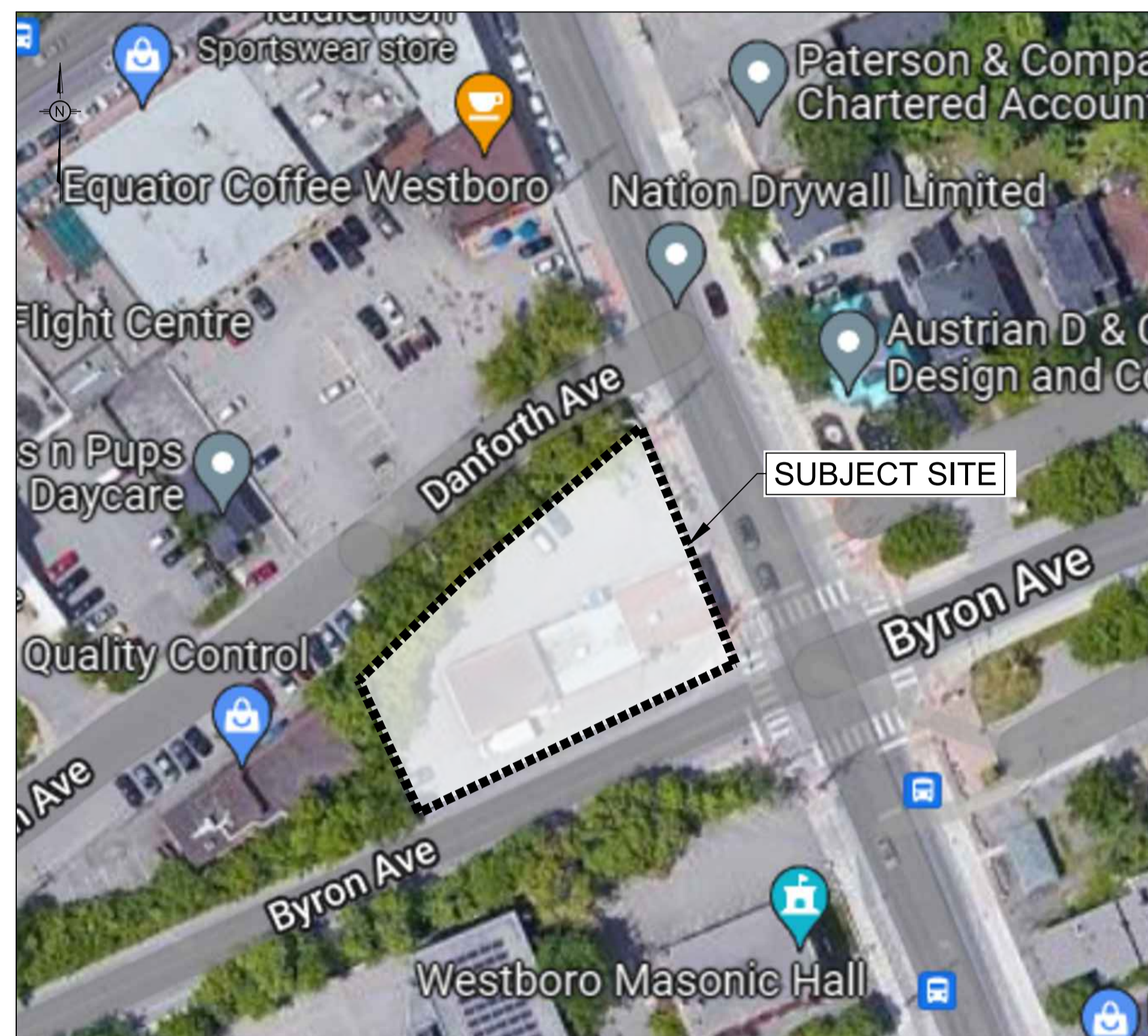


# PROPOSED 7 STOREY CONDO REDEVELOPMENT 424 CHURCHILL AVE, OTTAWA ON

## REVISION 1



KEY PLAN (N.T.S.)

DRAWING INDEX	
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POST-DEVELOPMENT WATERSHED PLAN	C702
CONSTRUCTION DETAIL PLAN	C901



# LRJ

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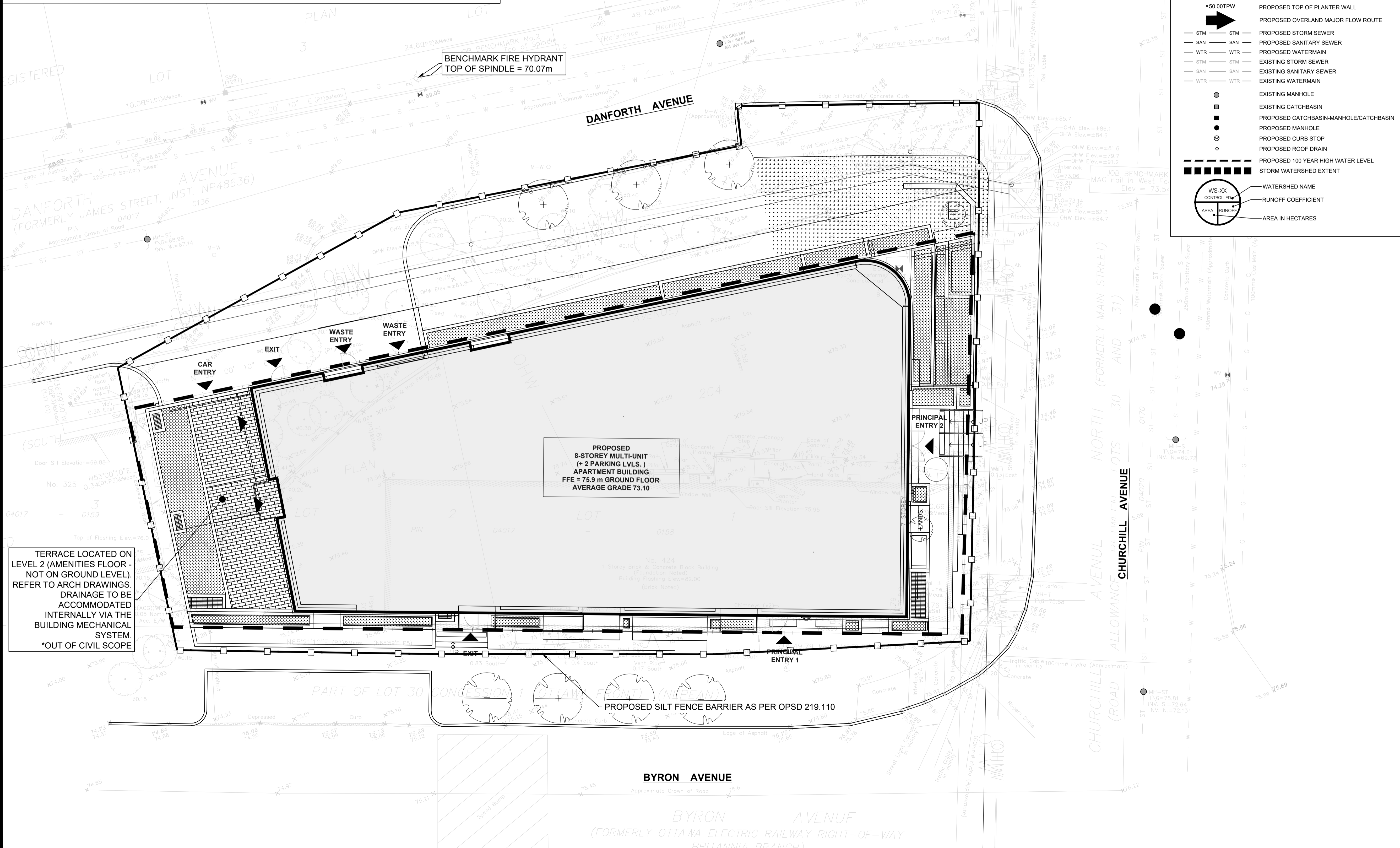
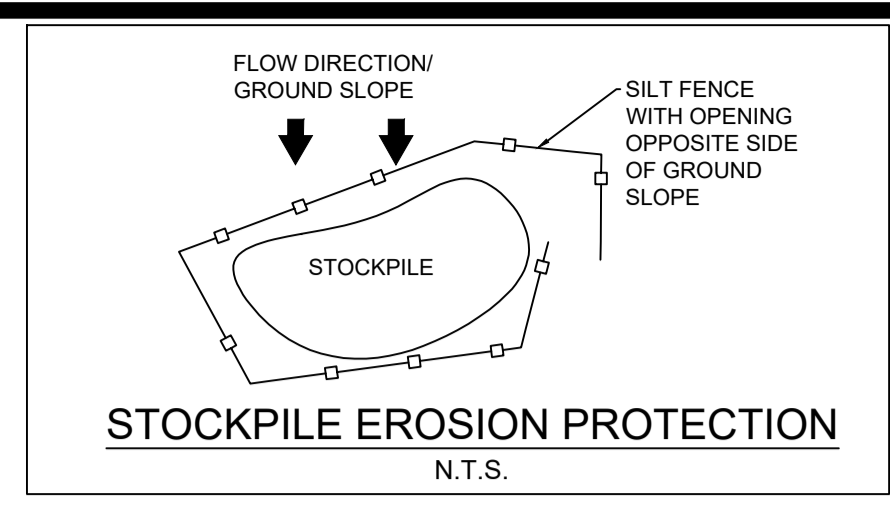
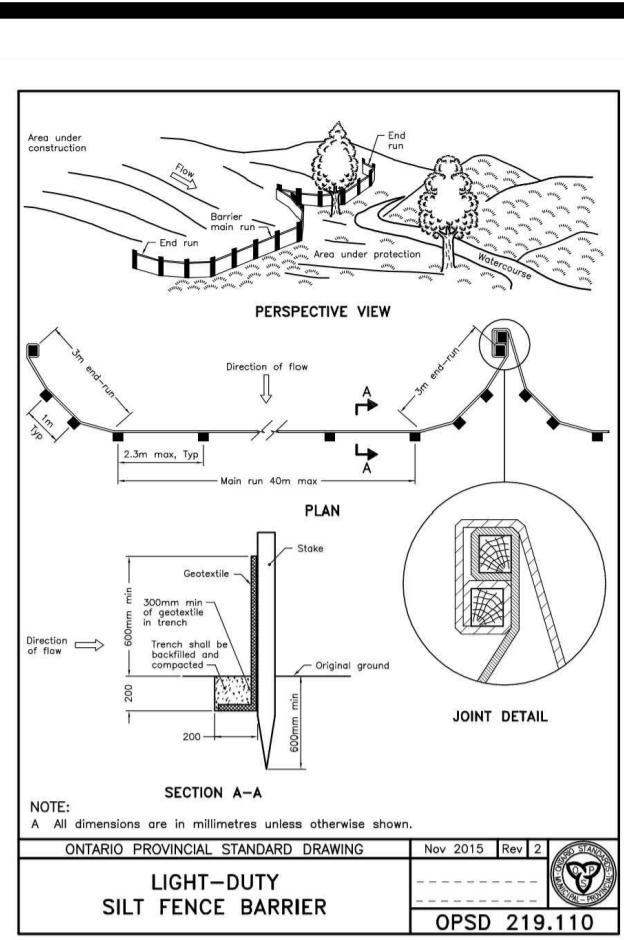
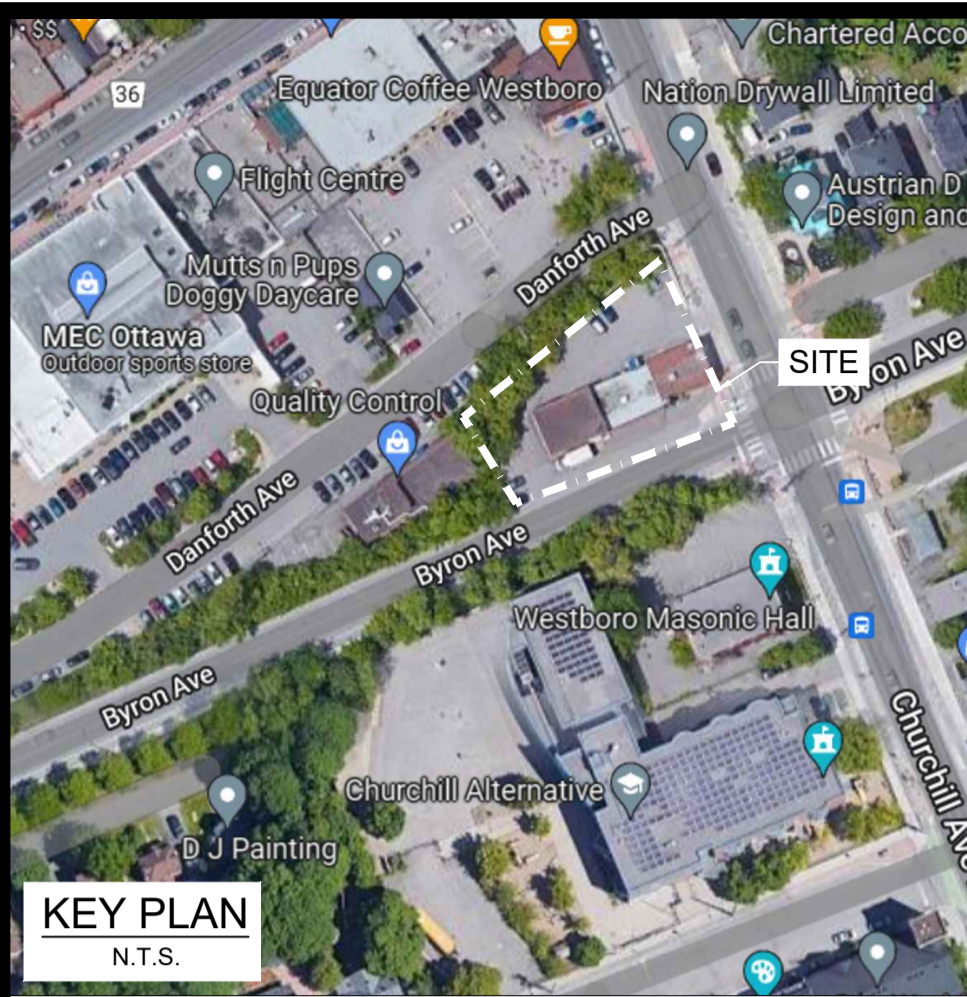
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lrl.ca | (613) 842-3434

