

SITE PLAN OF SURVEY PLAN PART 1 PLAN OF LOT 25 REGISTERED PLAN 523, CITY OF OTTAWA

ZONING: R1GG REZONED TO R5B

PROPOSED BUILDING TYPE: 5 STOREY, MID-RISE RENTAL BUILDING  
21 RESIDENTIAL RENTAL UNITS

LOT DEPTH: 34.39m (112.83ft)

ADJACENT ZONING:  
NORTH: R1GG  
SOUTH: R1Y522  
WEST SIDE: R1FF  
EAST SIDE: R3M(1710)

SCHEDULE 1 AREA: AREA 'C'  
SCHEDULE 1A AREA: AREA 'C'

LOT INFO - AFTER ZONING AMENDMENT - ALL MEASUREMENTS MADE TO ROW

E. STANDARD	3055 RICH. REQUIRED	3055 RICH. PROPOSED	EXISTING SINGLE	NOTES
LOT WIDTH:	15m	35.44m	42.85m	
LOT AREA:	540m <sup>2</sup>	894.88m <sup>2</sup>	1027.5m <sup>2</sup>	
HEIGHT:	14.5m	15.9m	<6.0m	Ammand.
FRONT YARD:	3.0m	3.04m	10.83m	
CORNER YARD:	n/a	n/a	n/a	
REAR YARD:	7.5m	8.54m	17.81m	
INTERIOR YARD:	7.5m	3.00m	0.34m	Ammand.
AMENITY AREA:	125m <sup>2</sup>	394.9m <sup>2</sup>	n/a	339.2m <sup>2</sup> COMM.
PARKING SPACES:	25 res. 4 visitor	0 1	1 1	Ammand.
BIKE SPACES:	11	26	0	
AGG. FRONT LAND:	40%	79.4%	0	
ALL L.C.	NO MAX.	n/a	n/a	
FIRST FL. HABITABLE SPACE	40m <sup>2</sup>	419.4m <sup>2</sup>	n/a	

BUILDING AREAS

BASEMENT FL. GFA:	-	0m <sup>2</sup>
FIRST FL. GFA:	-	273.0m <sup>2</sup>
SECOND FL. GFA:	-	331.6m <sup>2</sup>
THIRD FL. GFA:	-	331.6m <sup>2</sup>
FOURTH FL. GFA:	-	288.8m <sup>2</sup>
STORAGE:	-	57.6m <sup>2</sup>
GARAGE/CARPORT:	-	285.5m <sup>2</sup>
EXITS/CORR. (ALL FLOORS):	-	340.1m <sup>2</sup>
TOTAL GFA:	-	1205.0m <sup>2</sup>
TOTAL ALL AREAS:	-	1830.0m <sup>2</sup>

PROPOSED SITE DEVELOPMENT INFO.

NEW GROSS FLOOR AREA:	1205.0m <sup>2</sup>
EX. GROSS FLOOR AREA:	0.0m <sup>2</sup>
NUMBER OF UNITS:	21
PROPOSED STOREYS:	5

BUILDING COVERAGE:

SOFT LANDSCAPING CVG.:	41.2%
HARD LANDSCAPING CVG.:	39.2%
DECKS/PORCH/STEPS:	7.8%
ASPHALT CVG.:	0.0%
OTHER:	10.4%

SURVEY INFO.

SURVEY INFO TAKEN FROM  
SURVEYORS REAL PROPERTY REPORT  
PART 1, PLAN OF LOT 25, REGISTERED PLAN 523, CITY OF OTTAWA  
PREPARED BY:  
ANNIE O'SULLIVAN, VOLLEBEK LTD  
DEC. 20, 2021

EX. TREE TO BE REMOVED

NEW CONIFEROUS TREE

DENOTES SOFT LANDSCAPING

DENOTES HARD LANDSCAPING

EXISTING BUILDING FOOTPRINT

PROPOSED RIVERSTONE

PROPOSED ASPHALT DRIVEWAY

PROPOSED WOOD DECKS/ BALCONIES

CAR PARKING SPACE (ASPHALT)

BYCYCLE PARKING (ASPHALT)

WASTE COLLECTION AREA

SNOW STORAGE AREA

PROPOSED/EXISTING ENTRY/EXIT

PF — TEMPORARY PROTECTION FENCE

EX. UTILITY POLE

EX. CHAINED LINK/BOARD FENCE

PROPERTY LINE

MOTION SENSING EXT. LIGHTS

WASTE COLLECTION LEGEND

GB 2YD GARBAGE CONTAINER

BB 360L FIBRE CONTAINER

B 360L GML CONTAINER

G 240L ORGANICS

PRIVATE COLLECTION

SITE NOTES

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES

EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY

ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL

ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)

EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

EXISTING PLANTING MATERIAL

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION	NOTES
DECIDUOUS TREES					
CONIFEROUS TREES					
SHRUBS					

NEW PLANTING MATERIAL

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION	NOTES
DECIDUOUS TREES					
DT1	RED MAPLE	2	50mm Cal.		
CONIFEROUS TREES					
SHRUBS					

TREE CONSERVATION NOTES

1. ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.

2. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.

3. DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.

4. DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.

5. TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.

6. DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.

7. ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

\* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.

\* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

3

KEY PLAN & CONTEXT

A1

SCALE

NO SCALE

ISSUED FOR ZONING AMMEND.  
AUGUST 16, 2025

1 SITE PLAN  
A1 SCALE 3/32" = 1'-0"

UNPOISED ARCHITECTURE INC.  
5-16 SWETLAND AVE.  
OTTAWA, ON K1N 7T6  
AZUL DESIGNS  
2277 PROSPECT AVE.  
OTTAWA, ON K1M 1G2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER

COPYRIGHT RESERVED  
GENERAL NOTES:

OWNER/CLIENT/OWNER:  
FARRELL/EMERSON  
1000 RIVERVIEW DR. SUITE 100  
OTTAWA, ON K2H 1S5

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC.  
5-16 SWETLAND AVE.  
OTTAWA, ON K1N 7T6

APPLICABLE PLANNER:  
WEST CANADA INC.  
201 GARDENWAY DR. SUITE 300  
OTTAWA, ON K2H 9K2

CIVIL ENGINEER:  
CJA JENSEN ENGINEERING INC.  
1000 RIVERVIEW DR. SUITE 100  
OTTAWA, ON K2H 1S5

LANDSCAPING:  
AZUL DESIGNS  
P.O. Box 427, Station T  
OTTAWA, ON K1N 7T6

SURVEYOR:  
ANNIE O'SULLIVAN, VOLLEBEK LTD  
10 CONSUMERS DRIVE SUITE 300  
OTTAWA, ON K2H 1S5  
AGE 708

CONSULTANTS:

STRUCTURAL: TSD	MIDV
5	REVISOR SITE PLAN 09/28/25
4	REVISOR SITE PLAN 09/28/24
3	REVISOR SITE PLAN 09/28/22
2	REVISOR SITE PLAN 09/28/22
1	PRELIMINARY 04/12/22

NO. REVISION/REUSE DATE

PROJECT: 3055 RICHMOND RD.

