

7 October 2022

22022

Re: Site Plan Application
836 Solarium Ave, Ottawa

Dear Melanie Gervais,

1. Application Submission

This application is for Site Plan Control (Site Plan Control Application: /complex - Manager Approval, with Public Consultation) for a new 1 storey elementary school located at the corner of Solarium Ave and Brian Good Ave, Ottawa.

The following documents are appended with this application:

- Complete Site Plan Control Application Form
 - Cheque in the amount of \$61,029.88 – to follow once payment instructions are received
 - Planning Rational and Design Brief
 - A100 Site Plan
 - A101 Site Details
 - A102 & A103 Floor Plans
 - A201 & A202 Building Elevations
 - Survey Plan
 - Geotechnical Study
 - Phase 1 Environmental Site Assessment
 - C1 Site Servicing, Erosion and Sediment Control Plan
 - C2 Grading and Drainage Plan
 - C3 Details
 - Site Servicing and Stormwater Management Report
 - L1 Landscape Plan & Tree Conservation Report
 - Noise/Vibration Study
 - Transportation Impact Assessment c/w Traffic Assessment – Steps 1 to 4
 - E002 Electrical Site Plan
 - E002.1 Site Lighting Calculation
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DESIGN BRIEF

2. Response to City Documents

The Official Plan (OP) for this site is General Urban Area (Official Plan, Schedule B, Urban Policy Plan). “The General Urban Area designation permits the development of a full range and choice of housing types ...with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses” (Volume 1, Urban Plan, 3.6.1-General Urban Area.) The site is identified as a Suburban Transect in the new Official Plan. The site is zoned I1E (H) 15 – Minor Institutional Zone, which permits schools, as proposed. The application therefore conforms to all applicable zoning regulations.

3. Context Plan

The site is located at the intersection of Solarium Avenue and Brian Good Avenue in Ottawa. The legal description is “Block 214 on Plan 4M-1672 (subject to an Easement in Gross over Parts 74-75 on 4R-33410) City of Ottawa”. The corner site is bounded by Solarium ave to the South, Brian Good Ave to the East, Residential lots to the West and Atrium Park to the North. Residential lots are also across both streets. The site is situated within Ward 22 of the City of Ottawa.

The main road linkages to the site are Earl Armstrong to Spratt from the East, and Strandherd to River Rd from the West. The entire development continues to grow and is under construction.

The site is currently not serviced by OC Transpo; bus route 299 runs along Rideau and bus route 278 runs along Earl Armstrong. However, the developer’s site plan illustrates future bus stops at the corner of the site along both Solarium Ave and Brian Good AVE. Therefore the site will be serviced by OC Transpo in the near future!

The following site photograph illustrate the recent site conditions and surrounding contexts. The site is currently vacant with no trees. The site map contains tags with arrows referencing the location of the photograph and direction.