PROPOSED 7 STOREY CONDO REDEVELOPMENT  
424 CHURCHILL AVE, OTTAWA ON  
ISSUED FOR APPROVAL - 11 OCT 2022  
LRL PROJECT no: 220224



NOT AUTHENTIC UNLESS SIGNED AND DATED





**LEGEND:**

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED SLOPE ELEVATION
	PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	PROPOSED TOP OF RETAINING WALL
	MATCH INTO EXISTING ELEVATION
	MATCH INTO EXISTING BOTTOM OF CURB
	MATCH INTO EXISTING TOP OF CURB
	PROPOSED TOP OF PLANTER WALL
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING MANHOLE
	PROPOSED CATCHBASIN
	PROPOSED MANHOLE
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	PROPOSED 100 YEAR HIGH WATER LEVEL
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	WATERSHED NAME
	RUNOFF COEFFICIENT
	AREA IN HECTARES

**USE AND INTERPRETATION OF DRAWINGS**

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

1:5m 0 3.0 6.0m  
SCALE: 1:125

**NOT FOR CONSTRUCTION TENDER OR PERMIT**

No.	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
REVISIONS	BY	DATE	



**LRJ**  
ENGINEERING | INGENIERIE  
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lri.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

DESIGNED BY: **A.S.** DRAWN BY: **A.O.** APPROVED BY: **V.J.**

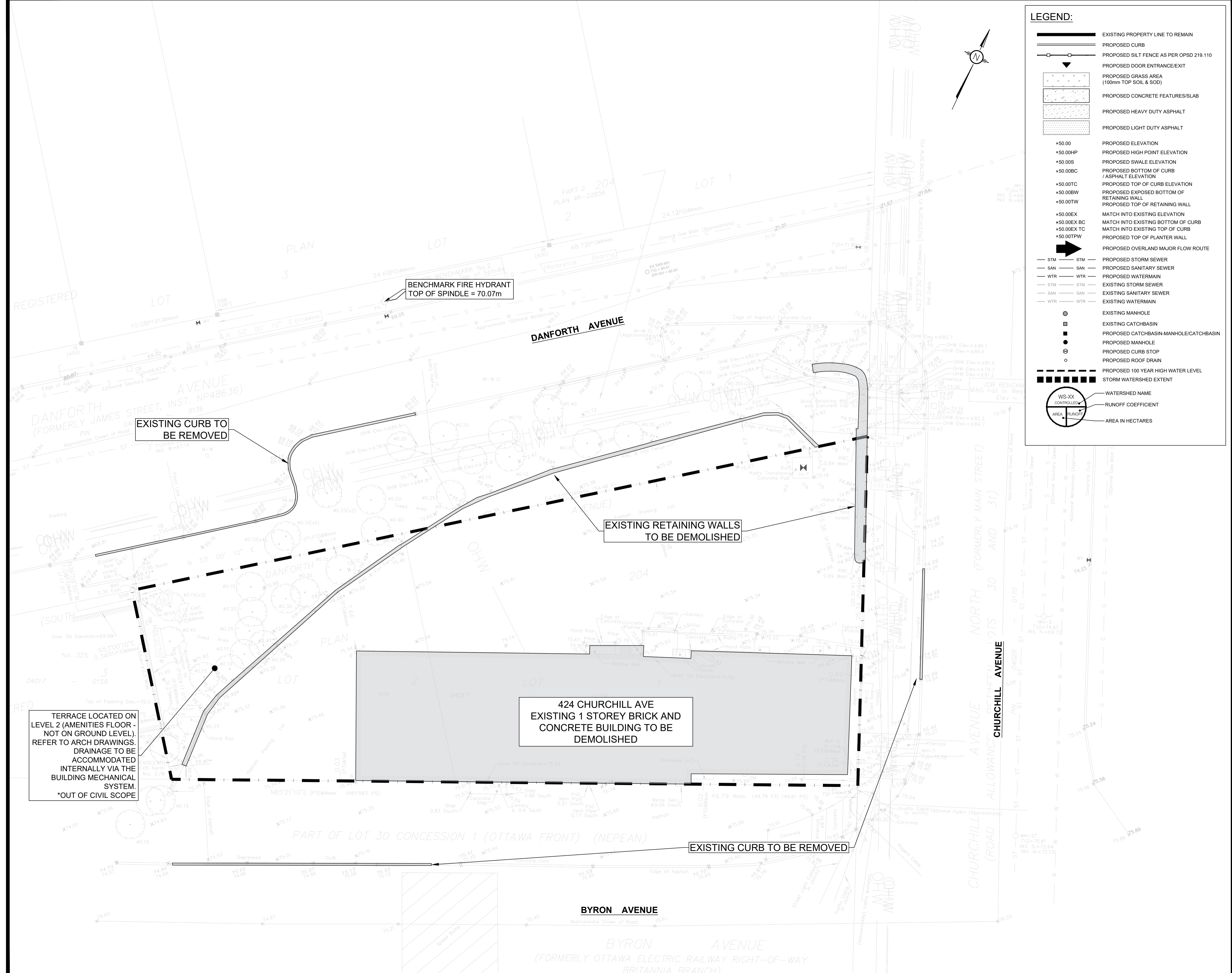
PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: **220224**

DATE: **AUGUST, 2022**

**C101**



**LEGEND:**

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED ELEVATION
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- PROPOSED BOTTOM OF CURB
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- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
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- PROPOSED TOP OF PLANTER WALL
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED STORM SEWER
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- PROPOSED ROOF DRAIN
- PROPOSED 100 YEAR HIGH WATER LEVEL
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- WATERSHED NAME
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- AREA IN HECTARES

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UNAUTHORIZED CHANGES:

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IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRL'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRL AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRL AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

**GENERAL NOTES:**

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SCALE: 1:25

**NOT FOR CONSTRUCTION TENDER OR PERMIT**

No.	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
	REVISIONS	BY	DATE

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**LRJ**  
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5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lrl.ca | (613) 842-3434

CLIENT	GSI PROPERTIES		
DESIGNED BY:	A.S.	DRAWN BY:	A.O.
		APPROVED BY:	V.J.
PROJECT	PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON		
DRAWING TITLE	DEMOLITION PLAN		
PROJECT NO.	220224		
DATE	AUGUST, 2022		

**C102**

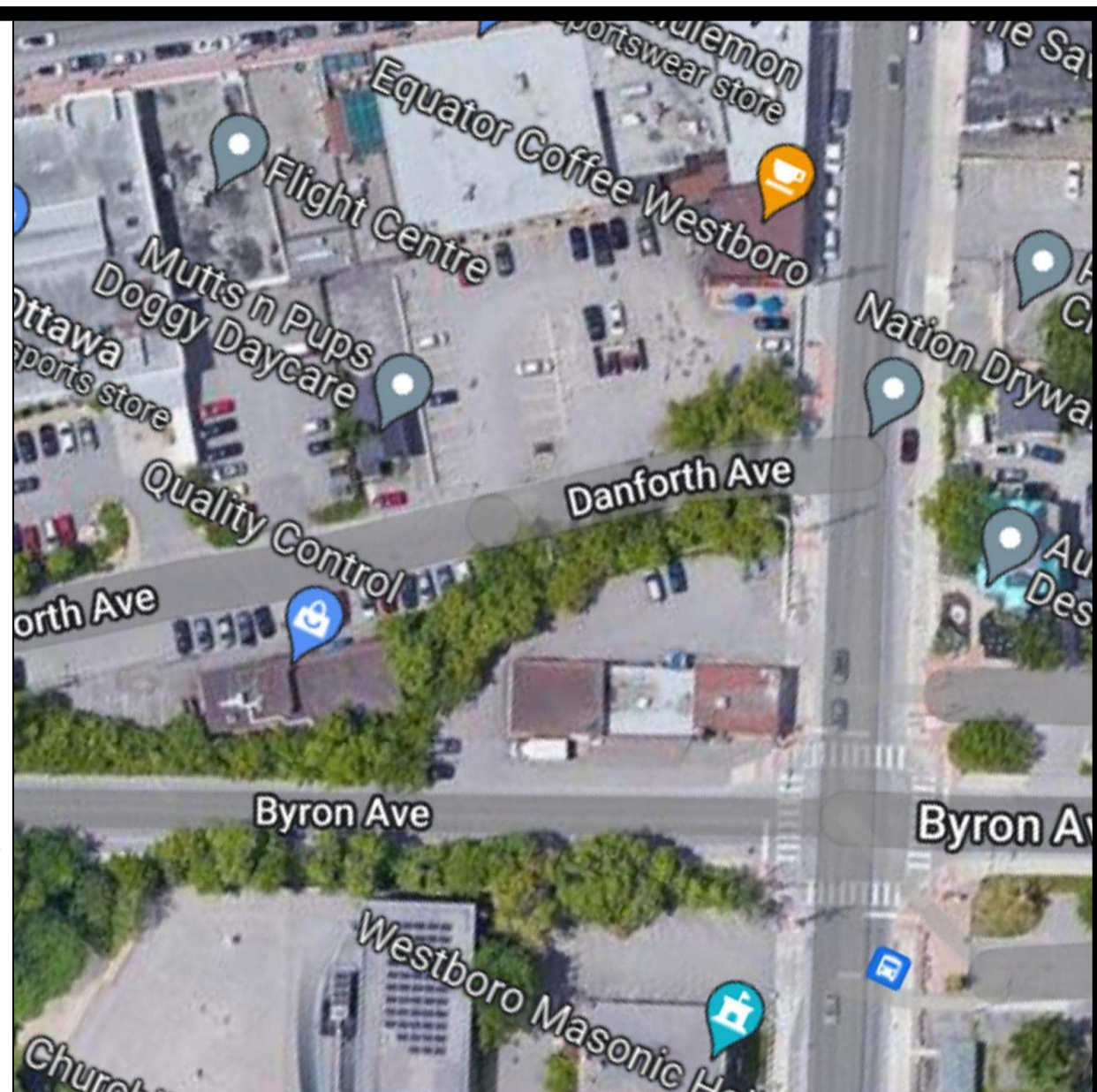
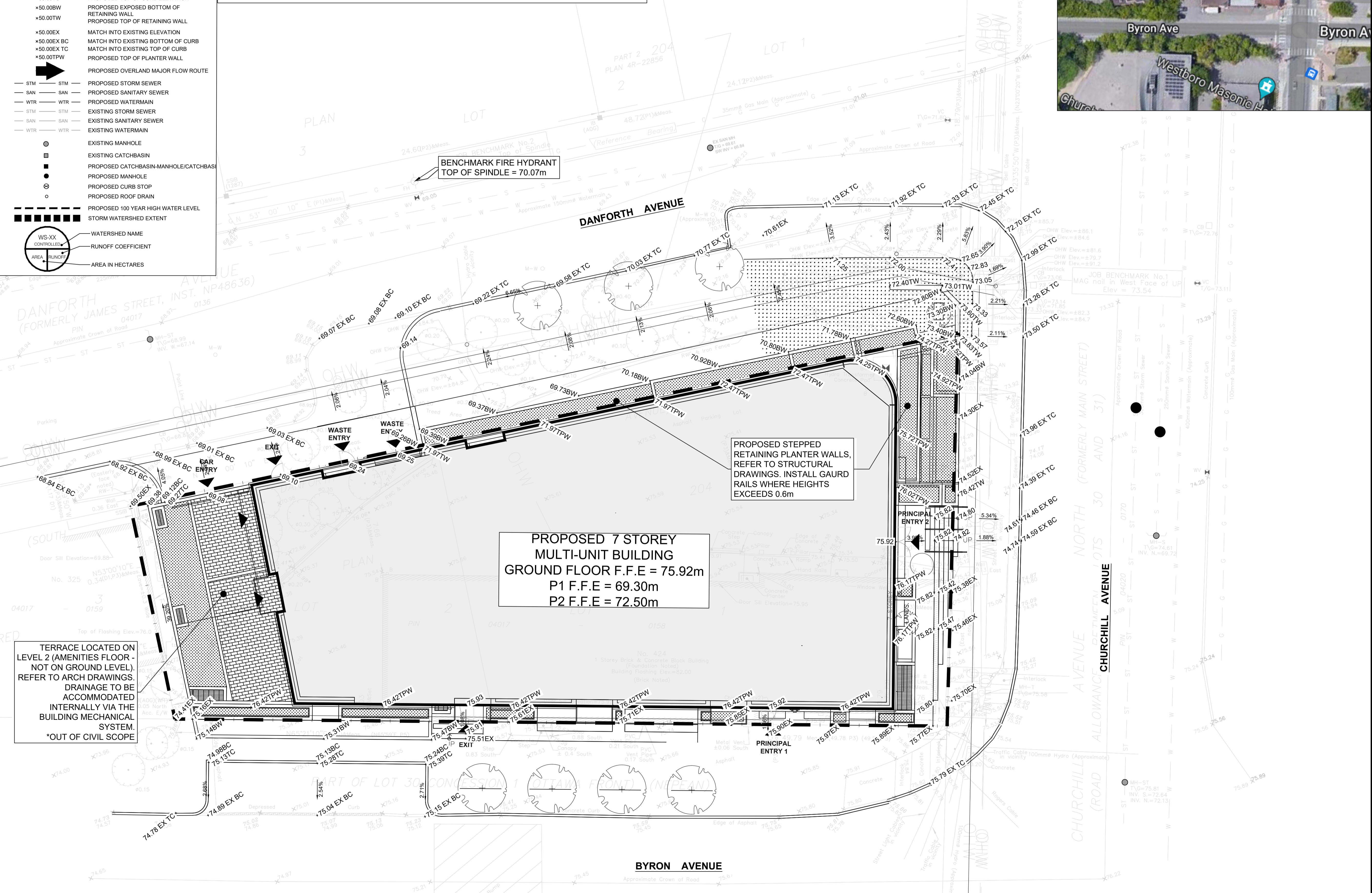
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- ▬ PROPOSED 100 YEAR HIGH WATER LEVEL
- ▬ STORM WATERSHED EXTENT
- WS-XX WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

