERAN, ONTARIO, K2E 7J8 TEL: (613) 727-0850 FAX: (613) 727-1079

DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.

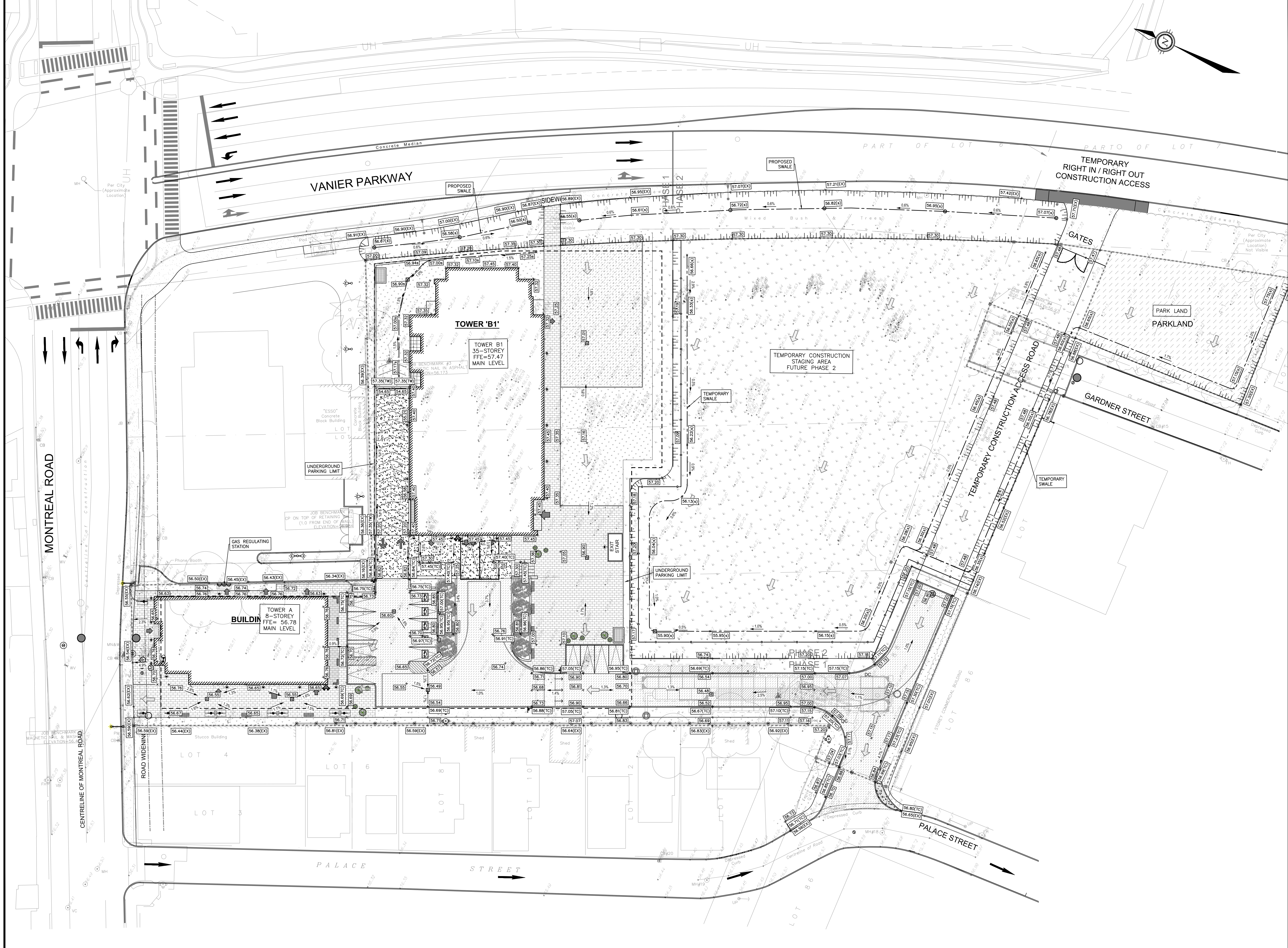
PROJECT 112 MONTREAL ROAD RESIDENTIAL DEVELOPMENT

DRAWING TITLE

NOTES AND DETAILS

PROJECT NO. 19M-01935-00 DRAWING NO. C01

FILENAME: V:\13\1412\19M-01935-00 - 112 Montreal Road - 112 Montreal Road - 58p Plan01 Drawing\dwg\19m-01935-00\_C\_01.rvt Date: 2023-04-09 10:48:47 AM