Aerial Photo

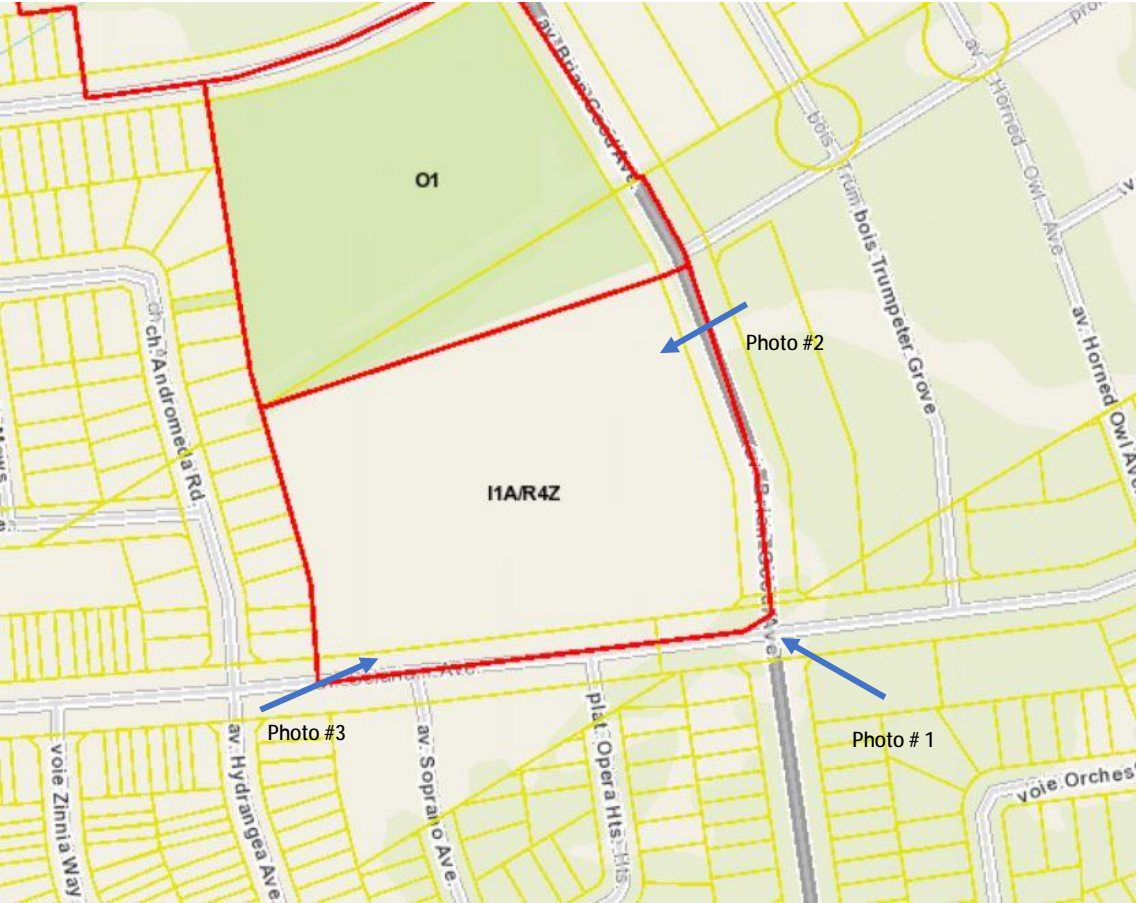




Photo # 1



Photo # 2



Photo # 3

4. Building Massing

See below proposed building perspectives of the building massing.



Massing model looking to the West from Solarium Ave (Childcare Entrance and Main Entrance)



Massing model looking to the South from Brian Good Ave (rear of building)



View from Solarium Ave



View from intersection of Solarium Ave and Brian Good Ave



Close up of main entrance



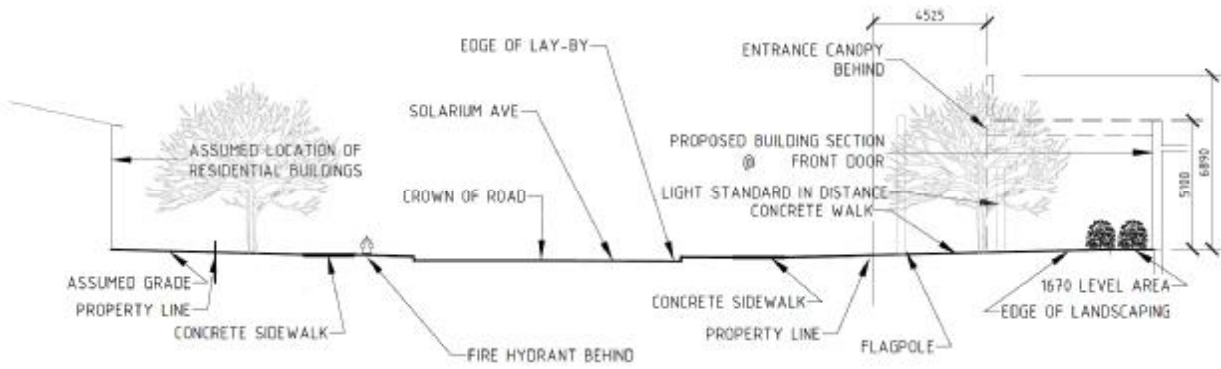
View from Solarium Ave going East bound with current context



View from intersection of Solarium Ave and Brian Good Ave with current context

5. Public Realm

The front of the building along Solarium Ave is modern and welcomes visitors with its large entrance canopy. Automobile parking will be provided at the South/West of the site and bicycle parking will be provided at both the South and East side of the building. Large areas of glazing will be provided to orient the users to the streets. No public art features will be provided as this is a residential zone. Refer to streetscape cross section demonstrating the public realm of the site.