**PAVEMENT STRUCTURE**

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL.3 A/C (PG 58-28)	50	40
BINDER	HL.8 A/C (PG 58-28)	—	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	300	350

**NOTE:**  
 IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBEXCAVATED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED. PAVEMENT STRUCTURE AS PER GEO-TECHNICAL REPORT BY DST CONSULTING ON JULY 2021.



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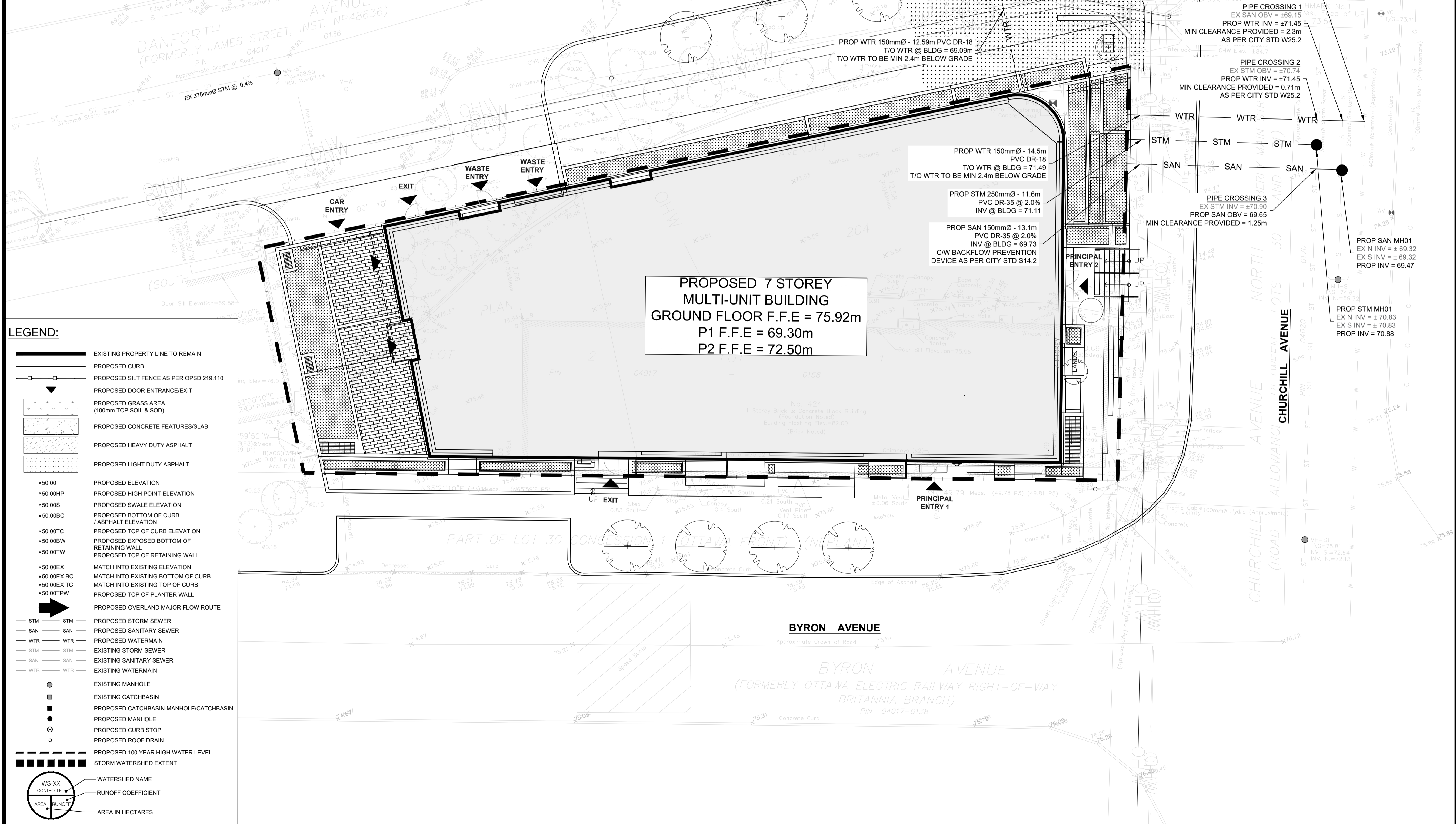
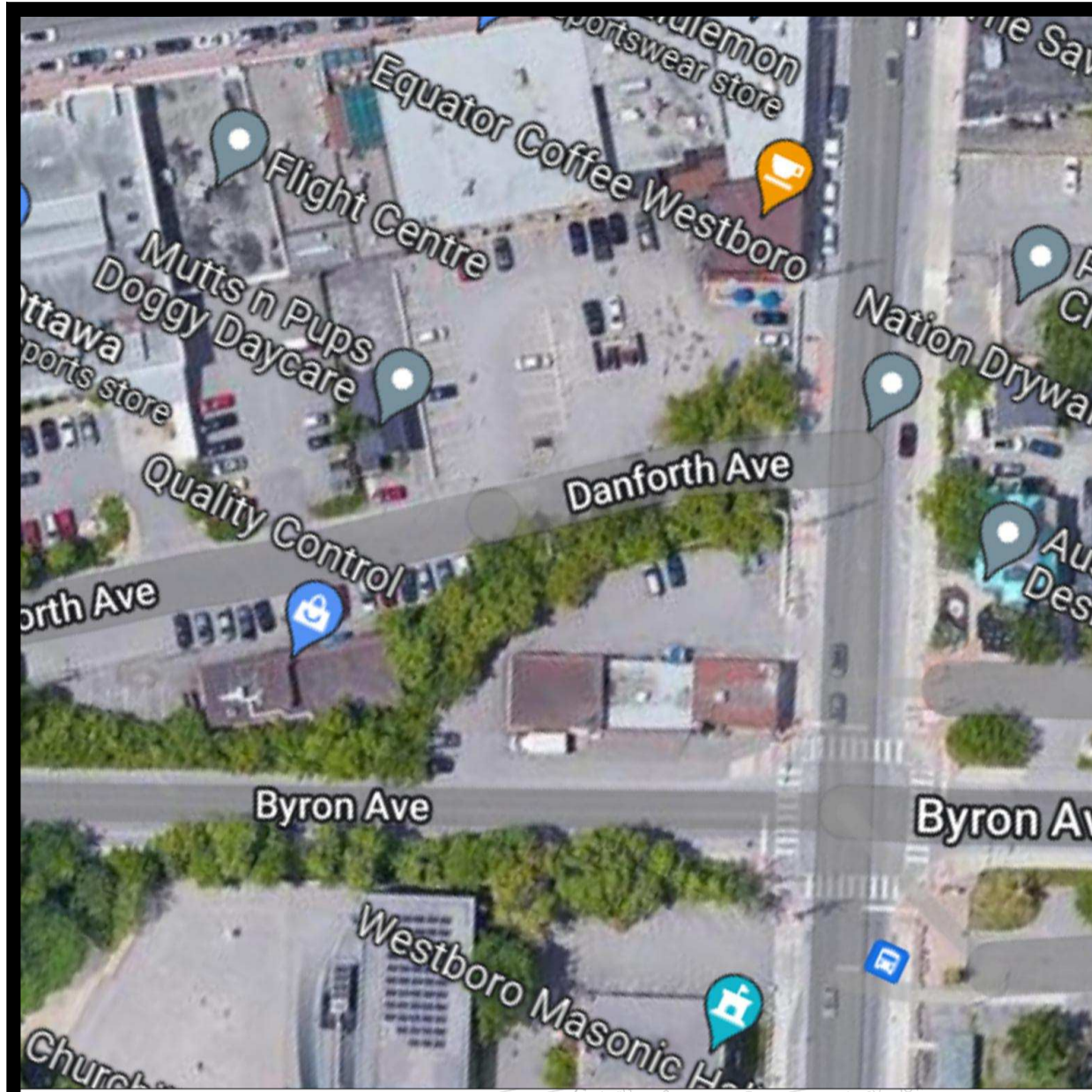
PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

PROJECT NO: **220224**

DATE: **AUGUST, 2022**

**C301**



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  - 50.00TPW PROPOSED TOP OF PLANTER WALL
  - ➔ PROPOSED OVERLAND MAJOR FLOW ROUTE
  - STM PROPOSED STORM SEWER
  - SAN PROPOSED SANITARY SEWER
  - WTR PROPOSED WATERMAIN
  - STM EXISTING STORM SEWER
  - SAN EXISTING SANITARY SEWER
  - WTR EXISTING WATERMAIN
  - EXISTING MANHOLE
  - EXISTING CATCHBASIN
  - PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
  - PROPOSED MANHOLE
  - PROPOSED CURB STOP
  - PROPOSED ROOF DRAIN
  - PROPOSED 100 YEAR HIGH WATER LEVEL
  - STORM WATERSHED EXTENT
  - WS-XX WATERSHED NAME
  - RUNOFF COEFFICIENT
  - AREA IN HECTARES

No.	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
	REVISIONS	BY	DATE



NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
ENGINEERING | INGENIERIE  
5430 Canotek Road | Ottawa, ON, K1J 9G2  
www.lrl.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

DESIGNED BY: A.S. DRAWN BY: A.O. APPROVED BY: V.J.