3055 RICHMOND RD.  
OTTAWA, ON K2H 1S5  
613-000-0000

DRAWING NAME: SITE PLAN

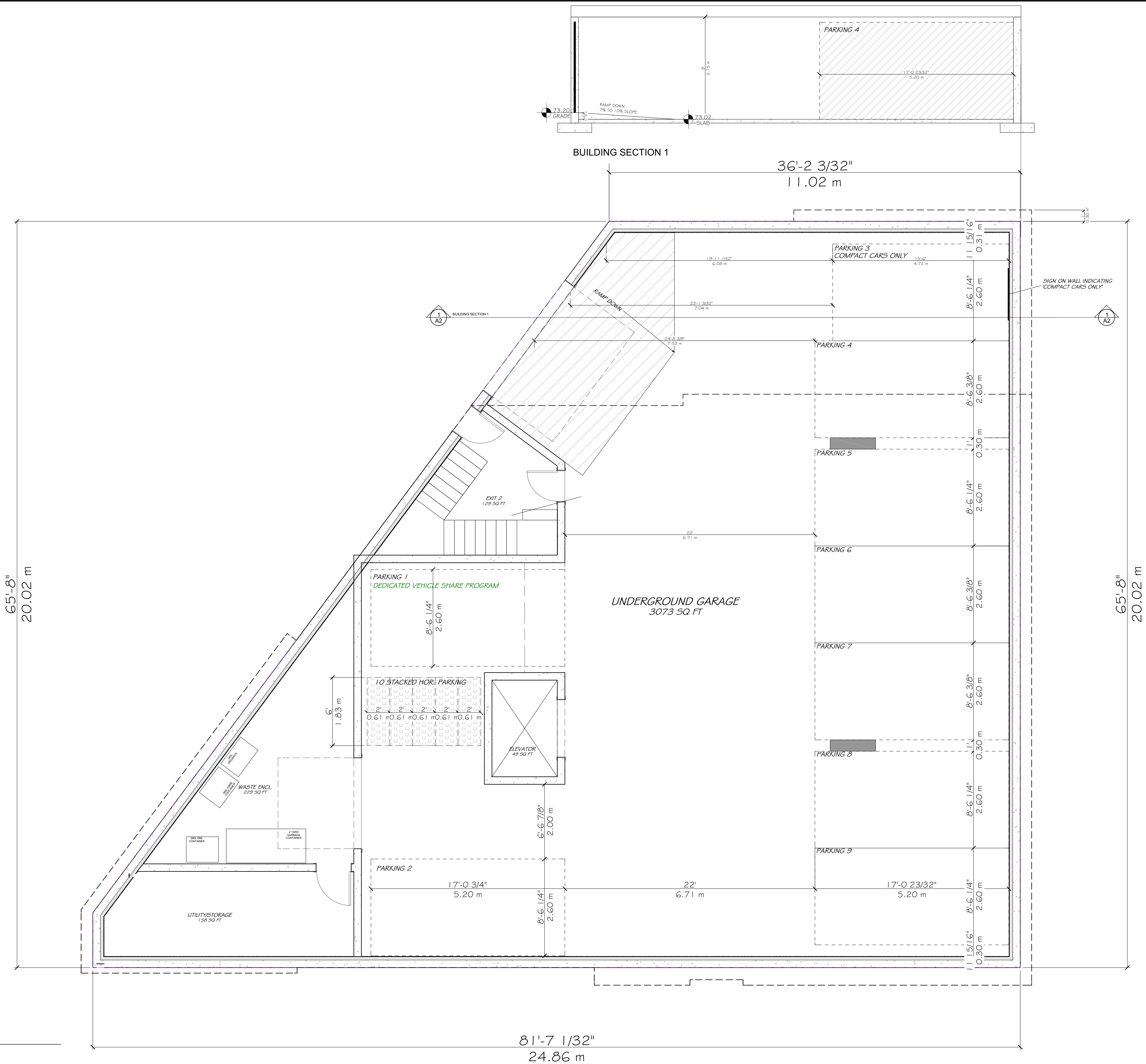
DRAWN BY: F.M. SHEET: A1

DATE: APRIL 12, 2022

SCALE: AS NOTED

FILE NUMBER: D07-12-22-0147





1 BASEMENT PLAN  
A2 SCALE 1/4" = 1'-0"

UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T6  
AZUL DESIGNS  
2277 PROSPECT AVE.  
OTTAWA, ON K1H 1G2

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COPYRIGHT RESERVED  
GENERAL NOTES:

# 3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:  
PARADELLER INC.  
1000 DUNDAS ST. W.  
OTTAWA, ON K1G 1S5

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T6

ARCHITECT PLANNER:  
WEST CANADA INC.  
2211 CARRINGTON DR. SUITE 300  
OTTAWA, ON K2H 9K2

CIVIL ENGINEER:  
C.B. TOWN ENGINEERING INC.  
100 CARRINGTON CIRCLE  
OTTAWA, ON K1T 1G3

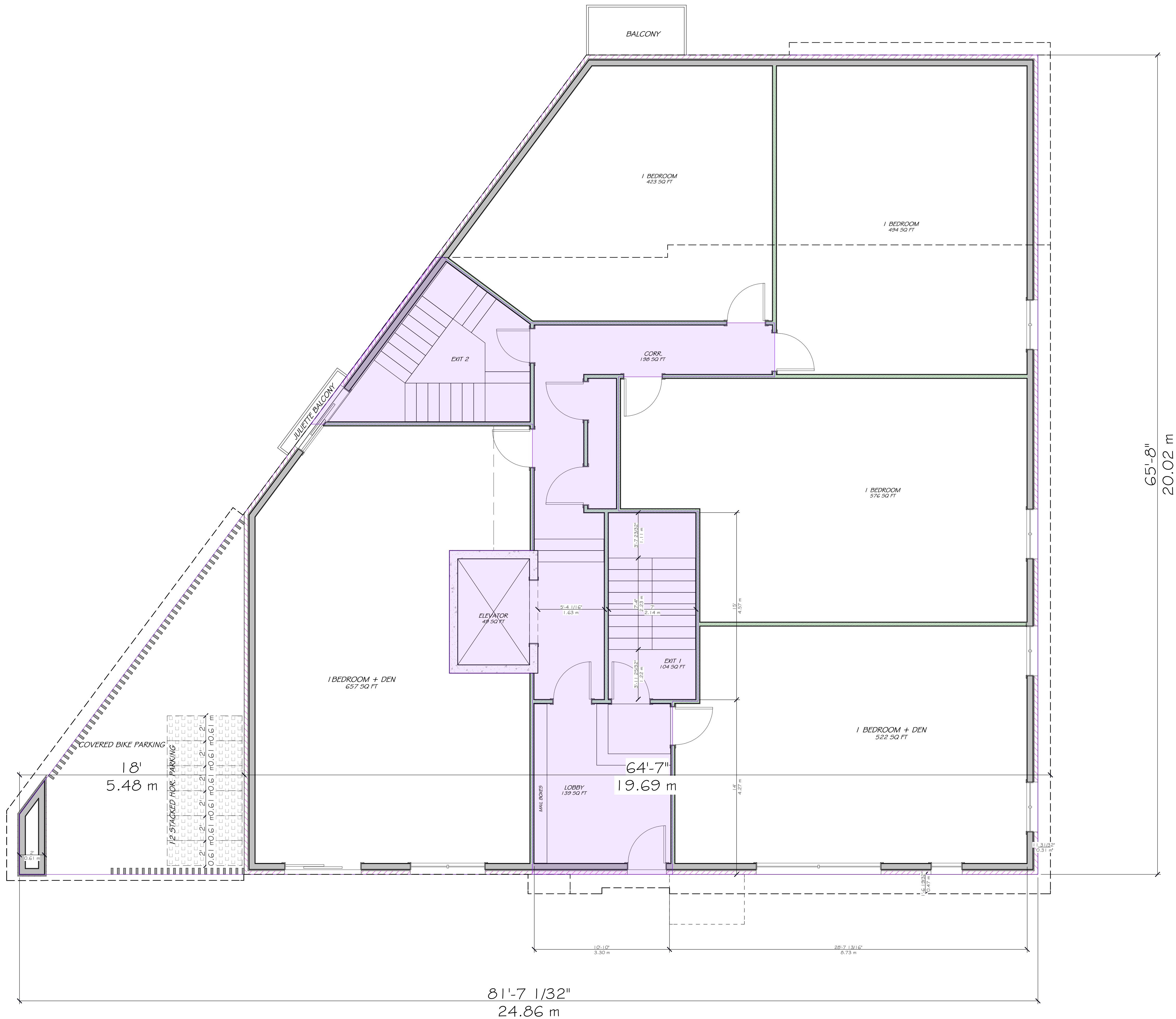
LANDSCAPING:  
L.P. & S. ASSOCIATES  
P.O. Box 427, Station T  
OTTAWA, ON K1H 1B0

SURVEYOR:  
ANDR. OSULLIVAN, VOLLBERG LTD.  
10 CONQUEST DRIVE, SUITE 301  
OTTAWA, ON K2H 7G8

CONSULTANTS:		
STRUCTURAL: TSD		MDY
MECHANICAL: TSD		
ELECTRICAL: TSD		
5	REVISED SITE PLAN	09/2025
4	REVISED SITE PLAN	09/2024
3	REVISED SITE PLAN	08/2022
2	REVISED SITE PLAN	07/2022
1	PRELIMINARIES	04/2022
NO.	REVISION/ISSUE	DATE
PROJECT: 3055 RICHMOND RD.		
3055 RICHMOND RD. OTTAWA, ON K2H 8S8		
DRAWING NAME: FLOOR PLANS		
DRAWN BY: F.M.	SHEET: A2	
DATE: APRIL 12, 2022		
SCALE: AS NOTED		

FILE NUMBER: D074222-0147





UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T6

AZUL DESIGNS  
2777 PROSPECT AVE.  
OTTAWA, ON K1H 1G2

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GENERAL NOTES:

# 3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE  
RENTAL BUILDING - 21 UNITS

**OWNER/DEVELOPER:**  
FARBER DEVELOPMENT  
1855 MCNICOLL RD  
OTTAWA, ON K2B 1S6

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON  
K1N 7T6

**APRIL/PLANNING:**  
WEST CANADA INC.  
2511 GARDENWAY DR. SUITE 300  
OTTAWA, ON  
K2B 9K2

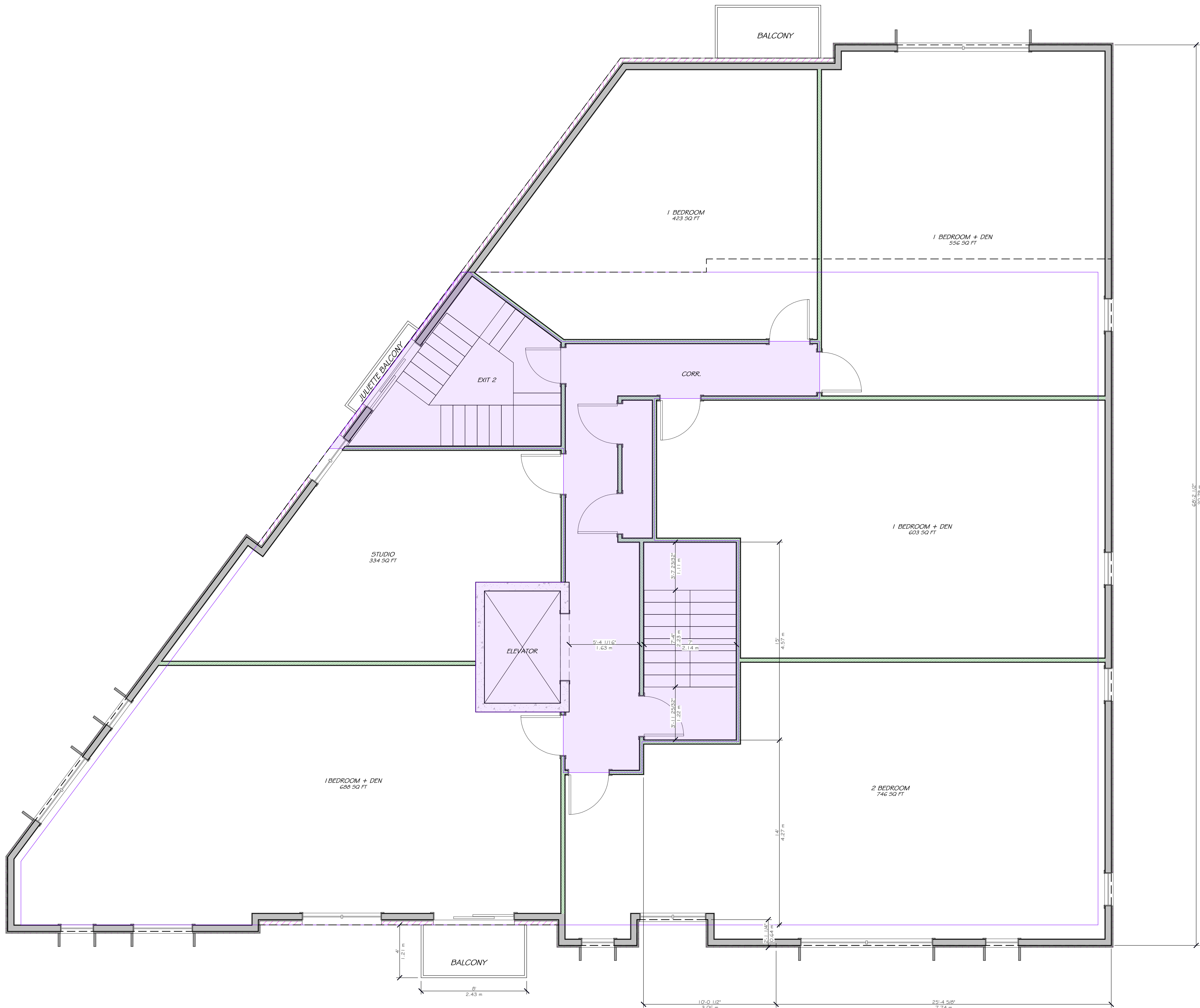
**CIVIL ENGINEER:**  
C.B. 1504 PAPERBERRY INC.  
100 LINDENHURST CIRCLE  
OTTAWA, ON  
K1T 1G3

**LANDSCAPING:**  
LORNA G. GORDON  
P.O. Box 627, Station T  
OTTAWA, ON  
K1N 1H1

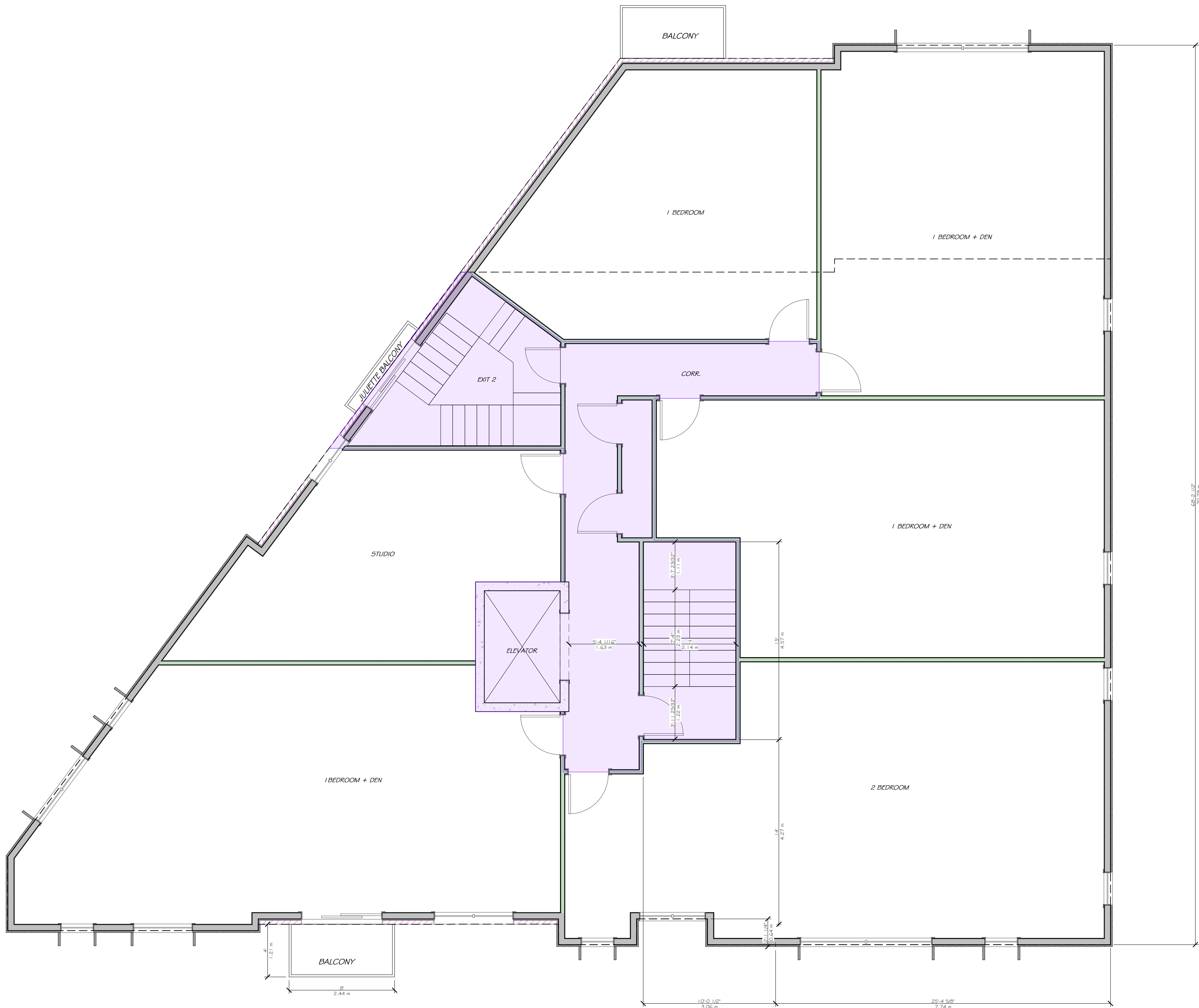
**SURVEYOR:**  
ARND, OSALUWAN, VOLLEBAEK LTD  
10 CONQUEST DRIVE, SUITE 301  
OTTAWA, ON  
K2E 7G8