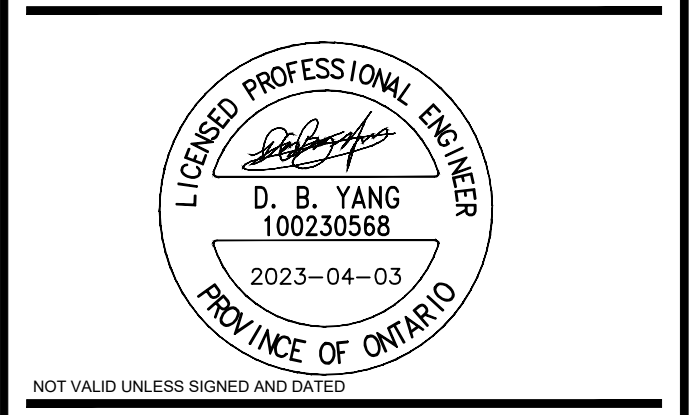
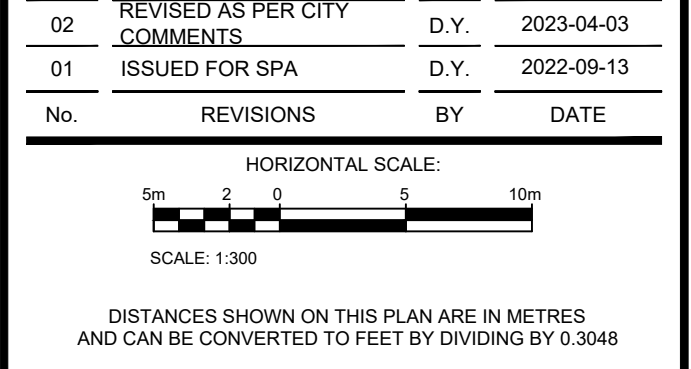
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 CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.



**SUBJECT TO APPROVAL**

**BENCH MARK No.1 ELEVATION=56.43**  
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM THE WESTERLY LIMIT OF PART 1, PLAN 5R-6112 SHOWN AS HAVING A BEARING OF N28°27'30"W.  
 TOWNSHIP: CITY OF OTTAWA

No.	REVISIONS	BY	DATE
02	REVISED AS PER CITY COMMENTS	D.Y.	2023-04-03
01	ISSUED FOR SPA	D.Y.	2022-09-13



**CLIENT:**  
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 C/O ANAND AGGARWAL  
 MANOR PARK MANAGEMENT  
 231 BRITTANY DRIVE, SUITE D  
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**ANNIS, O'SULLIVAN, VOLLEBECK**  
 Ontario Land Surveyors  
 14 CONCORSE GATE, SUITE 100, NEPEAN, ONTARIO, K2E 7S6  
 TEL: (613) 727-0850 FAX: (613) 727-1079

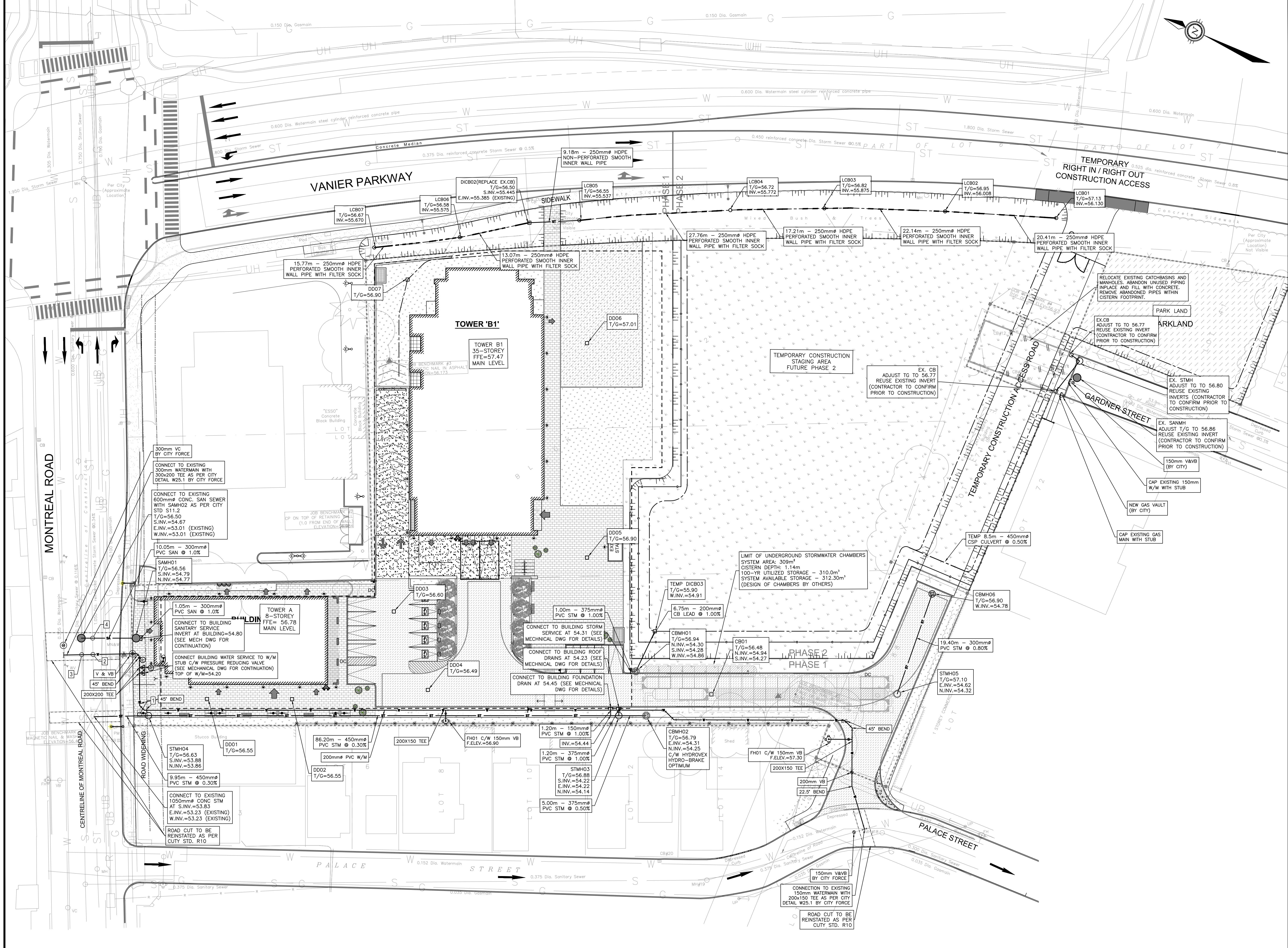
DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.