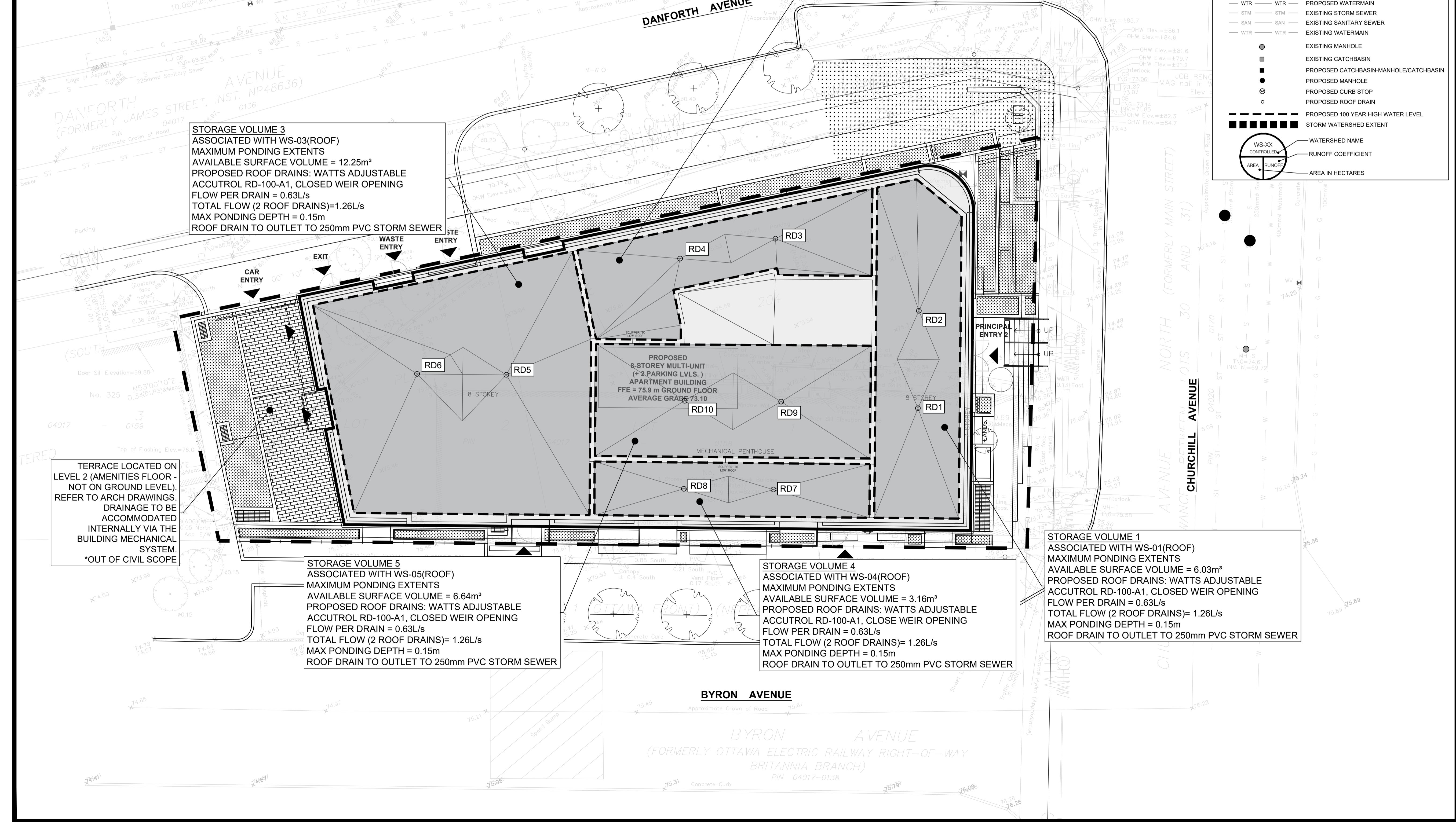
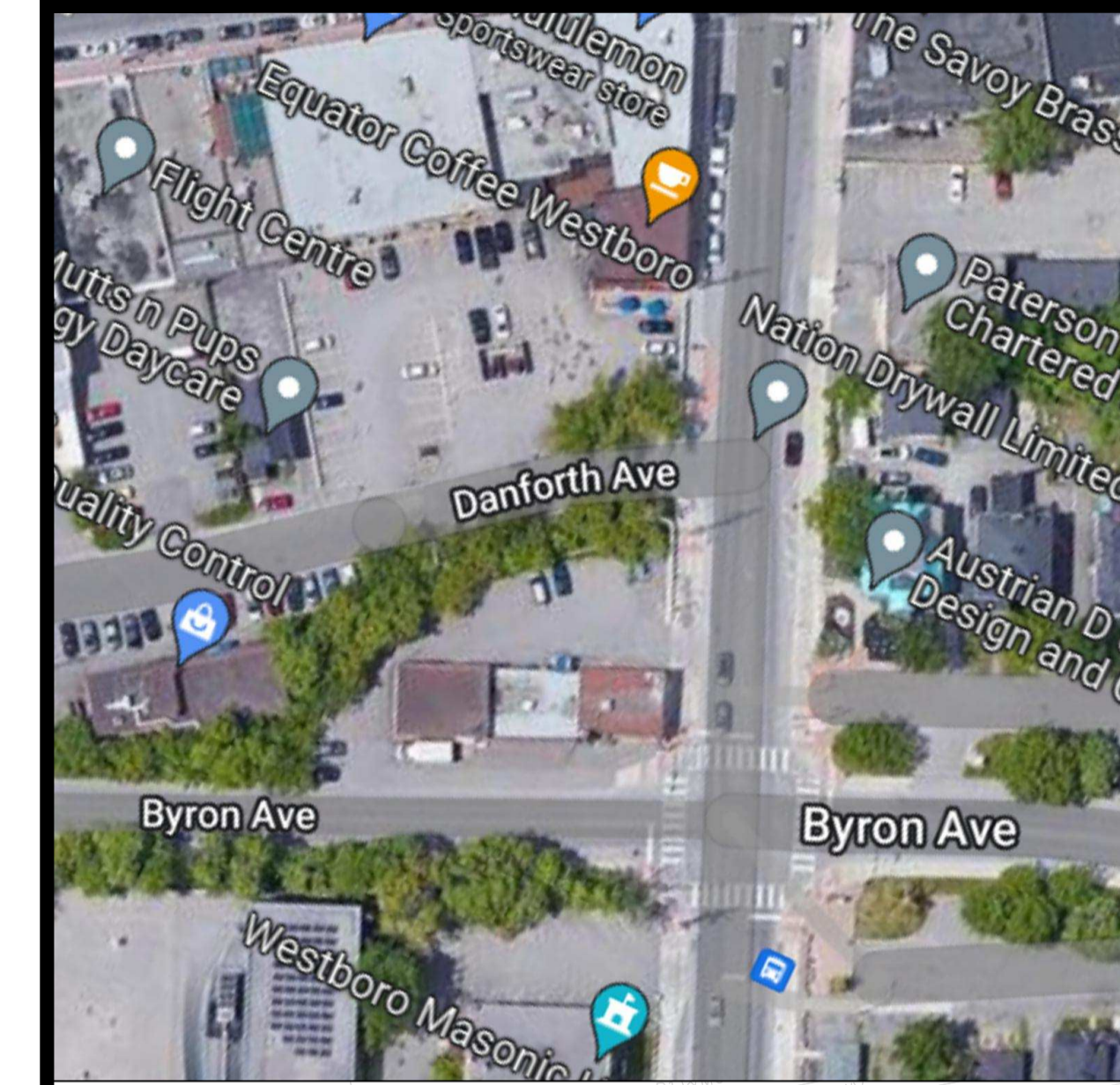
PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **SERVICING PLAN**

PROJECT NO: 220224 DATE: AUGUST, 2022

**C401**

SUMMARY OF RELEASE RATES AND STORAGE VOLUMES				
CATCHMENT AREAS	DRAINAGE AREAS (ha)	100-YEAR RELEASE RATE	100-YEAR REQUIRED STORAGE (m3)	TOTAL AVAILABLE STORAGE (m3)
WS-01 (ROOF)	0.012	1.26	3.15	6.03
WS-02 (ROOF)	0.014	1.26	3.46	4.55
WS-03 (ROOF)	0.025	1.26	6.63	12.25
WS-04 (ROOF)	0.006	1.26	3.15	3.16
WS-05 (ROOF)	0.013	1.26	3.15	6.64
TOTAL CONTROLLED	0.070	6.30	19.53	32.63
WS-06 (UNCONTROLLED)	0.031	15.59	0	0
TOTAL UNCONTROLLED	0.031	15.59	0.00	0.00
TOTAL	0.101	21.89	19.53	32.63



**STORAGE VOLUME 2**  
 ASSOCIATED WITH WS-02(ROOF)  
 MAXIMUM PONDING EXTENTS  
 AVAILABLE SURFACE VOLUME = 4.55m³  
 PROPOSED ROOF DRAINS: WATTS ADJUSTABLE  
 ACCUTROL RD-100-A1, CLOSED WEIR OPENING  
 FLOW PER DRAIN = 0.63L/s  
 TOTAL FLOW (2 ROOF DRAINS)= 1.26L/s  
 MAX PONDING DEPTH = 0.15m  
 ROOF DRAIN TO OUTLET TO 250mm PVC STORM SEWER

**STORAGE VOLUME 3**  
 ASSOCIATED WITH WS-03(ROOF)  
 MAXIMUM PONDING EXTENTS  
 AVAILABLE SURFACE VOLUME = 12.25m³  
 PROPOSED ROOF DRAINS: WATTS ADJUSTABLE  
 ACCUTROL RD-100-A1, CLOSED WEIR OPENING  
 FLOW PER DRAIN = 0.63L/s  
 TOTAL FLOW (2 ROOF DRAINS)=1.26L/s  
 MAX PONDING DEPTH = 0.15m  
 ROOF DRAIN TO OUTLET TO 250mm PVC STORM SEWER

**STORAGE VOLUME 5**  
 ASSOCIATED WITH WS-05(ROOF)  
 MAXIMUM PONDING EXTENTS  
 AVAILABLE SURFACE VOLUME = 6.64m³  
 PROPOSED ROOF DRAINS: WATTS ADJUSTABLE  
 ACCUTROL RD-100-A1, CLOSED WEIR OPENING  
 FLOW PER DRAIN = 0.63L/s  
 TOTAL FLOW (2 ROOF DRAINS)= 1.26L/s  
 MAX PONDING DEPTH = 0.15m  
 ROOF DRAIN TO OUTLET TO 250mm PVC STORM SEWER

**STORAGE VOLUME 4**  
 ASSOCIATED WITH WS-04(ROOF)  
 MAXIMUM PONDING EXTENTS  
 AVAILABLE SURFACE VOLUME = 3.16m³  
 PROPOSED ROOF DRAINS: WATTS ADJUSTABLE  
 ACCUTROL RD-100-A1, CLOSE WEIR OPENING  
 FLOW PER DRAIN = 0.63L/s  
 TOTAL FLOW (2 ROOF DRAINS)= 1.26L/s  
 MAX PONDING DEPTH = 0.15m  
 ROOF DRAIN TO OUTLET TO 250mm PVC STORM SEWER

**STORAGE VOLUME 1**  
 ASSOCIATED WITH WS-01(ROOF)  
 MAXIMUM PONDING EXTENTS  
 AVAILABLE SURFACE VOLUME = 6.03m³  
 PROPOSED ROOF DRAINS: WATTS ADJUSTABLE  
 ACCUTROL RD-100-A1, CLOSED WEIR OPENING  
 FLOW PER DRAIN = 0.63L/s  
 TOTAL FLOW (2 ROOF DRAINS)= 1.26L/s  
 MAX PONDING DEPTH = 0.15m  
 ROOF DRAIN TO OUTLET TO 250mm PVC STORM SEWER

**LEGEND:**

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
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- PROPOSED ELEVATION
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- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- MATCH INTO EXISTING BOTTOM OF CURB
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**USE AND INTERPRETATION OF DRAWINGS**

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BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE DIMENSIONS AND CONDITIONS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THERE OF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS "ISSUED FOR CONSTRUCTION", THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS AN ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

**UNAUTHORIZED CHANGES:**

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO THESE DRAWINGS, THE ENGINEER SHALL BE RELEASED FROM LIABILITY FOR THE WORK. THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRI AND TO RELEASE LRI FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRI'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRI AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRI AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES WITHOUT SUCH PROPER AUTHORIZATION.

**GENERAL NOTES:**

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT. THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE IN RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

1:5m 0 3.0 6.0m  
 SCALE: 1:125

**NOT FOR CONSTRUCTION TENDER OR PERMIT**

01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
No.	REVISIONS	BY	DATE

**LICENSED PROFESSIONAL ENGINEER**  
 M. BASNET  
 100501996  
 2022/10/11  
 PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
 ENGINEERING | INGENIERIE  
 5430 Canotek Road | Ottawa, ON, K1J 9G2  
 www.lri.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