CONSULTANTS:		
STRUCTURAL TSO		
Mechanical TSO		
Electrical TSO		
5	REVISED SITE PLAN	09/2025
4	REVISED SITE PLAN	09/2024
3	REVISED SITE PLAN	08/2022
2	REVISED SITE PLAN	07/2022
1	PRELIMINARIES	04/2022
NO.	REVISION/ISSUE	DATE
PROJECT: 3055 RICHMOND RD.		
3055 RICHMOND RD.		
OTTAWA, ON K2B 1S6		
DRAWING NAME: FLOOR PLANS		

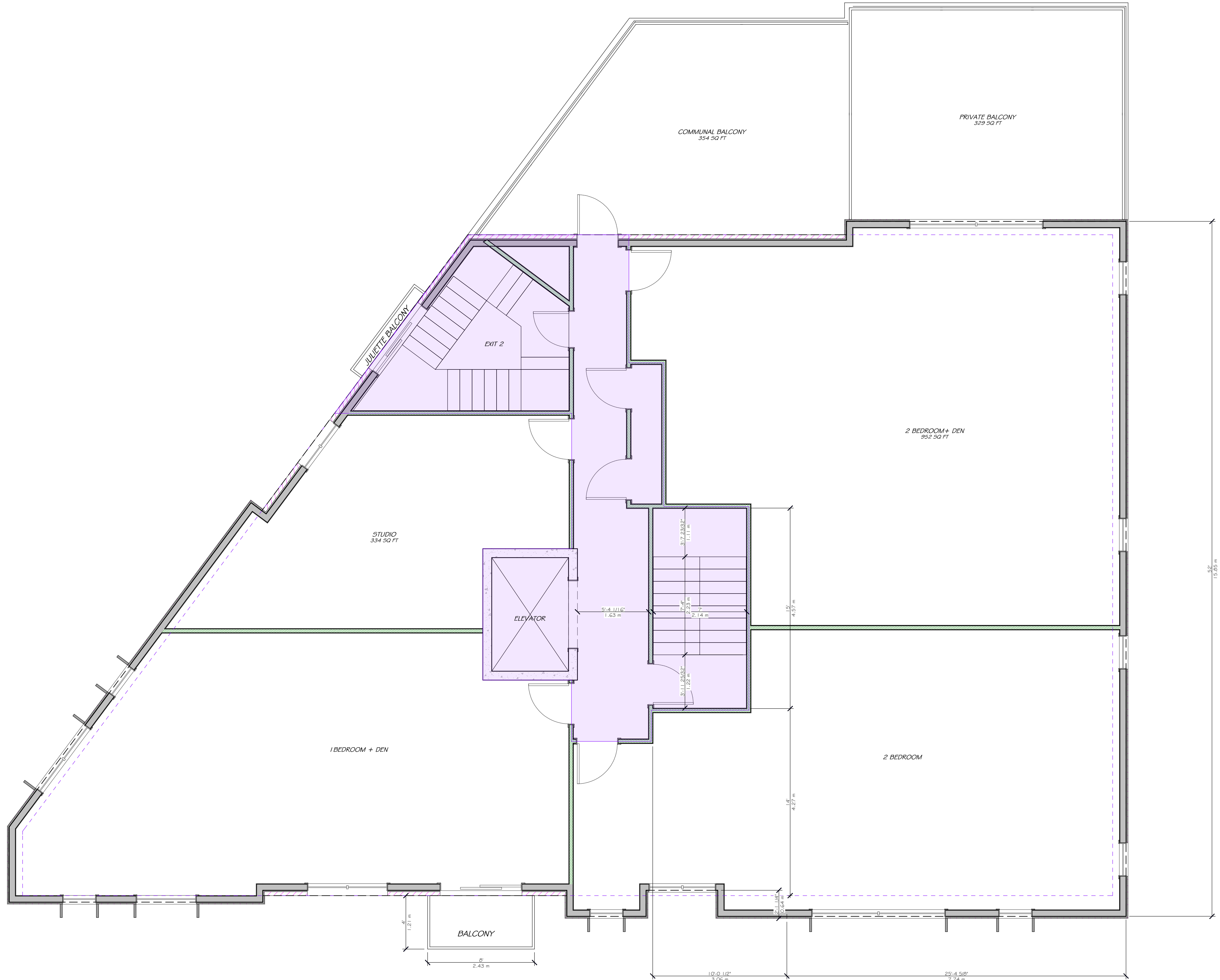












UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T6  
AZUL DESIGNS  
2777 PROSPECT AVE.  
OTTAWA, ON K1H 1G2

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COPYRIGHT RESERVED  
GENERAL NOTES:

# 3055 RICHMOND ROAD

## SCOPE OF WORK: NEW 5 STOREY MID RISE RENTAL BUILDING - 21 UNITS

**OWNER/DEVELOPER:**  
FARBER DEVELOPMENT  
1800 MCNICOLL RD  
OTTAWA, ON  
K2B 1S6

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON  
K1N 7T6

**APPLICANT/PLANNER:**  
WEST CANADA INC.  
2511 GARDENWAY DR. SUITE 300  
OTTAWA, ON  
K2B 9K2

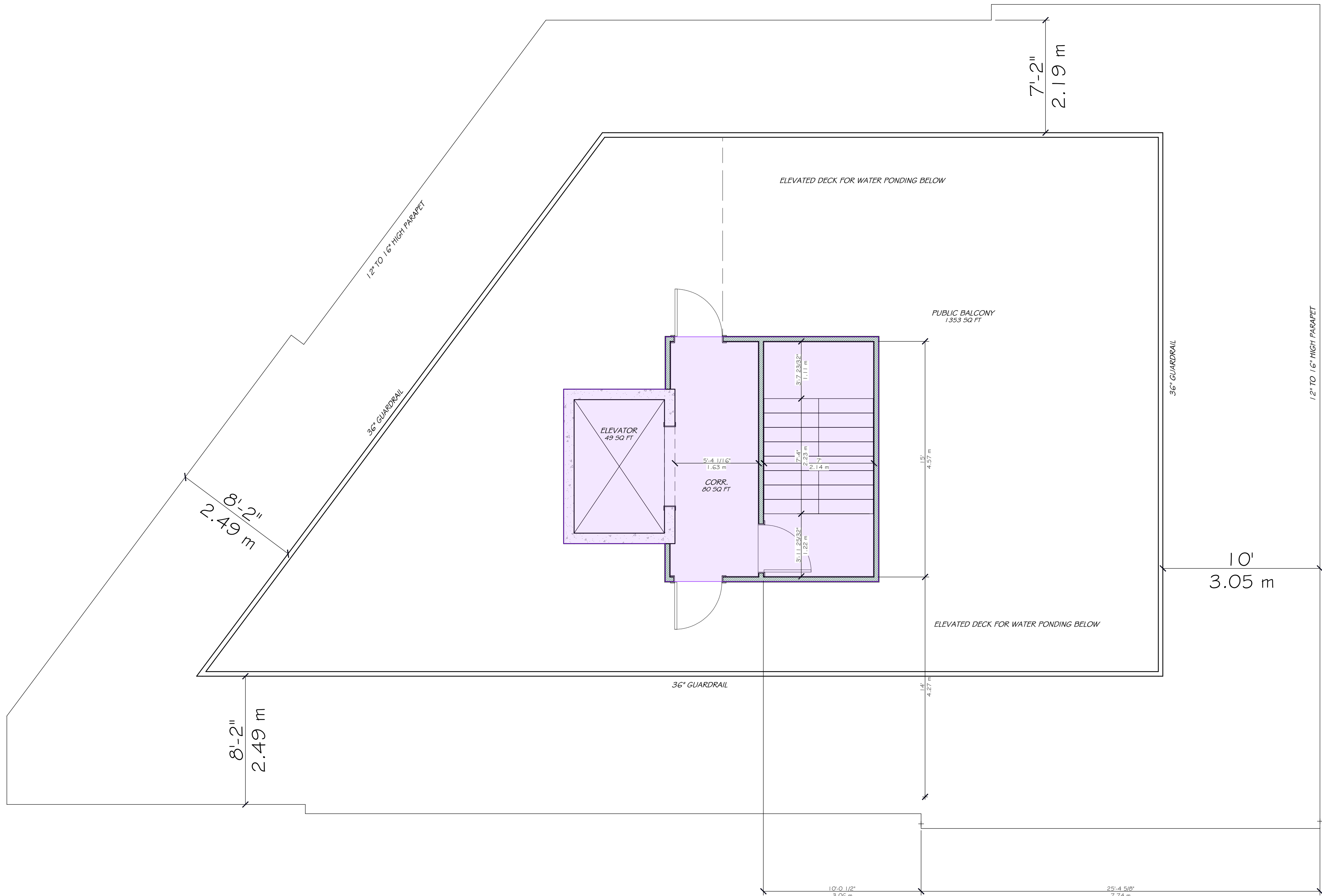
**CIVIL ENGINEER:**  
C.B. 1994 ENGINEERING INC.  
100 LINDENHURST CIRCLE  
OTTAWA, ON  
K1T 1G3

**LANDSCAPING:**  
L.P. & S. ASSOCIATES  
P.O. Box 627, Station T  
OTTAWA, ON  
K1N 1H1

**SUPERVISOR:**  
ANIR, OSALIMAN, VOLLEBAEK LTD  
10 CONQUEST DRIVE, SUITE 301  
OTTAWA, ON  
K2E 7G8

CONSULTANTS:		
STRUCTURAL, T&E	MECHANICAL, T&E	
ELECTRICAL, T&E	MECHANICAL, T&E	
NO.	REVISION/ISSUE	DATE
5	REVISED SITE PLAN	09/28/25
4	REVISED SITE PLAN	09/28/24
3	REVISED SITE PLAN	08/09/22
2	REVISED SITE PLAN	07/29/22
1	PRELIMINARY	04/12/22
NO.	REVISION/ISSUE	DATE
PROJECT:	3055 RICHMOND RD.	
	3055 RICHMOND RD.	
	OTTAWA, ON K2B 1S6	
DRAWING NAME:	FLOOR PLANS	
DRAWN BY:	F.M.	SHEET:
DATE:	APRIL 12, 2022	A6
SCALE:	AS NOTED	





UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON K1N 7T6

AZUL DESIGNS  
2377 PROSPECT AVE.  
OTTAWA, ON K1H 1G2

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GENERAL NOTES:

# 3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE  
RENTAL BUILDING - 21 UNITS

**OWNER/DEVELOPER:**  
FARBER ELMENDORF  
1855 MCNICOLL RD  
OTTAWA, ON K2B 1S6

**ARCHITECT/DESIGNER:**  
UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON  
K1N 7T6

**APPLICANT/PLANNER:**  
WEST CANADA INC.  
2311 GARDENWAY DR. SUITE 300  
OTTAWA, ON  
K2B 9K2

**CIVIL ENGINEER:**  
C.B. TROTT ENGINEERING INC.  
70 LINDENHURST CIRCLE  
OTTAWA, ON  
K1T 1G3

**LANDSCAPING:**  
LORNA SUTTON/STANIS  
P.O. Box 4207, Sault Ste  
OTTAWA, ON  
K1H 1H0

**SURVEYOR:**  
ANDR. OSULLIVAN, COLLEEN/DAVID  
14 CONQUEST DRIVE, SUITE 301  
OTTAWA, ON  
K2E 7G8

CONSULTANTS:		
STRUCTURAL: TRO		
MECHANICAL: TRO		
ELECTRICAL: TRO		
NO.	REVISION/ISSUE	DATE
5	REVISED SITE PLAN	09/28/25
4	REVISED SITE PLAN	09/28/24
3	REVISED SITE PLAN	08/09/22
2	REVISED SITE PLAN	07/29/22
1	PRELIMINARY	04/12/22