**PROJECT:**  
 112 MONTREAL ROAD  
 RESIDENTIAL DEVELOPMENT

**DRAWING TITLE:**  
 GRADING PLAN

**PROJECT NO.:** 19M-01935-00 **DRAWING NO.:** C02

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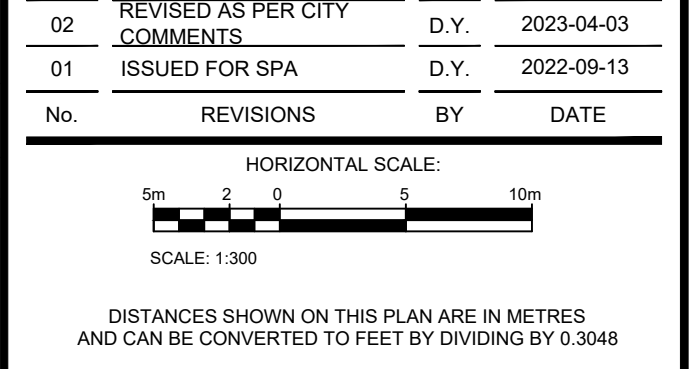
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01	ISSUED FOR SPA	D.Y.	2022-09-13



**LICENSED PROFESSIONAL ENGINEER**  
 D. B. YANG  
 100230568  
 2023-04-03  
 PROVINCE OF ONTARIO  
 NOT VALID UNLESS SIGNED AND DATED

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 MANOR PARK MANAGEMENT  
 231 BRITTANY DRIVE, SUITE D  
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**rla/architecture**  
 rodrick lahey architect inc.  
 55 beach street, ottawa, ontario k1s 3h4  
 t: 613.734.9932 f: 613.734.1209 d: 613.734.1209

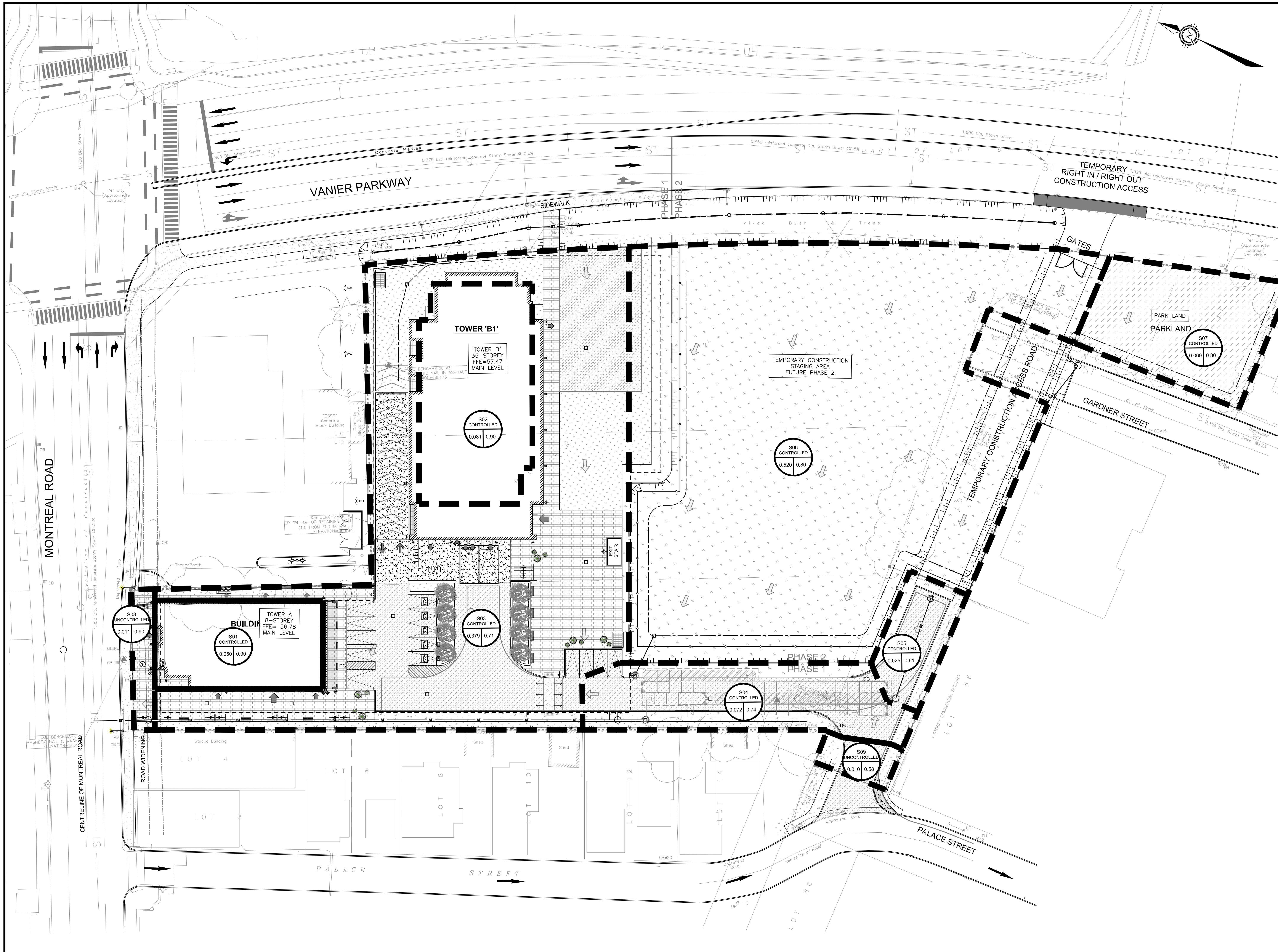
**ANNIS, O'SULLIVAN, VOLLEBECK**  
 Ontario Land Surveyors  
 14 CONROUSE GATE, SUITE 100, NEPEAN, ONTARIO, K2E 7S8  
 TEL: (613) 727-0850 FAX: (613) 727-1079

DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.  
 PROJECT: 112 MONTREAL ROAD RESIDENTIAL DEVELOPMENT

DRAWING TITLE: **SERVICING PLAN**  
 PROJECT NO: 19M-01935-00 DRAWING NO: **C03**

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D07-12-22-0138



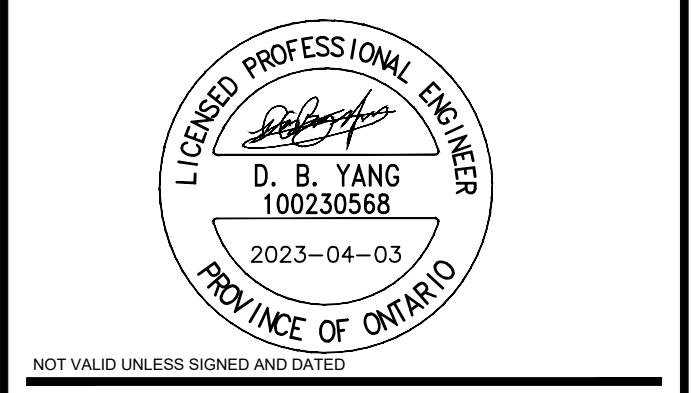
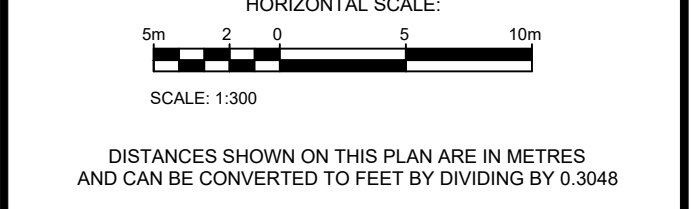
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 TOWNSHIP: CITY OF OTTAWA