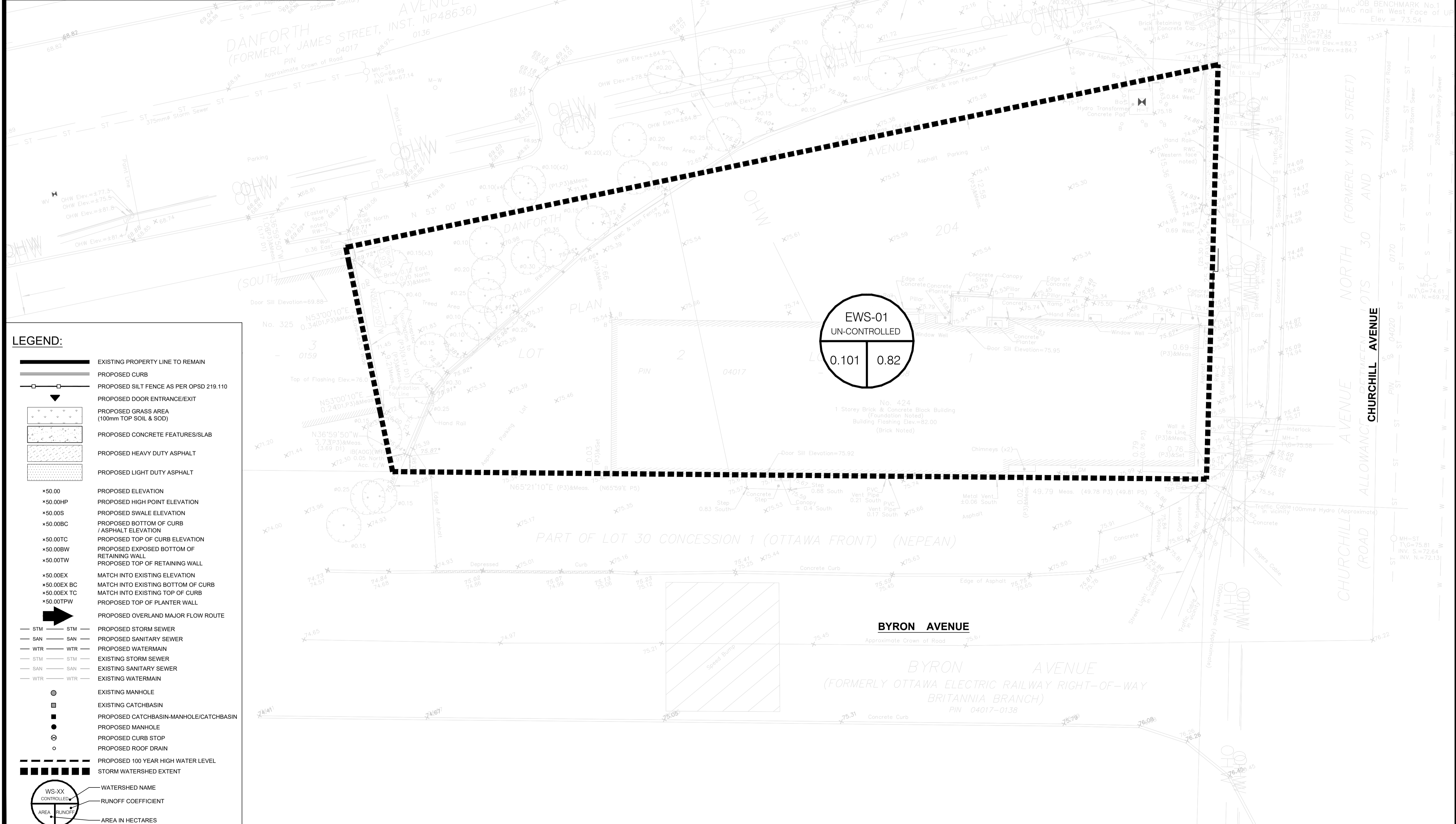
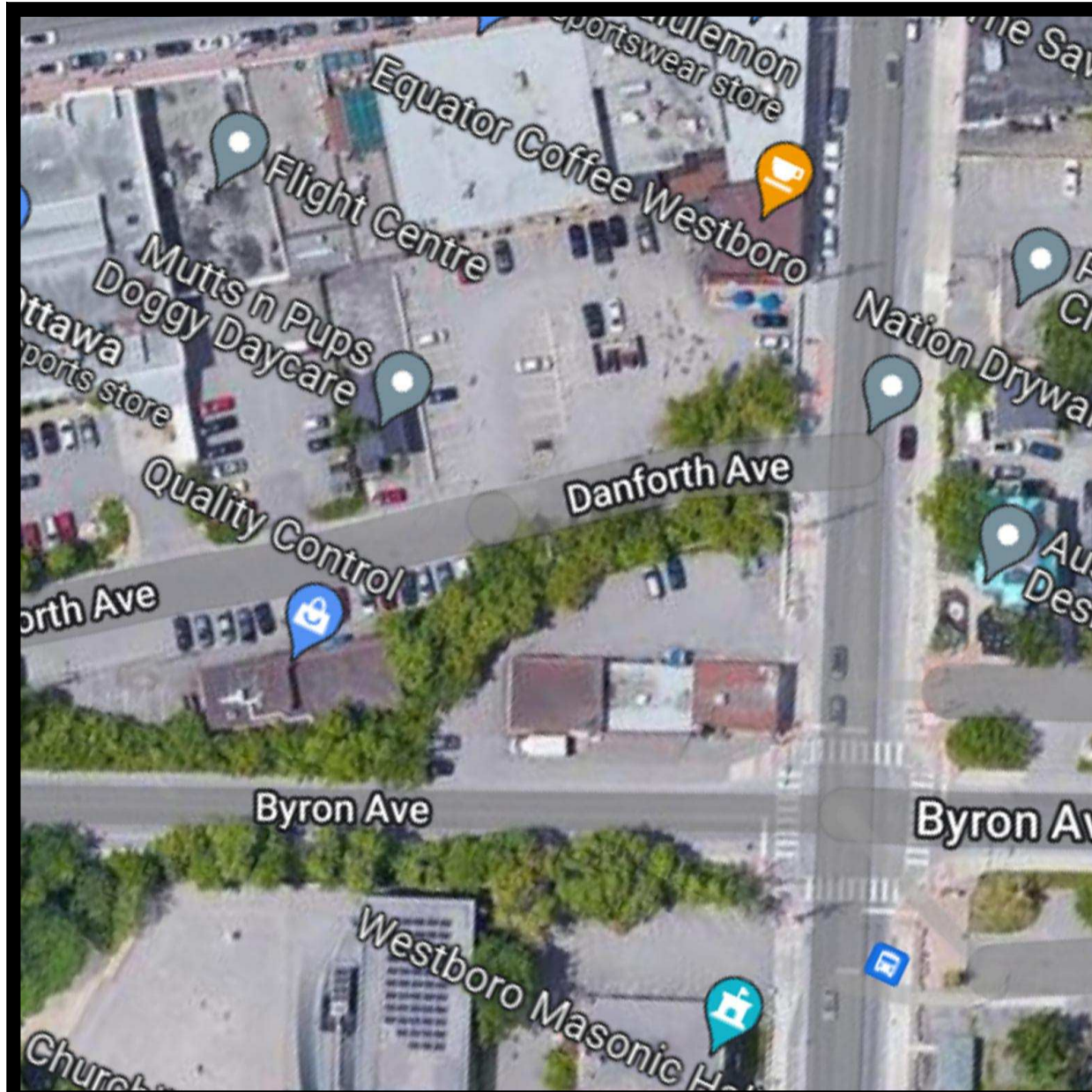
DESIGNED BY: A.S. DRAWN BY: A.O. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **STORMWATER MANAGEMENT PLAN**

PROJECT NO: 220224  
 DATE: AUGUST, 2022

**C601**



**USE AND INTERPRETATION OF DRAWINGS**

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE THE USE AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

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UNAUTHORIZED CHANGES:

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SCALE: 1:125

**NOT FOR CONSTRUCTION TENDER OR PERMIT**

No.	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022

**REVISIONS**

**PROFESSIONAL ENGINEER**  
M. BASNET  
100501996  
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

**LRJ**  
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CLIENT: **GSI PROPERTIES**

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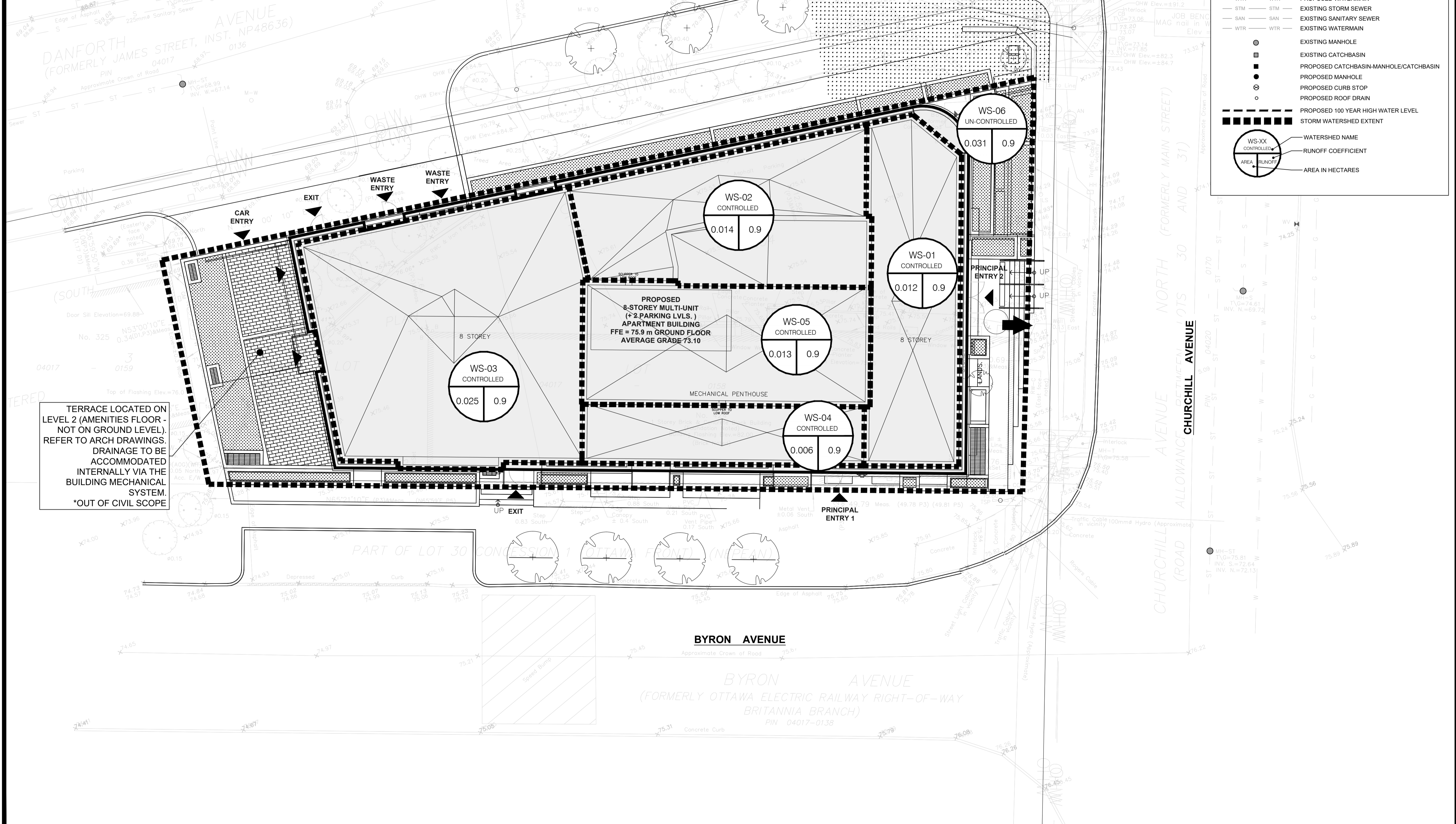
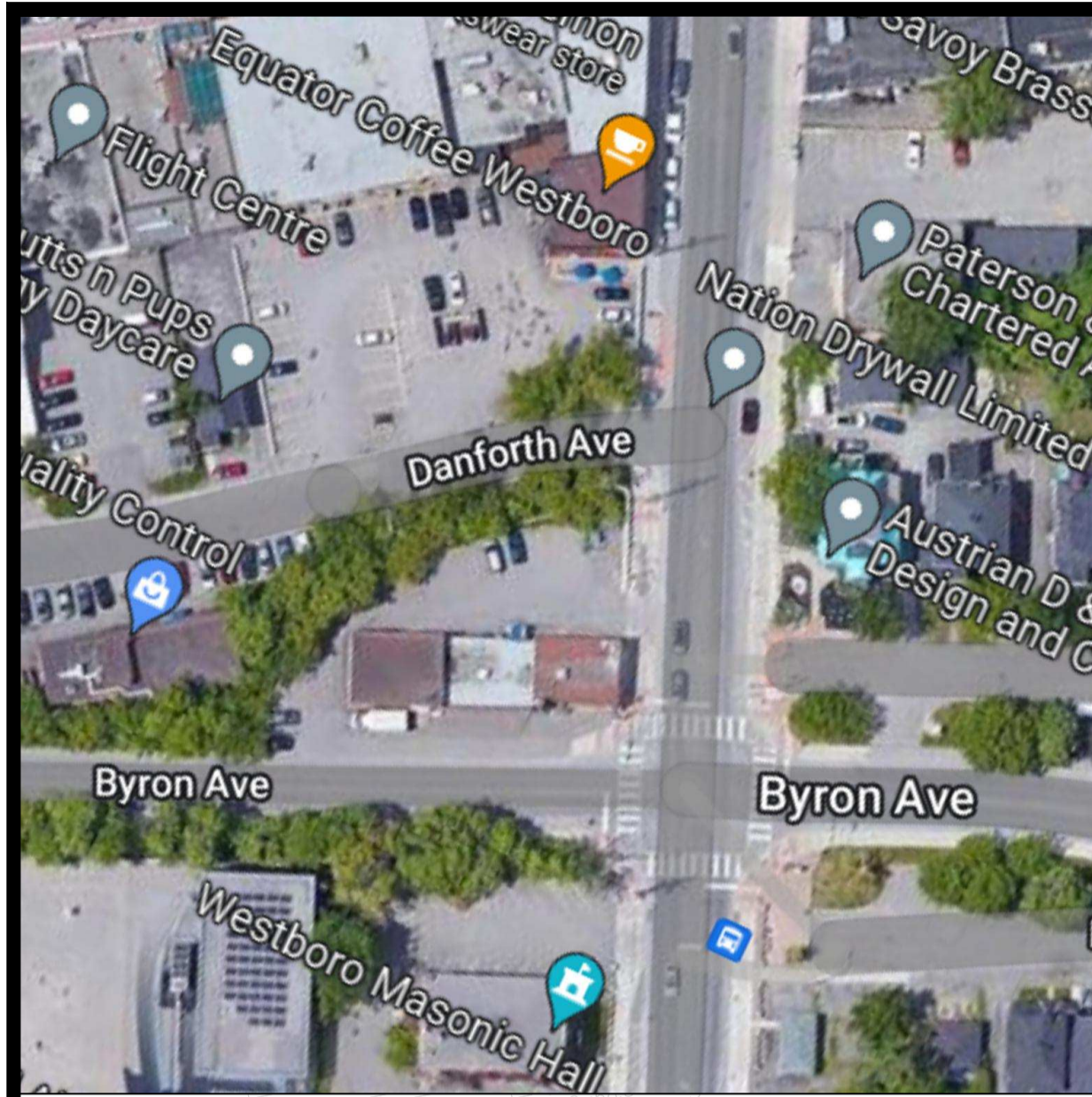
PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **PRE-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: 220224  
DATE: AUGUST, 2022