PROJECT: 3055 RICHMOND RD.  
3055 RICHMOND RD.  
OTTAWA, ON K2B 1S6

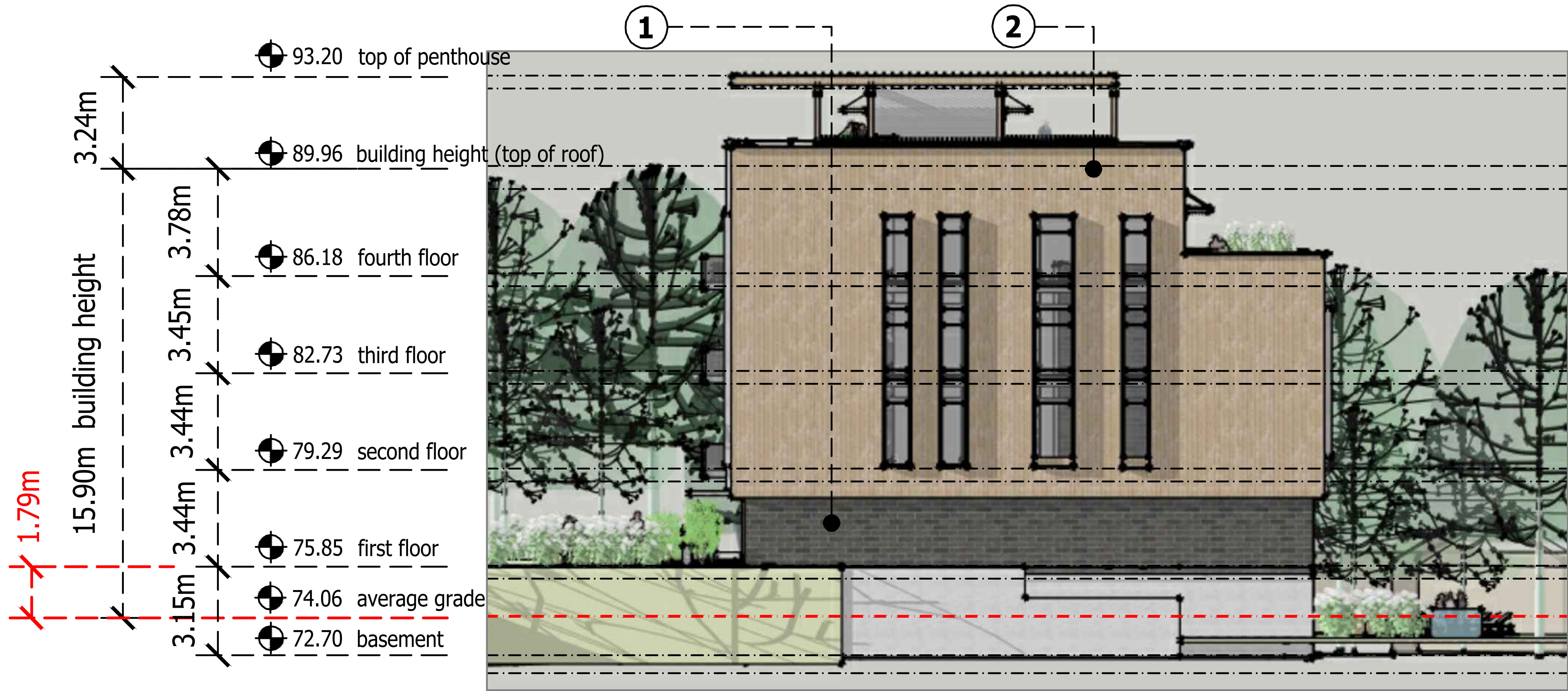
DRAWING NAME:  
FLOOR PLANS

DRAWN BY: F.M. SHEET: A7  
DATE: APRIL 12, 2022  
SCALE: AS NOTED



EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



east elevation



EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



north elevation



EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



3055 RICHMOND ROAD  
SCOPE OF WORK: NEW 5 STOREY MID RISE  
RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:  
PARADELL DEVELOPMENT  
1855 MCNICOLL RD  
OTTAWA, ON K1N 7T6  
KCB-185