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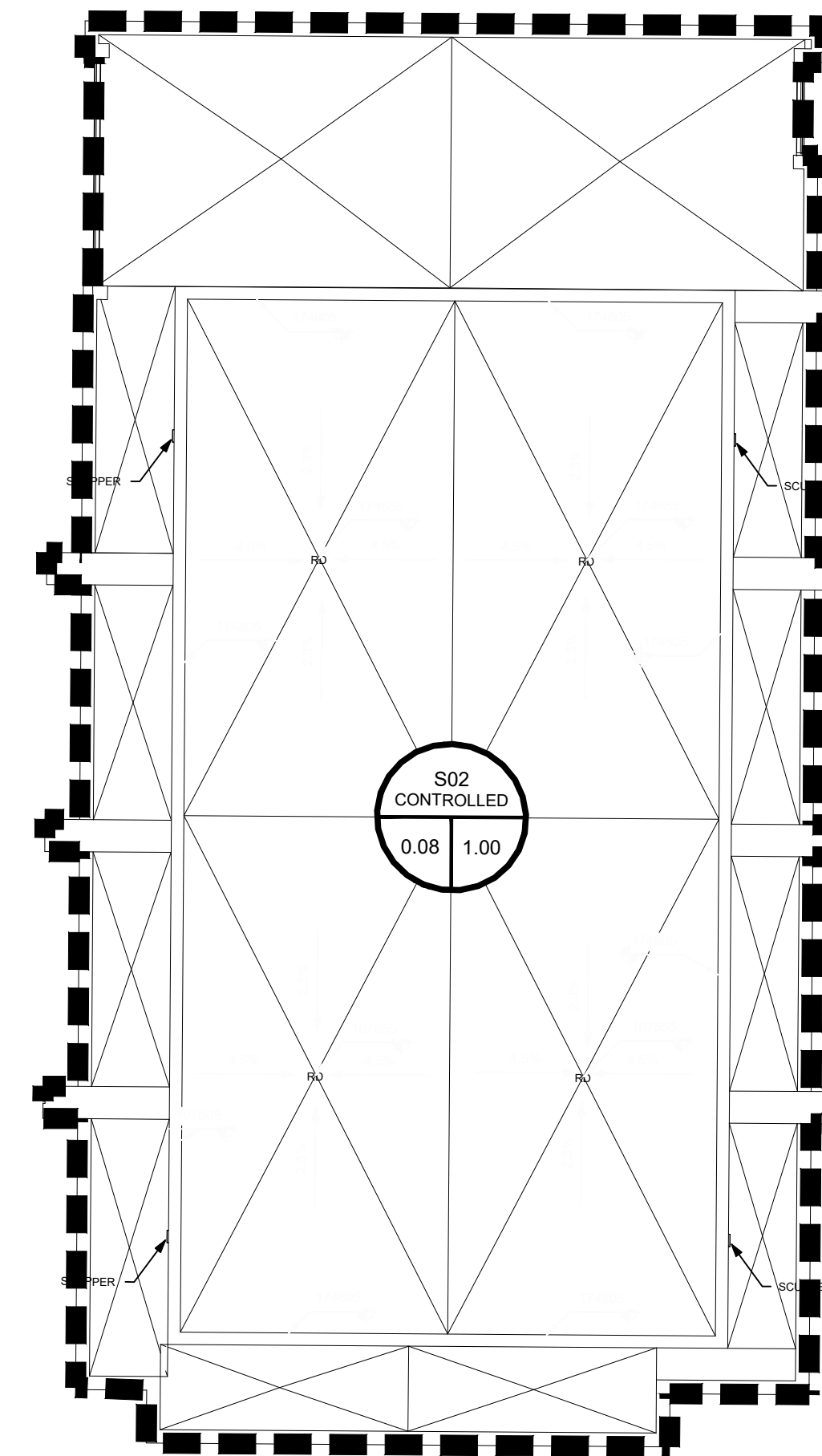
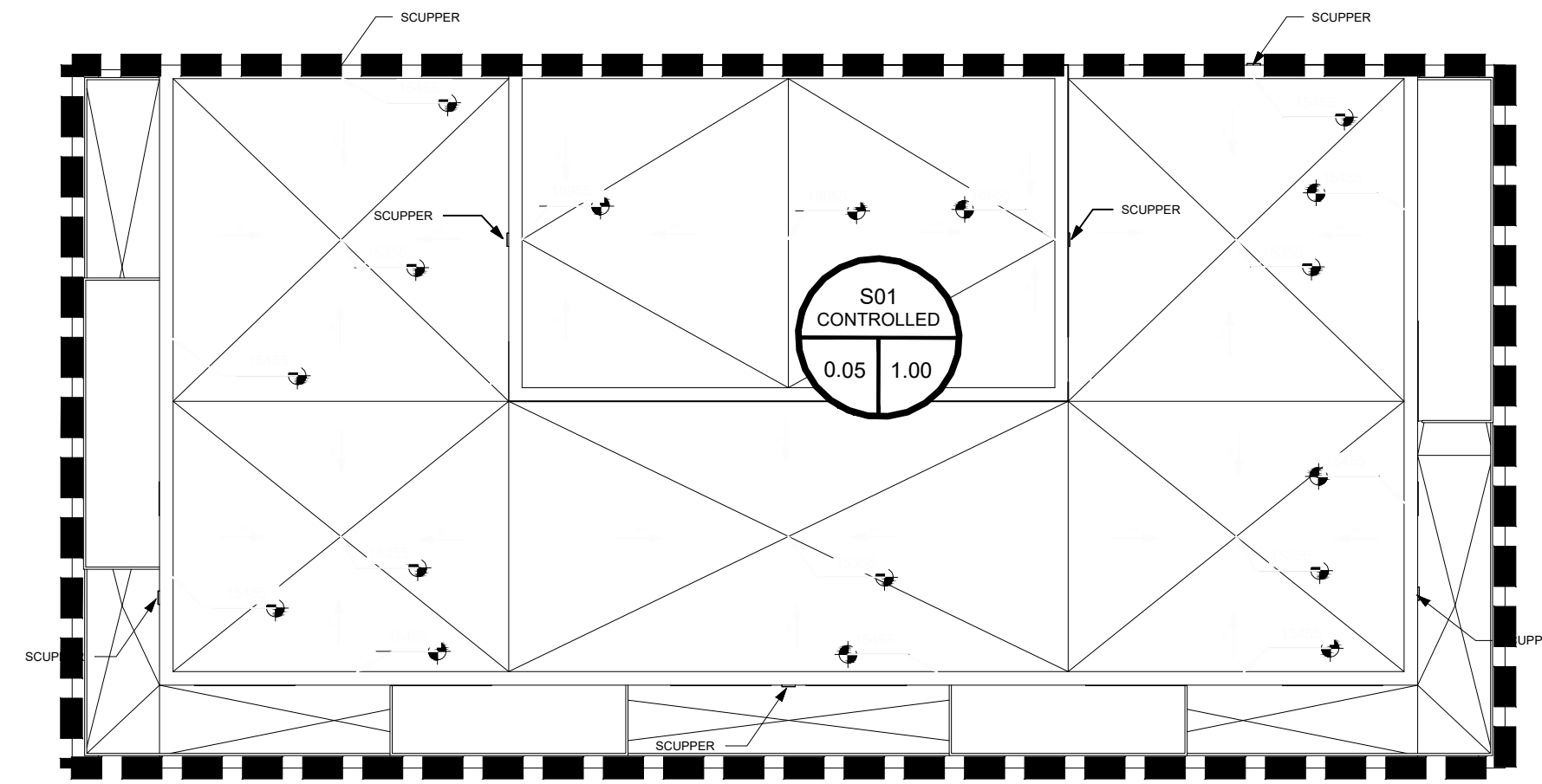
DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.