**C701**





**LEGEND:**

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- \*50.00 PROPOSED ELEVATION
- \*50.00HP PROPOSED HIGH POINT ELEVATION
- \*50.00S PROPOSED SWALE ELEVATION
- \*50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- \*50.00TC PROPOSED TOP OF CURB ELEVATION
- \*50.00BW PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- \*50.00TW PROPOSED TOP OF RETAINING WALL
- \*50.00EX MATCH INTO EXISTING ELEVATION
- \*50.00EX BC MATCH INTO EXISTING BOTTOM OF CURB
- \*50.00EX TC MATCH INTO EXISTING TOP OF CURB
- \*50.00TPW PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM PROPOSED STORM SEWER
- SAN PROPOSED SANITARY SEWER
- WTR PROPOSED WATERMAIN
- STM EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- WTR EXISTING WATERMAIN
- EXISTING MANHOLE
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1.5m 0 3.0 6.0m  
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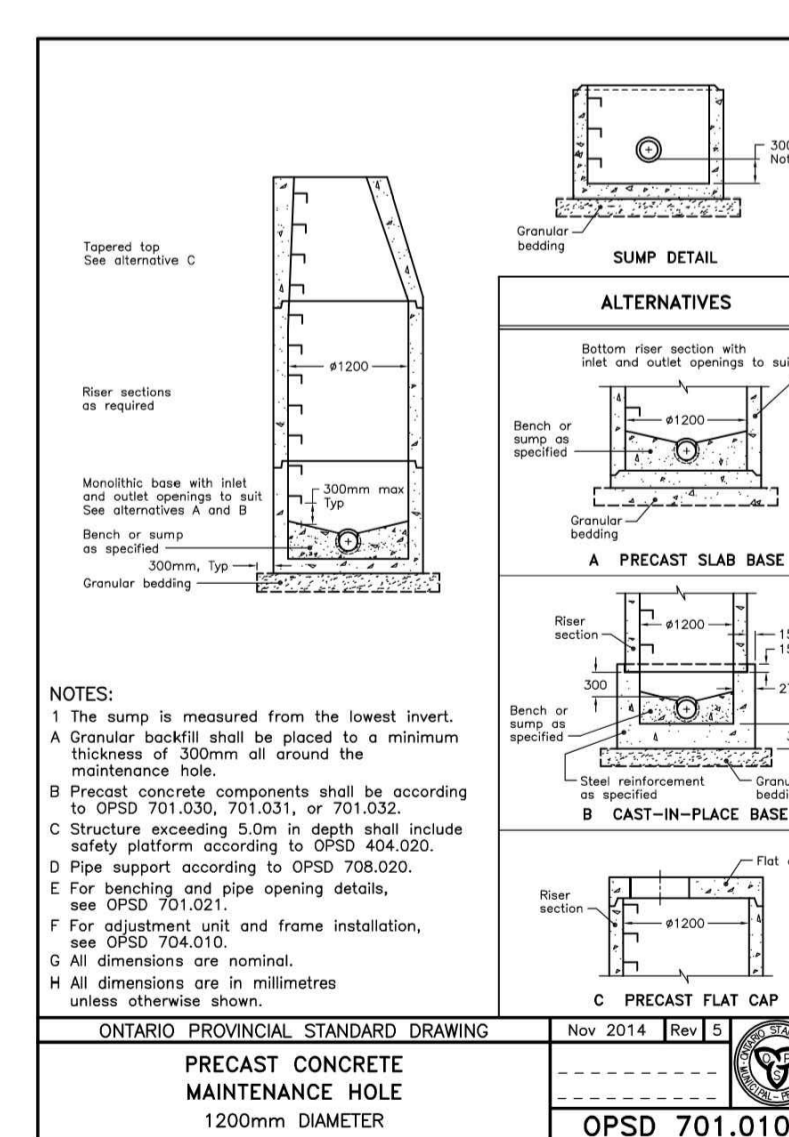