ARCHITECT/DESIGNER:  
UNPOISED ARCHITECTURE INC.  
5-16 SWEETLAND AVE.  
OTTAWA, ON  
K1N 7T6

ARCHITECT PLANNER:  
WEST CANADA INC.  
2011 GARDENWAY DR. SUITE 300  
OTTAWA, ON  
K2B 9K2

CIVIL ENGINEER:  
C.B. TSENG ENGINEERING INC.  
70 LINDENHURST CIRCLE  
OTTAWA, ON  
K1T 4G3

LANDSCAPING:  
LORNA ACCORAMIA  
P.O. Box 427, Salem CT  
OTTAWA, ON  
K1S 1K1

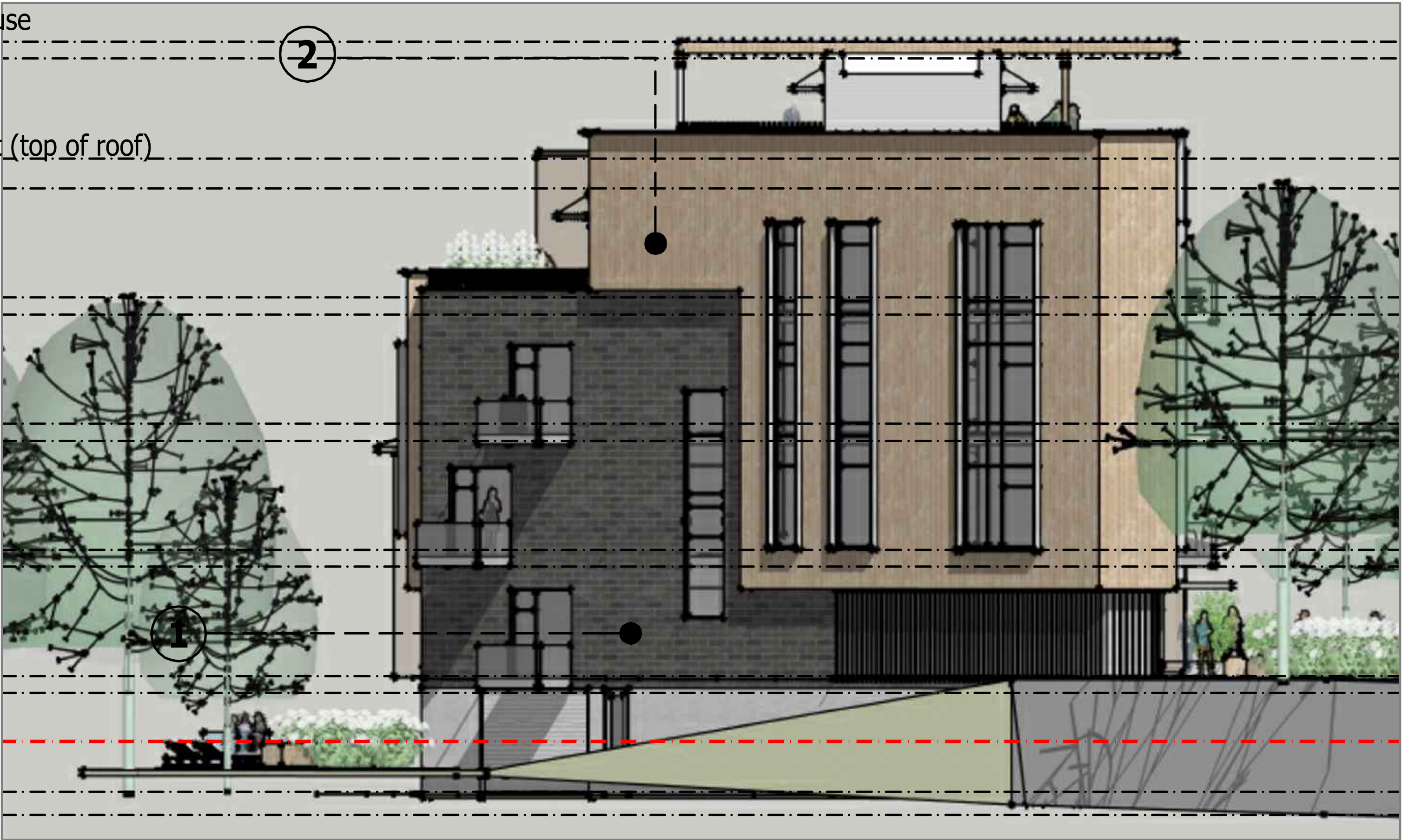
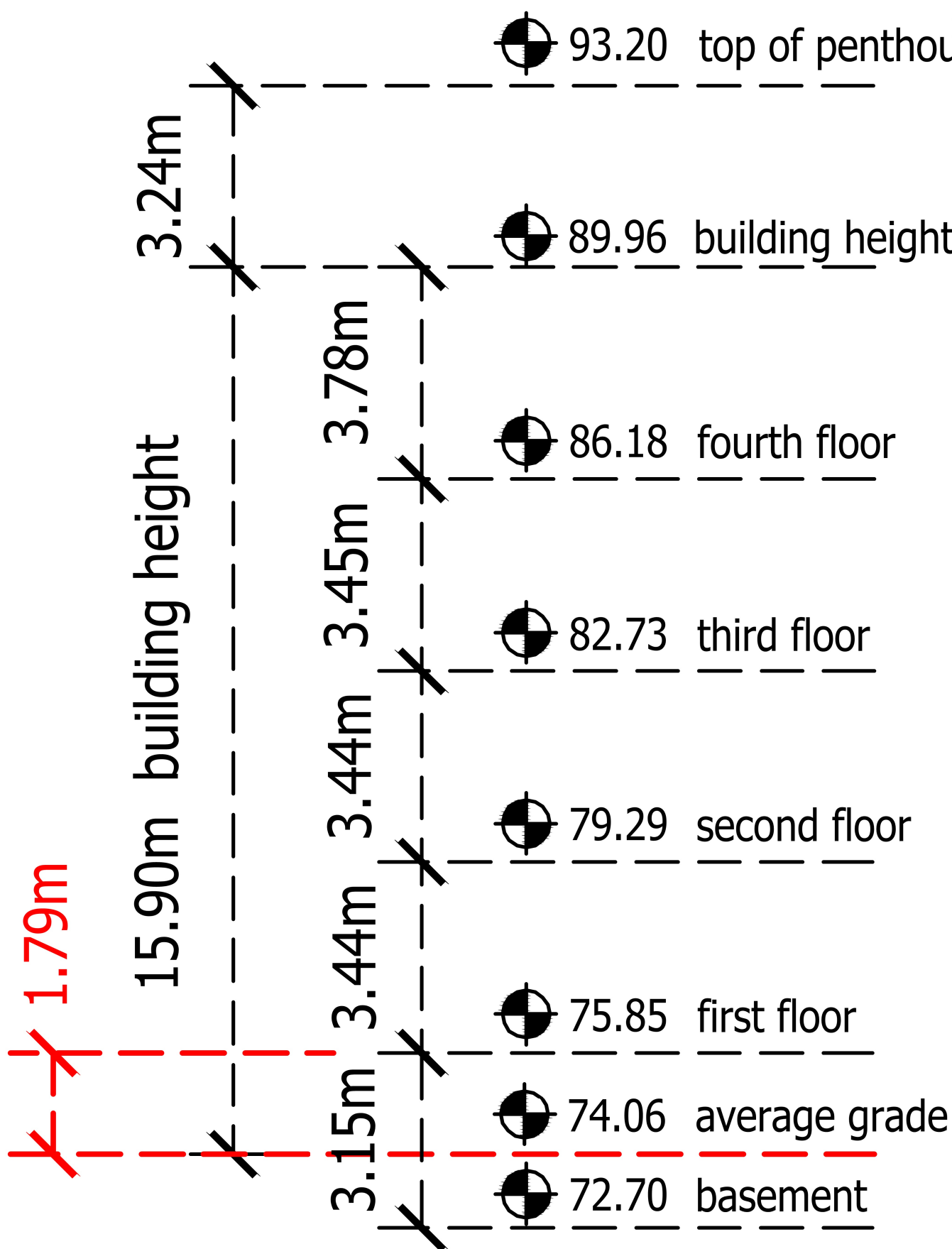
SUPERVISOR:  
ANDR. OSULLIVAN, COLLIERIAK LTD  
14 CONQUEST DRIVE, SUITE 301  
OTTAWA, ON  
K2E 7G8

CONSULTANTS:	
STRUCTURAL: TSD	
MECHANICAL: TSD	
ELECTRICAL: TSD	MDV
5	REVISED SITE PLAN 09/08/25
4	REVISED SITE PLAN 09/08/24
3	REVISED SITE PLAN 08/09/22
2	REVISED SITE PLAN 07/07/22
1	PRELIMINARIES 04/12/22
NO.	REVISION/ISSUE DATE
PROJECT: 3055 RICHMOND RD.	
3055 RICHMOND RD. OTTAWA, ON K2B 9K8	
DRAWING NAME: SOUTH ELEVATION	
DRAWN BY: F.M.	SHEET: A10
DATE: APRIL 12, 2022	SCALE: AS NOTED



EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



west elevation