PROJECT: 112 MONTREAL ROAD  
 RESIDENTIAL DEVELOPMENT

DRAWING TITLE: STORM DRAINAGE  
 AREA PLAN

PROJECT NO: 19M-01935-00 DRAWING NO: C04

FILENAME: V:\19\19M-01935-00 - 112 Montreal Road - Site Plan3 Drawing\dwg\dwg\19M-01935-00\_C\_DRAWING.dwg  
 PLOTDATE: Apr 03, 2023 - 4:53pm, CA:0216482



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KEY PLAN (N.T.S.)

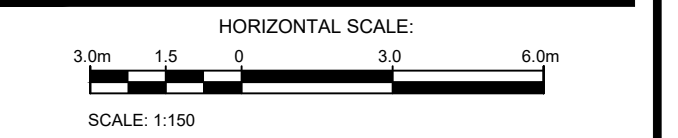
SUBJECT TO APPROVAL

BENCH MARK No.1 ELEVATION=56.43

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TOWNSHIP: CITY OF OTTAWA

No.	REVISIONS	BY	DATE
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01	ISSUED FOR SPA		D.Y. 2022-09-13



DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



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 TEL: (613) 727-0850 FAX: (613) 727-1079

DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.

PROJECT  
 112 MONTREAL ROAD  
 RESIDENTIAL DEVELOPMENT

DRAWING TITLE  
 ROOF DRAINAGE PLAN

PROJECT NO. 19M-01935-00 DRAWING NO. C04A

**WATTS® Adjustable Accutrol Weir** Adjustable Flow Control for Roof Drains  
 Tag: \_\_\_\_\_

**ADJUSTABLE ACCUTROL (for Large Sump Roof Drains only)**

For more flexibility in controlling flow with heads deeper than 2", Watts Drainage offers the Adjustable Accutrol. The Adjustable Accutrol Weir is designed with a single parabolic opening that can be covered to restrict flow above 2" of head to less than 5 gpm per inch, up to 6" of head. To adjust the flow rate for depths over 2" of head, set the slot in the adjustable upper cone according to the flow rate required. Refer to Table 1 below.  
 Note: Flow rates are directly proportional to the amount of weir opening that is exposed.

**EXAMPLE:**

For example, if the adjustable upper cone is set to cover 1/2 of the weir opening, flow rates above 2" of head will be restricted to 2-1/2 gpm per inch of head.

Therefore, at 3" of head, the flow rate through the Accutrol Weir that has 1/2 the slot exposed will be: [5 gpm (per inch of head) x 2 inches of head] + 2-1/2 gpm (for the third inch of head) = 12-1/2 gpm.