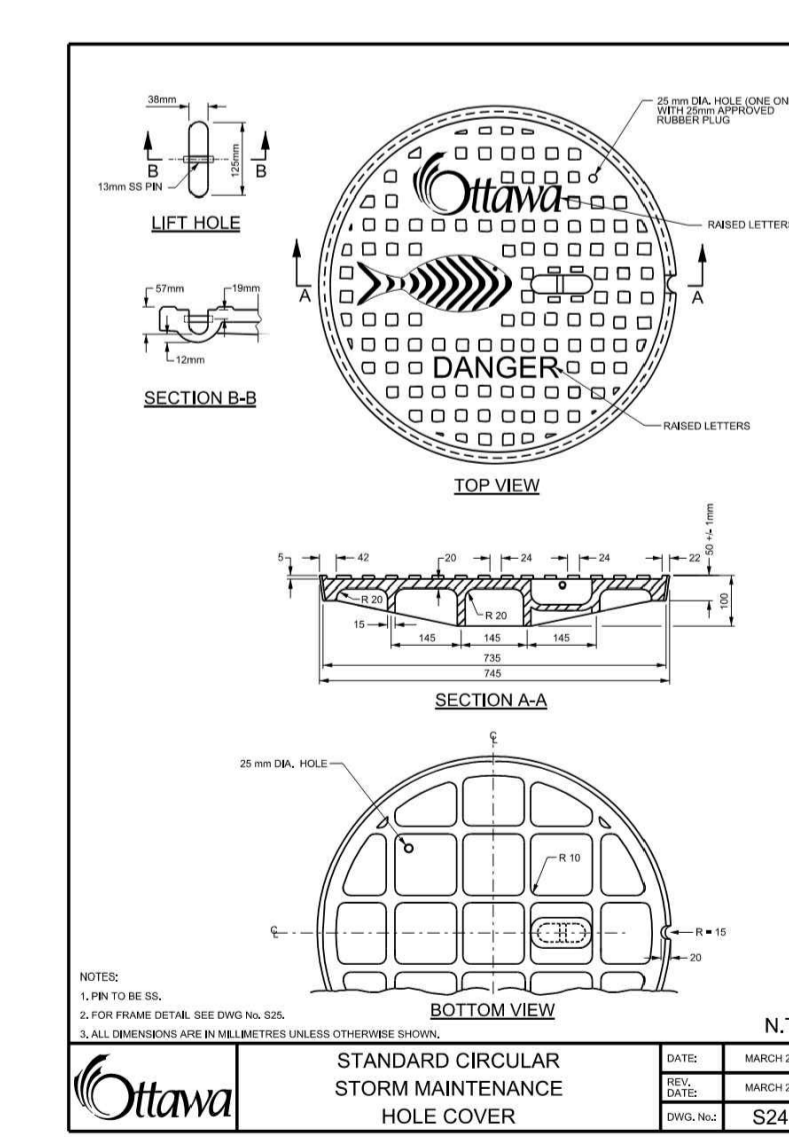
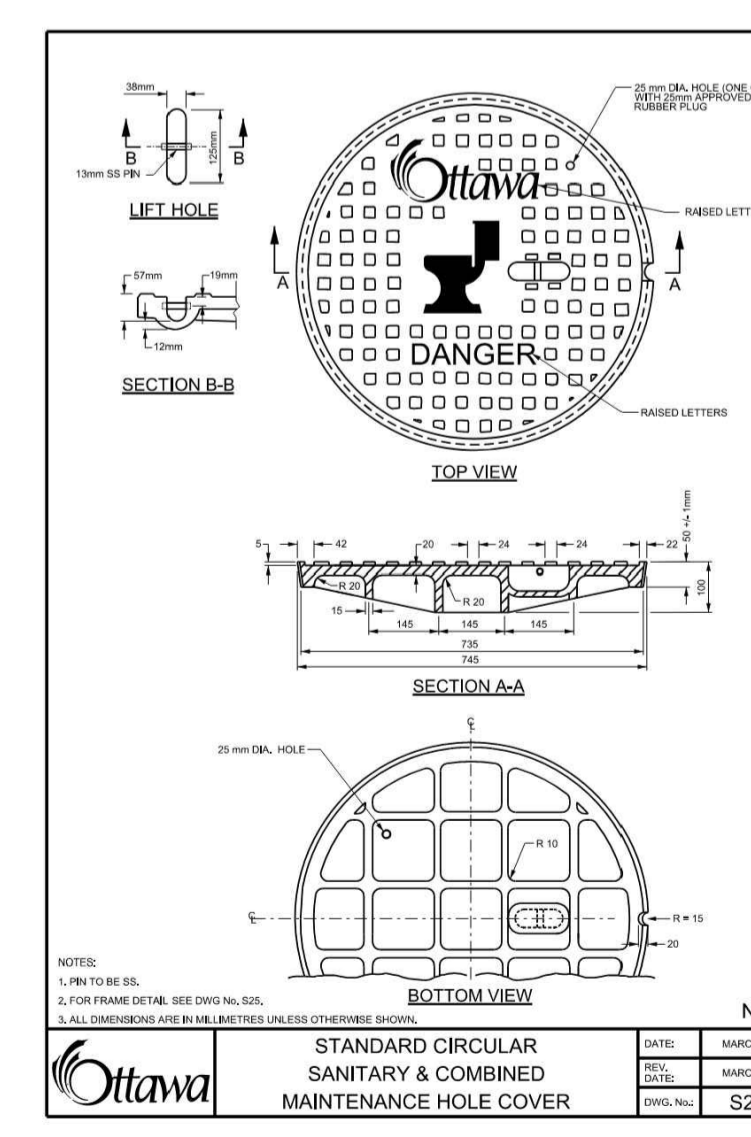
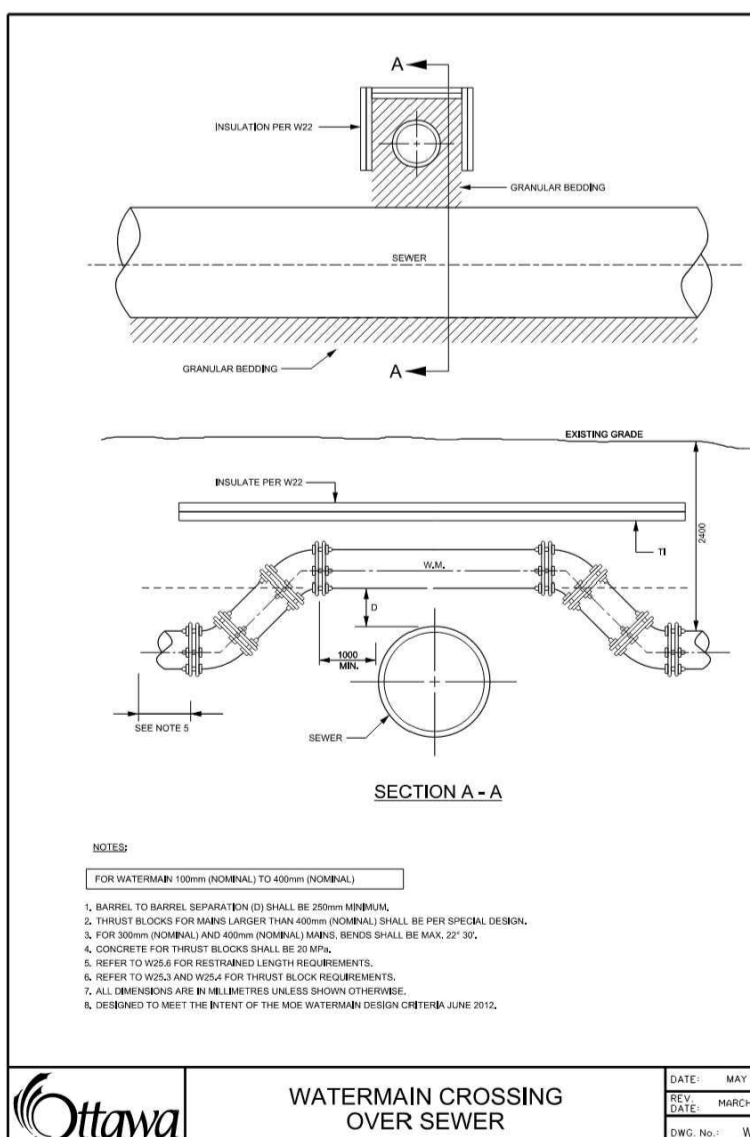
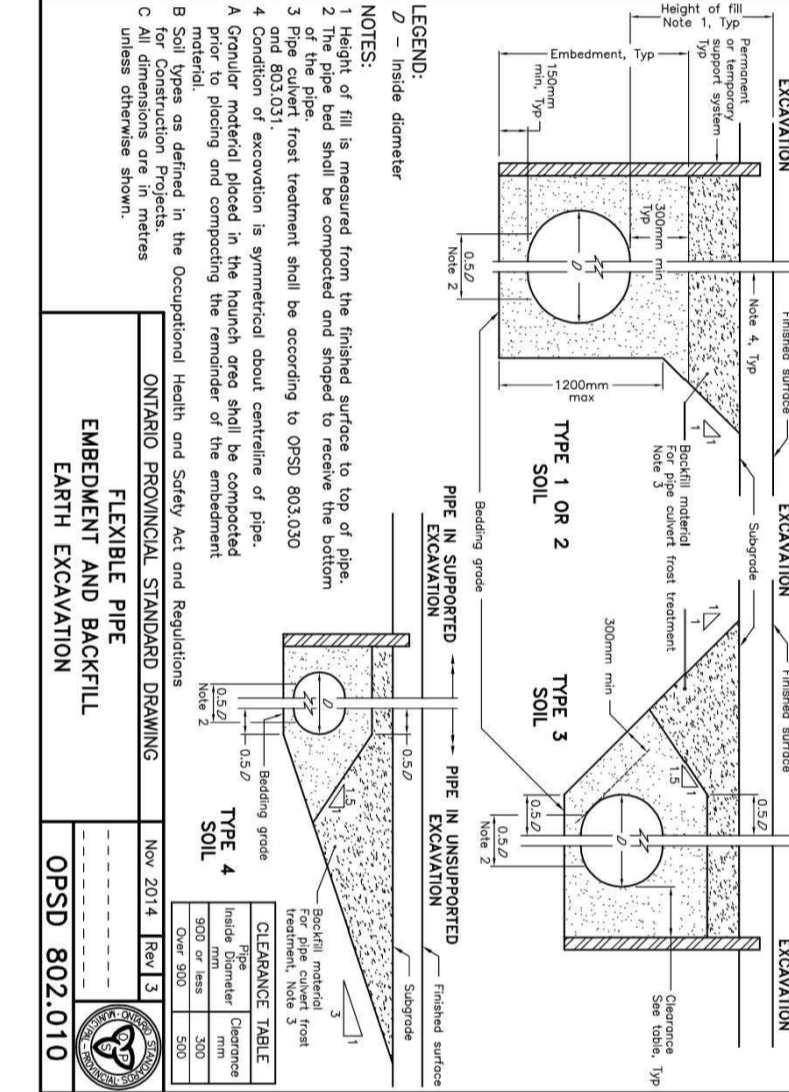
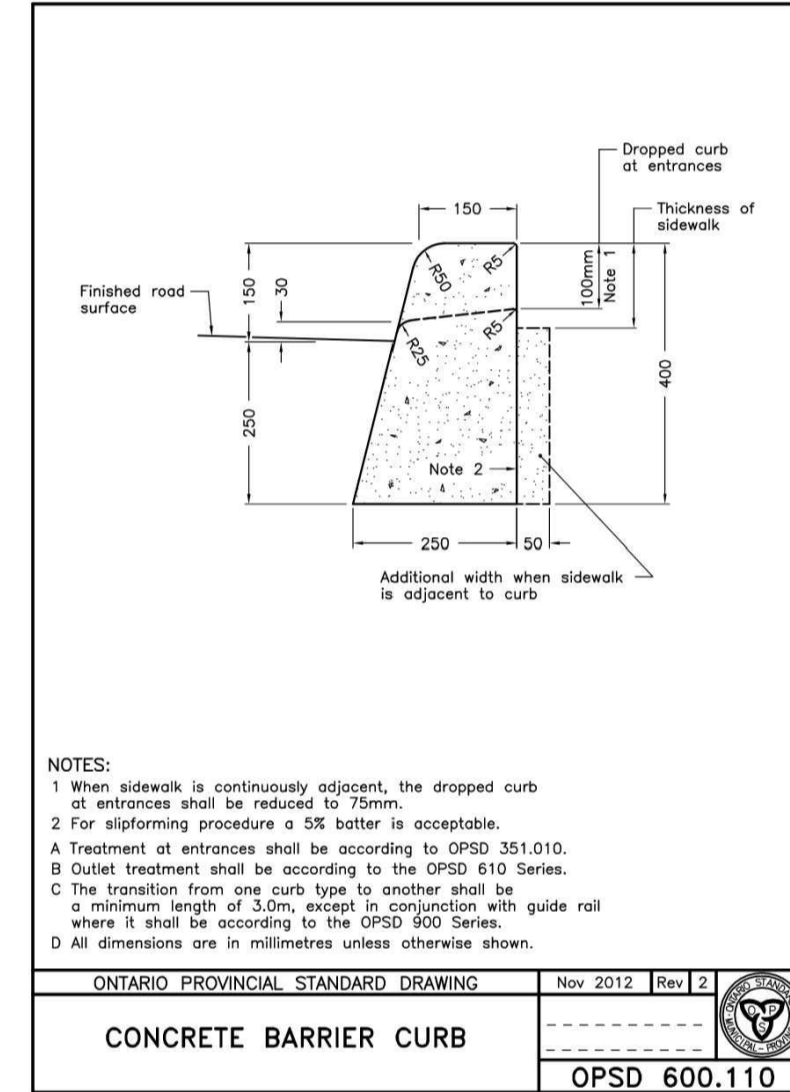
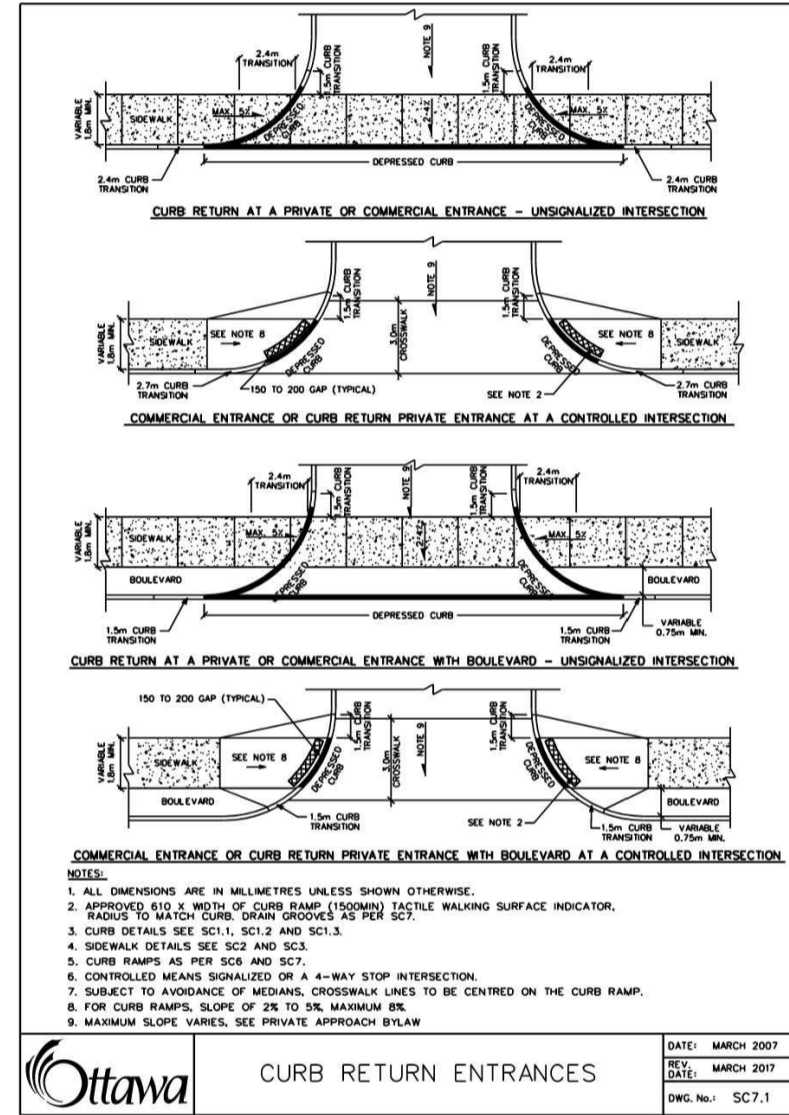
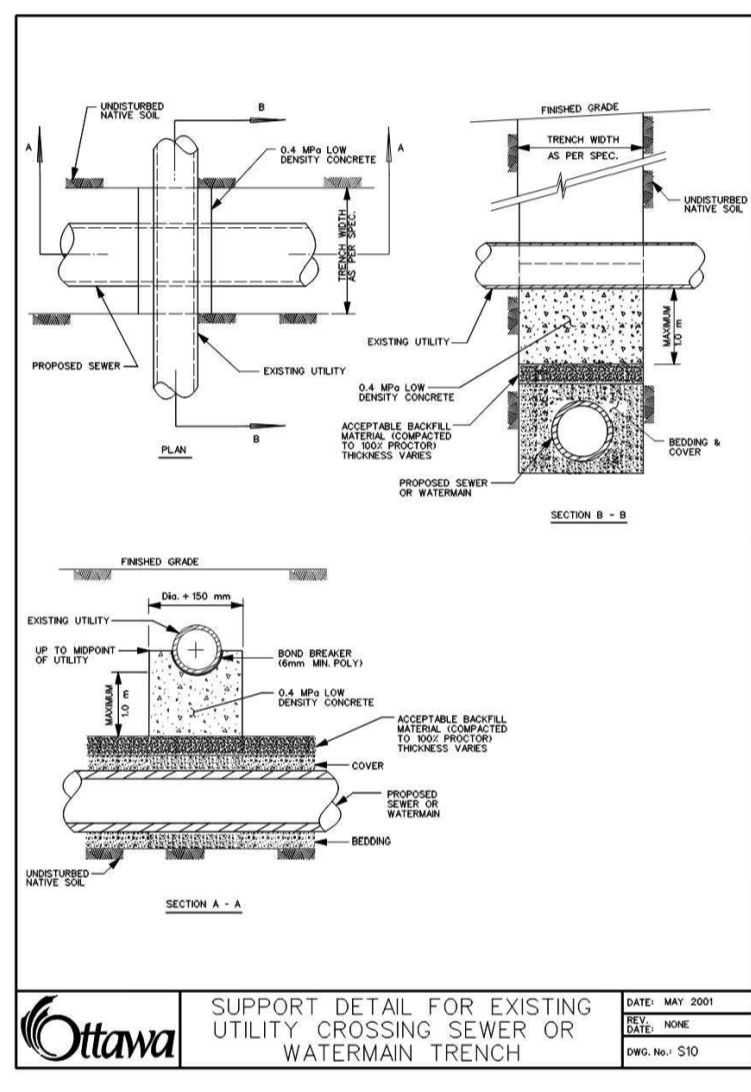
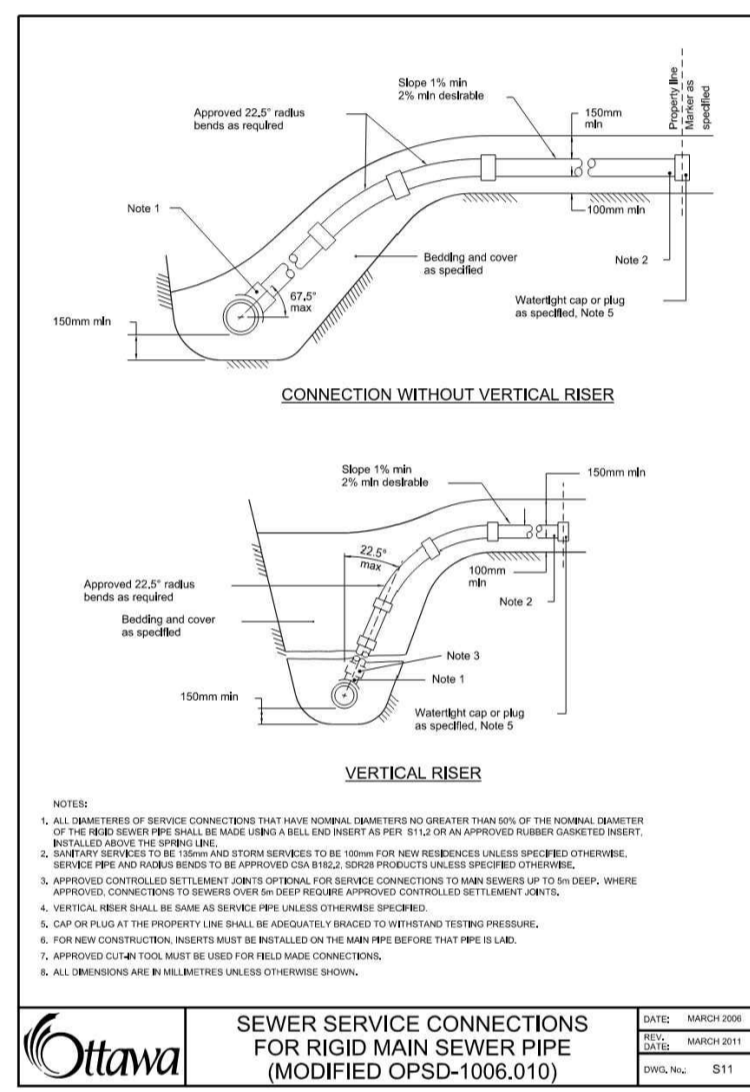
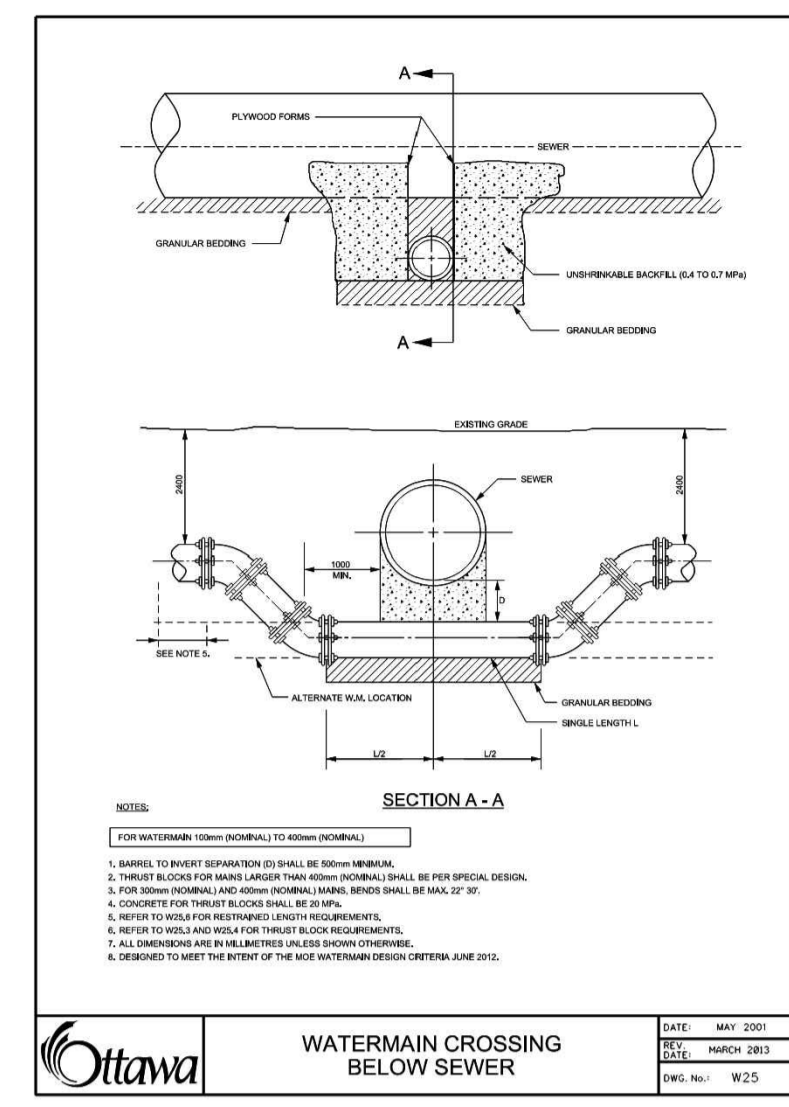
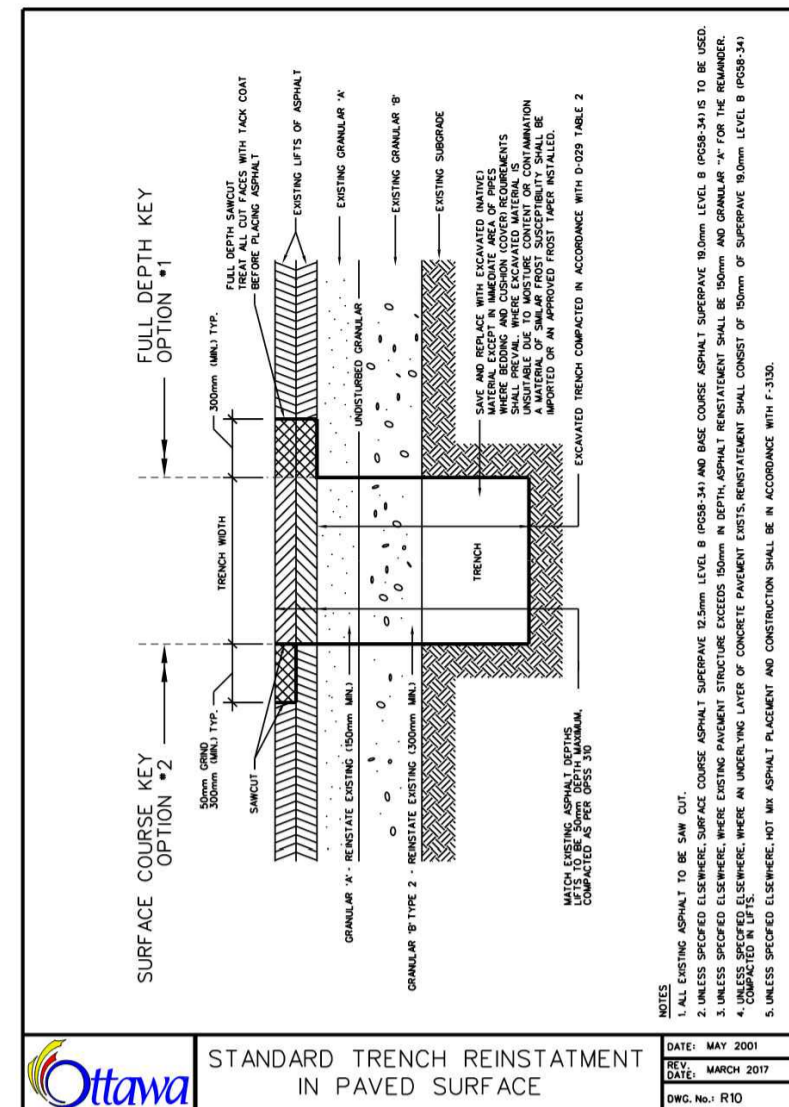
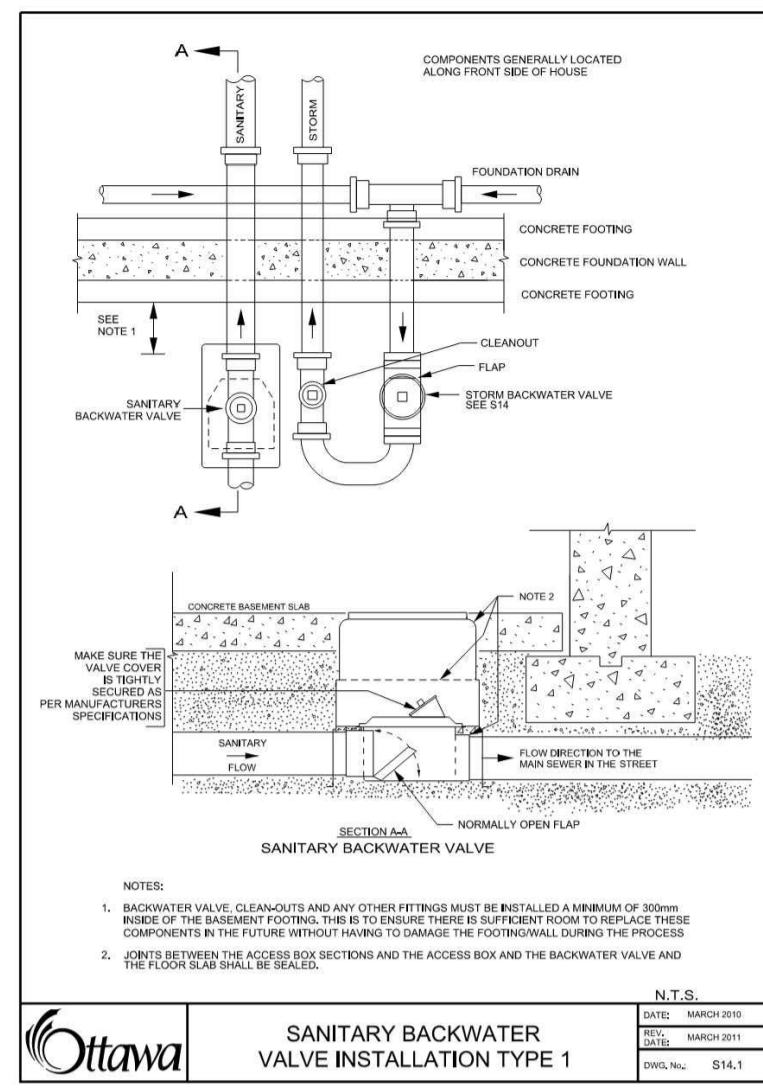
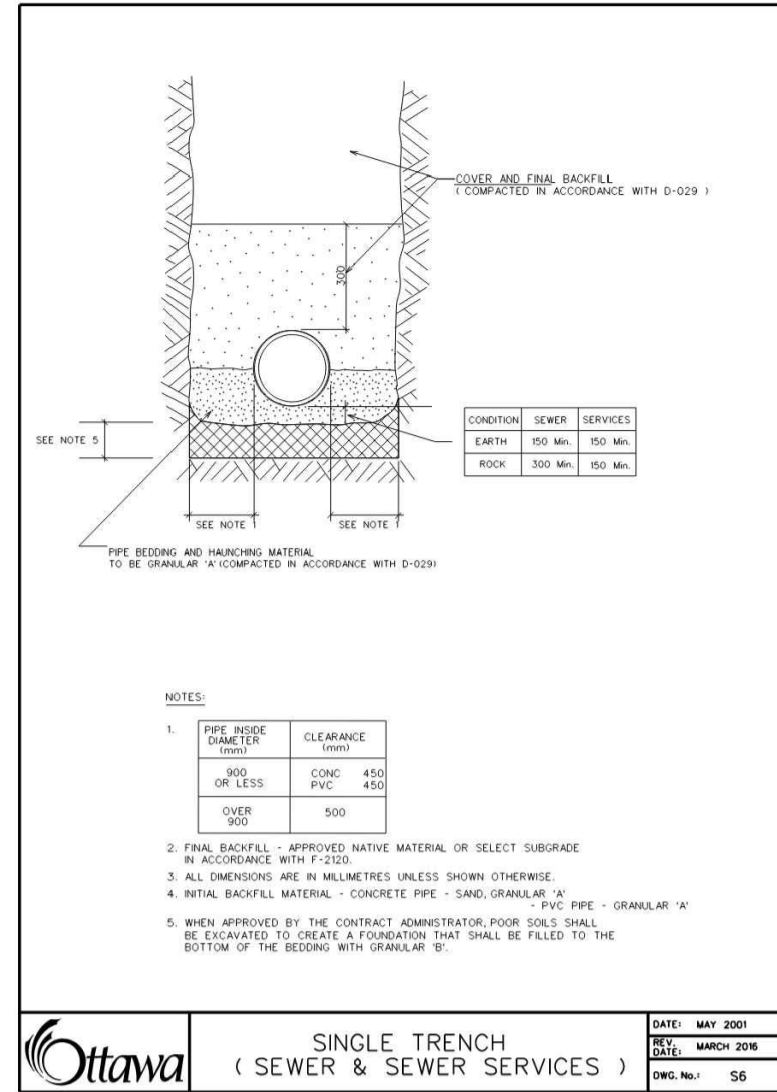
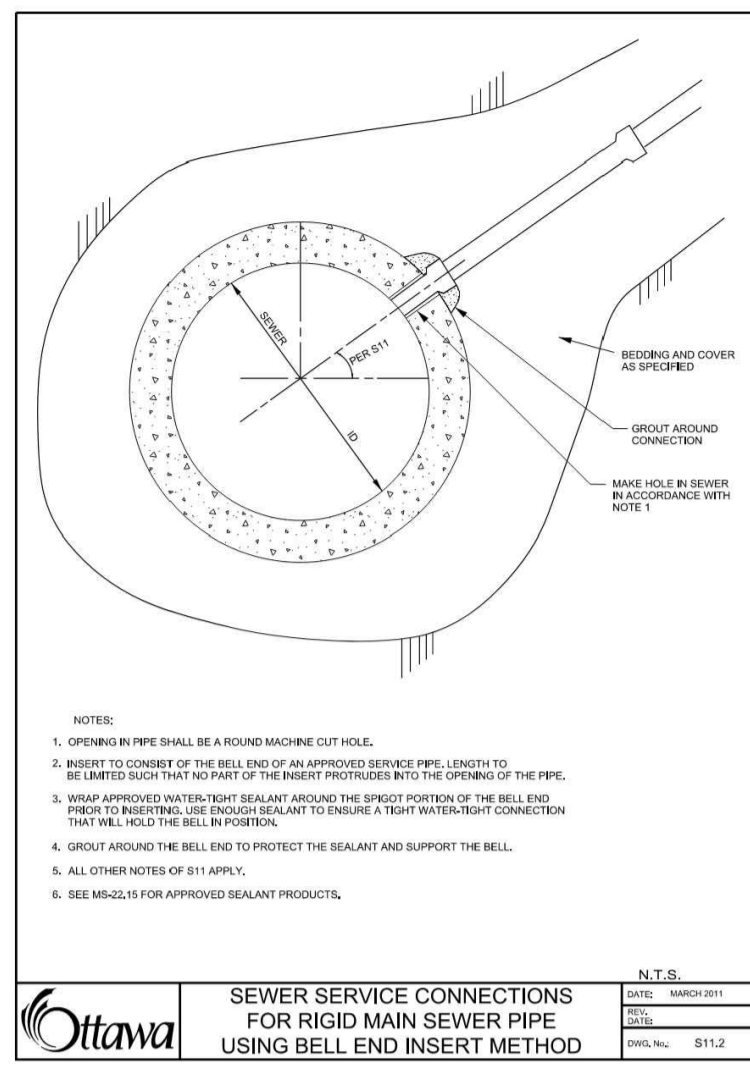
DESIGNED BY: A.S. DRAWN BY: A.O. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STOREY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **POST-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: 220224  
DATE: AUGUST, 2022

**C702**



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTERPRETATION OF THE DRAWINGS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS ISSUED FOR CONSTRUCTION, THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS AN ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY IRL ASSOCIATES LTD. (IRL) WITHOUT OBTAINING IRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES, THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST IRL AND TO RELEASE IRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS IRL FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND DEPTHS OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT, PLANS, SPECIFICATIONS OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022
No.	REVISIONS	BY	DATE



NOT AUTHENTIC UNLESS SIGNED AND DATED



ENGINEERING | INGENIERIE  
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www.lrl.ca | (613) 842-3434

CLIENT: GSI PROPERTIES

DESIGNED BY: A.S. DRAWN BY: A.O. APPROVED BY: V.J.

PROJECT: PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO: 220224  
DATE: AUGUST, 2022