6. Building Design

The design will be modern and playful with bright colours to reflect the users of the building. The front of the building facing Solarium Ave will feature a large canopied entrance with wood look siding in its protected area, warmly welcoming visitors. The admin block in combination with the entrance vestibule will feature an angled roof line directing visitors to the entrance. The side entrances will have smaller areas of the welcoming wood tones to highlight the entry points. A parking lot for automobiles will be provided at the South-West corner of the site, where the Childcare entrance will be easily accessible.

The building will be clad in a combination of cream/grey panels with several highlights of colours on each elevation, with angled reveals as well as contrasting brick and architectural block textures to break up the long massing of the building in warm tones. The windows will have a black aluminum finish to match the neighboring homes. Coloured sun shades will be included at the admin block windows.

Site lighting will be carefully considered, with respect to the City's night sky policy, and requirement for full cut off angle for site lighting at property lines. Wall packs will be provided for security lighting and the new entrance canopies will have soffit lighting. Exterior lighting will be programmed so they are not on all night. Please refer to Architectural drawing A.201 & A202 for Building Elevations.

The site will feature a parent drop off lay by along Solarium Ave as well as a school bus lay by along Brian Good Ave. Outdoor rock seating spaces and a mini soccer field will be provided as well as an educational garden adjacent to the building facing Brian Good Ave. Space for 18 future portables is allocated in the play yard, complete with Fire Route and future allowance for a Fire Hydrant. Finally, planting will be also provided to screen the new Earth Bins (an alternative to the traditional fenced garbage enclosure) and a wood chip area will be provided for a future play structure and the bicycle parking areas

7. Sustainability

The site will feature storm water management. The site is designed to contain all major flows, ensured no ponding on hard surfaces for the 5-year event and no overland flow for all storms up to and including the 100-year event. A 100 year + 20% stress test event was checked to ensure that water level doesn't touch any part of the building and remains below the lowest building opening.

The stormwater management for this site ultimately ends up in the downstream stormwater management pond # 5 for Riverside South community west of River road. Our understanding is that storm water quality control is provided at pond # 5 therefore OGS unit was not proposed at the school site.

The building structure will be designed to accommodate a future solar array and will feature bird safe glazing at the corner of windows and near the naturalized area.

A large number of trees will be planted throughout the site. Finally, a white roof is being specified to reduce the heat island effect.

The site will be serviced by OC Transpo in the near future as the developer's plans show bus stops along both Solarium Ave and Brian Good Ave.

PLANNING RATIONAL

1. Application Submission

The purpose of this application is to gain Site Plan Approval for a single storey elementary school. The building is planned to accommodate up to 392 students, 40 child care spaces and approximately 46 staff, with potential future expansion up to 18 portables. The proposed gross building area is 4,639sm. A total of 59 parking spaces is proposed with a further 28 spaces for future, in accordance with the Zoning Bylaw. The lot area is 27,422sm.

2. Contextual Analysis

The site is located at the intersection of Solarium Avenue and Brian Good Avenue in Ottawa. The legal description is "Block 214 on Plan 4M-1672 (subject to an Easement in Gross over Parts 74-75 on 4R-33410) City of Ottawa". The corner site is bounded by Solarium ave to the South, Brian Good Ave to the East, Residential lots to the West and Atrium Park to the North. Residential lots are also across both streets. The site is situated within Ward 22 of the City of Ottawa.

The current proposal is on vacant land. Based on historical searches, the site was used for agricultural purposes. The site has already been cleared of all trees. The topography is fairly flat. The phase 1 Environmental Site Assessment indicates no contamination. The site currently

has easements for turnarounds put in place by the City of Ottawa. The client is currently in the process of requesting the removal of the easements as the roads have not been opened.

The main road linkages to the site are Earl Armstrong to Spratt from the East, and Strandherd to River Rd from the West. The entire development continues to grow and is under construction.

The site is currently not serviced by OC Transpo; bus route 299 runs along Rideau and bus route 278 runs along Earl Armstrong. However, the developer's site plan illustrates future bus stops at the corner of the site along both Solarium Ave and Brian Good Ave. Therefore the site will be serviced by OC Transpo in the near future!

The following map illustrates the context surrounding the site. Refer to Design Brief maps and photos for more details.