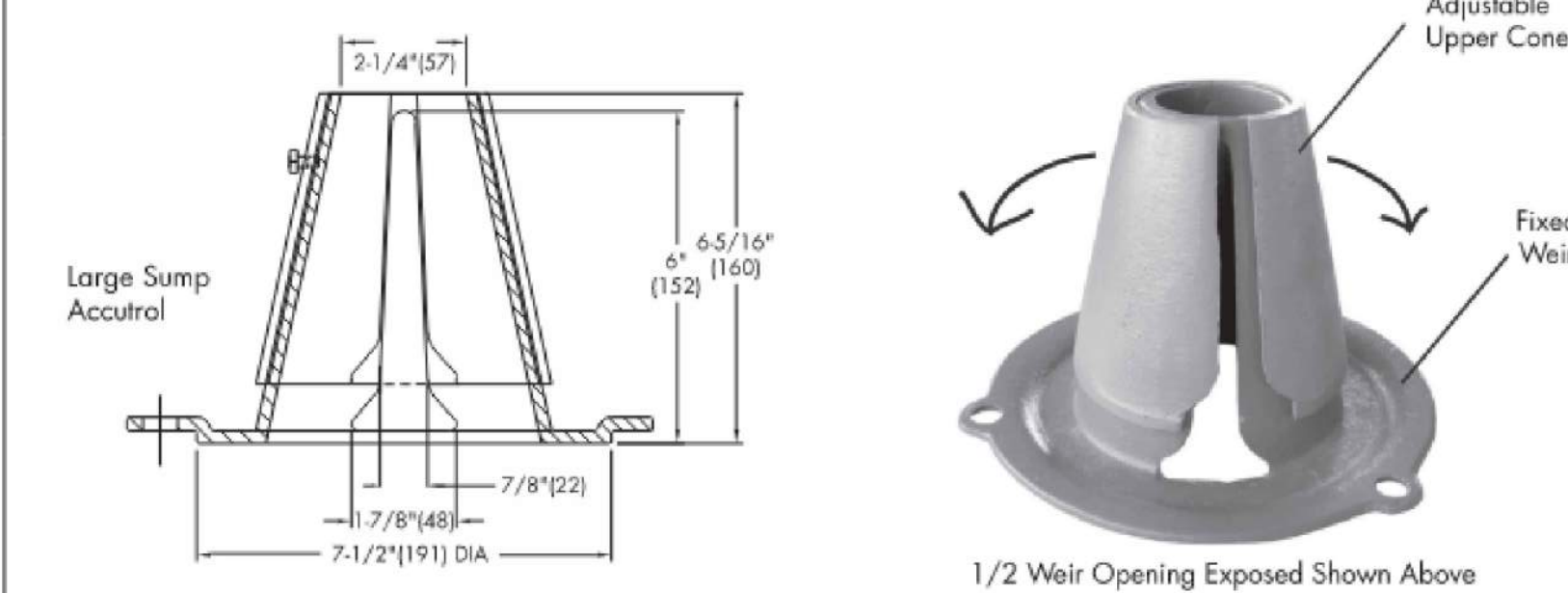


TABLE 1. Adjustable Accutrol Flow Rate Settings

Weir Opening Exposed	Flow Rate (gallons per minute)					
	1"	2"	3"	4"	5"	6"
Fully Exposed	5	10	15	20	25	30
3/4	5	10	13.75	17.5	21.25	25
1/2	5	10	12.5	15	17.5	20
1/4	5	10	11.25	12.5	13.75	15
Closed	5	5	5	5	5	5

Job Name \_\_\_\_\_ Contractor \_\_\_\_\_  
 Job Location \_\_\_\_\_ Contractor's P.O. No. \_\_\_\_\_  
 Engineer \_\_\_\_\_ Representative \_\_\_\_\_

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 ES-WD-RD-ACCUTROLADJ-CAN 1615  
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**Roof Drains**

Catchment ID	Status	Common Name	Area (ha.)	Area (m <sup>2</sup> )	Area to Cistern 1 (m <sup>2</sup> )	Area controlled by Rooftop (m <sup>2</sup> )	WATT Drains		
							Number of Drains Req. (~1 Drain / 150 m <sup>2</sup> )	Area Per Drain (m)	Width / Length (m)
S01	Controlled	Building A	0.05	500	190	310	5	62.00	7.87
S02	Controlled	Building B1	0.081	810	447	363	4	90.75	9.53

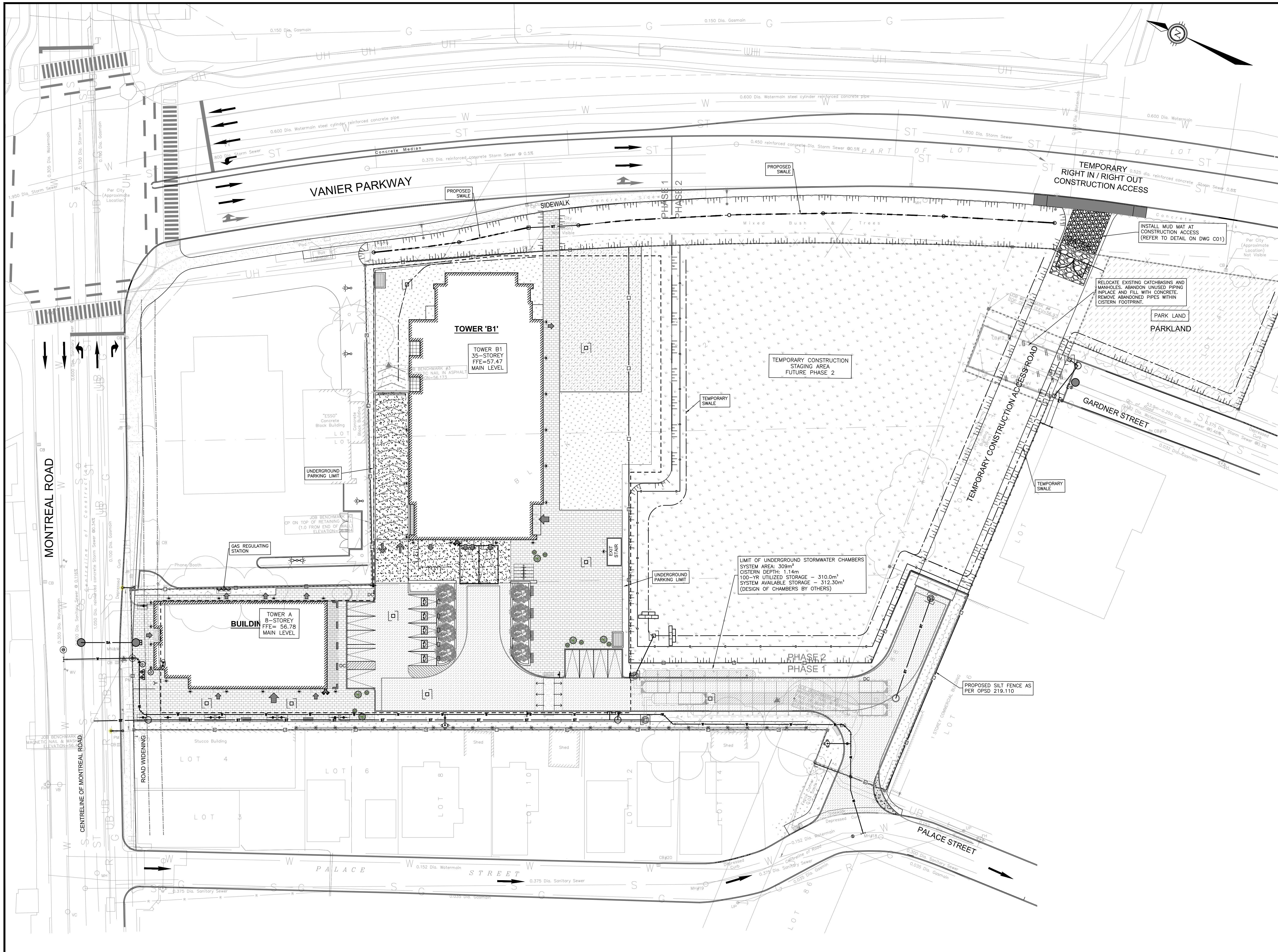
METRIC	Flow Rate (m3/sec)					
	25.4	50.8	76.2	101.6	127.0	152.4
Weir opening	0.02540	0.05080	0.07620	0.10160	0.12700	0.15240
Fully Exposed	0.000315451	0.000630902	0.000946353	0.001261804	0.001577255	0.001892706
3/4	0.000315451	0.000630902	0.00086749	0.001104079	0.001340667	0.001577255
1/2	0.000315451	0.000630902	0.000788628	0.000946353	0.001104079	0.001261804
1/4	0.000315451	0.000630902	0.000709765	0.000788628	0.00086749	0.000946353
Closed	0.000315451	0.000315451	0.000315451	0.000315451	0.000315451	0.000315451

Table 3-3: Post-Development Modelling Results (C)

RETURN PERIOD (YEARS)	ROOFTOP MAXIMUM STORAGE VOLUME, PEAK RELEASE RATE <sup>1</sup> , AND PONDING DEPTH						UNCONTROLLED FLOW RATE <sup>2</sup> (L/S)
	TOWER A			TOWER B1			
	(m <sup>3</sup> )	(L/s)	(m)	(m <sup>3</sup> )	(L/s)	(m)	
5	4.5	1.5	0.054	6.4	1.2	0.073	2.9
100	11.5	1.5	0.086	15.4	1.2	0.142	8.3

<sup>1</sup> Based on the critical duration resulting in maximum storage utilized on each roof surface

<sup>2</sup> Based on the critical duration resulting in the maximum flow released from the site



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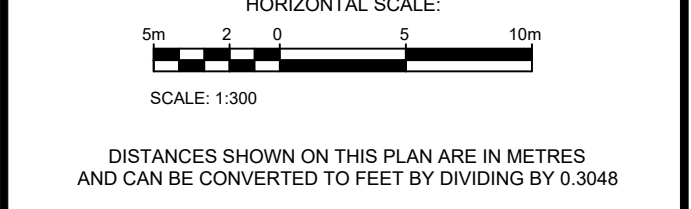


**KEY PLAN**  
(N.T.S.)

**SUBJECT TO APPROVAL**

**BENCH MARK No.1 ELEVATION=56.43**  
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM THE WESTERLY LIMIT OF PART 1, PLAN SR-6112 SHOWN AS HAVING A BEARING OF N28°27'30"W.  
 TOWNSHIP: CITY OF OTTAWA

No.	REVISIONS	BY	DATE
02	REVISED AS PER CITY COMMENTS	D.Y.	2023-04-03
01	ISSUED FOR SPA	D.Y.	2022-09-13



CLIENT:  
 2705460 ONTARIO INC.  
 C/O ANAND AGGARWAL  
 MANOR PARK MANAGEMENT  
 231 BRITTANY DRIVE, SUITE D  
 OTTAWA, ON K1K 0R8



ANNIS, O'SULLIVAN, VOLLEBECK  
 Ontario Land Surveyors  
 14 CONCOURSE GATE, SUITE 100, NEPEAN, ONTARIO, K2E 7J6  
 TEL: (613) 727-0850 FAX: (613) 727-1079

DESIGNED BY: D.Y. DRAWN BY: J.T. APPROVED BY: D.Y.

PROJECT:  
 112 MONTREAL ROAD  
 RESIDENTIAL DEVELOPMENT

DRAWING TITLE:  
 EROSION AND SEDIMENTATION  
 CONTROL PLAN

PROJECT NO.: 19M-01935-00 DRAWING NO.: C05

FILENAME: Y:\19\19M-01935-00 - 112 Montreal Road - Site Plan3 Drawing\dwg\erodmg\19M-01935-00\_C\_REV1.dwg  
 PLOTDATE: Apr 03, 2023 - 4:56pm CA:0216482