3. The Proposal

The design will be modern and playful with bright colours to reflect the users of the building. The front of the building is facing Solarium Ave and will feature a large canopied entrance with wood look siding in its protected area, warmly welcoming visitors and pedestrians. The administration block in combination with the entrance vestibule will feature an angled roof line directing visitors to the entrance and coloured sun shades will be included at the admin block windows. The side entrances will have smaller areas of the welcoming wood tones to highlight the entry points. A parking lot for automobiles with 87 spaces (including future spaces to suit

the growth of the school) will be provided at the South West corner of the site, from which the Childcare entrance will be easily accessible. It features a drop off loop for parents, and short term parking for the child care.

The site will feature a school bus lay by along Brian Good Ave utilizing the sidewalk as the loading/unloading area. The design also proposes a layby along Solarium Ave to accommodate parent drop off. Outdoor seating areas and a mini soccer field will be provided as well as an educational garden adjacent to the building facing Brian Good Ave. Space for a future addition or 18 portables is allocated in the play yard. Finally, planting will be also provided to screen the new Earth Bin location and a wood chip area will be provided for a future play structure

The building has a maximum height of 7.65m at the gymnasium (located at the centre of the building) and will be clad in a combination of cream/grey panels with many highlights of colours on each elevation, with angled reveals and contrasting textures to break up the long massing of the building warm tones of brick and architectural block. The windows will have a black aluminum finish to match the neighboring homes.

Site lighting will be carefully considered, with respect to the City's night sky policy, and requirement for full cut off angle for site lighting at property lines. Wall packs will be provided for security lighting and the new entrance canopies will have soffit lighting.

Additional trees will be planted throughout the play yard and shrub and/or perennial beds will be created along the building façade.

A Pre-Consultation meeting took place on 25 July 2022 with City staff. This project is subject to the Urban Design Review Panel.

The massing, size and architectural language of the façade will most likely differ from adjacent properties. The building is intended to be a landmark within the neighbourhood and will stand out as a hub of activity.

4. Policy Justification

The proposal is consistent with the Planning Act and Provincial Policy Statement as it follows the City of Ottawa Zoning.

The Official Plan (OP) for this site is General Urban Area (Official Plan, Schedule B, Urban Policy Plan). "The General Urban Area designation permits the development of a full range and choice of housing types ...with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses" (Volume 1, Urban Plan, 3.6.1-General Urban Area.) The site is zoned I1A/R4Z – Minor Institutional Zone, which permits schools, as proposed. The application therefore conforms to all applicable zoning regulations.

We are not aware of any potential environmental issues. Please refer to Phase 1 Study prepared by Stantec.

The Riverside South Community Design Plan (2016) was reviewed for design guidelines. Our design meets all guidelines for schools as listed below:

6.5 Schools Built Form

Siting Criteria

- Building fronts should be oriented to the street line.
- Walkways should be used to connect entries to parking areas, bus loading areas and to the public sidewalk.
- Parking areas are to be located at the rear or sides of buildings, preferably in view from the street. Consistent with BBSS directions, bus loading will be provided through lay-bys within road ROW's. Where this cannot be achieved, bus loading areas may be located in the front or flankage side yard where necessary.
- Buildings on corner sites should be located close to the corner to reinforce the street edge.

Building Elevations

- Elevations should be of high quality architectural design.
- Entries should be highly articulated.
- Elevations facing a parking area should have windows to allow casual surveillance.

There is no requirement for this property to address the *Ontario Heritage Act* as the property is not located in a Heritage Conservation District.

5. Applicant's Public Consultation Strategy

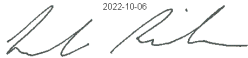
The OCSB's public consultation strategy includes:

- Project sign on site
- Local OCSB schools have been circulated notice of a new school at this location
- The Ministry of Education's announcement for funding for a new school at this site
- The developer's site plan to all new home owners indicating land set aside for new school
- The OCSB will hold a public consultation prior to the school's opening.

6. Conclusion

The proposal is good planning and should be considered and approved because it is consistent with the Planning Act and Provincial Policy Statement as it follows the City of Ottawa Zoning. It is contextually appropriate for its use with its neighbors in, massing, and materiality, and will form an institutional destination as per the Official Plan's designation of General Urban Area.

Sincerely,

 2022-10-06



Isabel Richer
PYE & RICHARDS – TEMPRANO & YOUNG ARCHITECTS INC.

cc: Randy Leafloor, OCSB