

August 18, 2022

City of Ottawa
110 Laurier Avenue West
Ottawa, ON
K1P 1J1

RE: Dog World Site Plan Application
3904 March Road
Part Lot 15, Concession 10
Gepgraphic Township of Huntley
Owner(s): Dog World c/o Kim Holden

ZanderPlan Inc. was retained by the property owner to assist with a Site Plan Application for the expansion of an existing kennel business known as Dog World located on the property at 3904 March Road. The legal description of the property is *PT LT 15 CON 10 HUNTLEY AS IN N574218 EXCEPT PART 1, 4R11444; WEST CARLETON*. The property contains a variety of buildings including a single-detached residential dwelling, a kennel and office, a kennel with a small barn attached, a workshop, a large pond, a pool, and several accessory sheds. Development is centralized on the property setback well over 150 metres from March Road. The back half of the property consists of a forested area with several walking trails throughout. Lands falling between the existing buildings and March Road consist of grassed fields. A single driveway provides access to the kennel from March Road.

The proposed Site Plan will seek the phased construction of two new buildings to facilitate the expansion of the current business. Phase 1 will include construction of a new dog gym and play area consisting of a large open building for activities with a small workspace and sink. This dog gym will be used for recreational and training purposes. The dog gym is proposed to the rear of existing buildings on-site to be situated along a fenced area. A new septic system will be installed as part of Phase 1 with existing buildings and the proposed dog gym connected to it. The septic will be placed on the east side of the property to the rear of the existing residential dwelling. The dwelling will continue to use the current on-site sewage disposal. A new driveway will be installed as an extension of the current gravel area to access the dog gym.

Phase 2 will propose the construction of a new kennel building to the south side of the dog gym. The new kennel will provide additional boarding facilities for dogs. Depending on demand and growth of the business over that time the owner would like to keep options open relating

to existing buildings on-site. The original proposal as discussed during the pre-consultation with City Staff was to remove the kennel building with the barn portion on the back at the time the new Phase 2 kennel was built. The barn structure is failing but the kennel portion is retainable. The revised proposal will seek to keep the existing kennel with the ability to rebuild the barn structure or remove.

SUBJECT PROPERTY

The subject property is located at 3904 March Road in the rural area of the City of Ottawa measuring approximately 9.55 hectares in size with 134.4 metres of frontage on March Road (See Figure 1). The property currently houses the Dog World kennel which has operated at this location for many years.



Figure 1 – Aerial View of 3904 March Road

Several buildings are located on the property including a single-detached dwelling, where the property owner / business operator lives, a kennel and office building, a kennel/barn structure, a workshop, a large pond, a pool, and several accessory sheds. All structures are centralized on the property with adequate fencing in place. The back half of the property consists of a forested area. The proposed buildings will be located within the cleared areas on-site and behind existing development.

PROVINCIAL POLICY STATEMENT (PPS) 2020

The Provincial Policy Statement (PPS) was issued under section 3 of the Planning Act coming into effect May 1, 2020 replacing the Provincial Policy Statement issued April 30, 2014. The PPS provides policy direction on matters of provincial interest related to land use planning and development while providing for appropriate development that protects resources of provincial interest, public health and safety, and the quality of the natural and built environment.

Section 1.0 of the PPS speaks to Building Strong Healthy Communities with policies for Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns found under Section 1.1. Expansion of the current kennel will promote efficient development and land use patterns (1.1.1a) providing a mix of land uses including a residential dwelling and an employment use in the form of a kennel (1.1.1b). Completed civil and stormwater engineering will demonstrate the additional development will avoid land use patterns which may cause environmental or health and safety concerns (1.1.1c). Additional development to expand the kennel will integrate land planning to achieve intensification of a commercial business minimizing land consumption and servicing costs (1.1.1e). Flexibility with the kennel and barn structure allowing it to be retained, rather than removed as stated in the pre-consultation, will accommodate a range of uses to meet projected needs of the business (1.1.2).

Pursuant to **Section 1.1.4** healthy, integrated and viable rural areas are supported by *“promoting diversification of the economic base and employment opportunities through goods and services.”* On rural lands permitted uses include *“home occupations and home industries.”* (Sec. 1.1.5.2e). The operator of the kennel lives on the property in the detached dwelling. Kennels typically associate with higher levels of noise due to barking. The new dog gym and kennel have been planned the appropriate setback distance per required zoning provisions to protect sensitive land uses on abutting lots (Sec. 1.2.6.1). Expansion will increase the employment opportunities provided by the business contributing to the mix of available employment options (Sec. 1.3.1a) and provide for a diversified economic base (Sec. 1.3.1b).

Section 1.6.6 of the PPS speaks to Sewage, Water and Stormwater. *“Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, individual on-site sewage services and individual on-site water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts.”* The existing septic system servicing the house will be maintained as part of the development. A new on-site

sewage disposal system will be installed to service the existing and proposed kennel buildings and dog gym. Overall management of sewage disposal on-site will be improved through expansion.

Section 2.0 of the PPS speaks to the Wise Use and Management of Resources. The development area does not contain any significant natural heritage features or areas that would be impacted by the expansion. Treed areas will be retained to conserve biodiversity on-site. Stormwater management will be implemented to ensure impacts on nearby watercourses and water features is minimized. There are no agricultural areas on-site or near the property that would be impacted by development.

Section 2.5 of the PPS speaks to Mineral Aggregate Resources which shall be protected for long-term use. A large aggregate operation exists to the west of the subject property on the west side of Upper Dwyer Hill Road, identified as ALPS ID #4085, which is a Quarry operated by Thomas Cavanagh Construction Limited. The quarry area represents the only Bedrock or Sand and Gravel Resource Area in proximity to the subject property. *“Mineral aggregate operations shall be protected from development and activities that would preclude or hinder their expansion or continued use or which would be incompatible for reasons of public health, public safety or environmental impact”* (Sec. 2.5.2.4). The proposal is for the expansion of an existing kennel operation which would not preclude or hinder the current operation from continuing. The new buildings on-site would be setback further from the quarry than the current kennel and office building. The expansion is not expected to have any impact on quarry operations.

Section 3.0 of the PPS speaks to Protecting Public Health and Safety. There are no natural hazards such as flooded lands, floodways or dynamic beach hazards associated with the site pursuant to Section 3.1. A Phase 1 ESA was completed indicating no man-made hazards are present on the property which could impact the proposed expansion. The Phase 1 ESA concluded no Phase 2 assessment was required and no Record of Site Conditions would be needed for the site plan approval.

The proposed expansion of the existing kennel would be consistent with the policies of the Provincial Policy Statement (PPS) 2020.

CITY OF OTTAWA OFFICIAL PLAN

The subject property is designated Rural Countryside on Schedule B9 – Rural Transect of the City of Ottawa New Official Plan (See Figure 2). Lands to the north and east of the property are designated Agricultural Resource Area with lands to the south and west designated Rural Countryside. Lands further southwest on the west side of Upper Dwyer Hill Road are designated Bedrock Resource Area Overlay. Schedule C11-A – Natural Heritage System (West) shows the property outside of any significant natural heritage features (See Figure 3). The property is outside of any mapped organic Soils and not subject to any wellhead or intake protection zones pursuant to Schedule C15 – Environmental Constraints (See Figure 4).

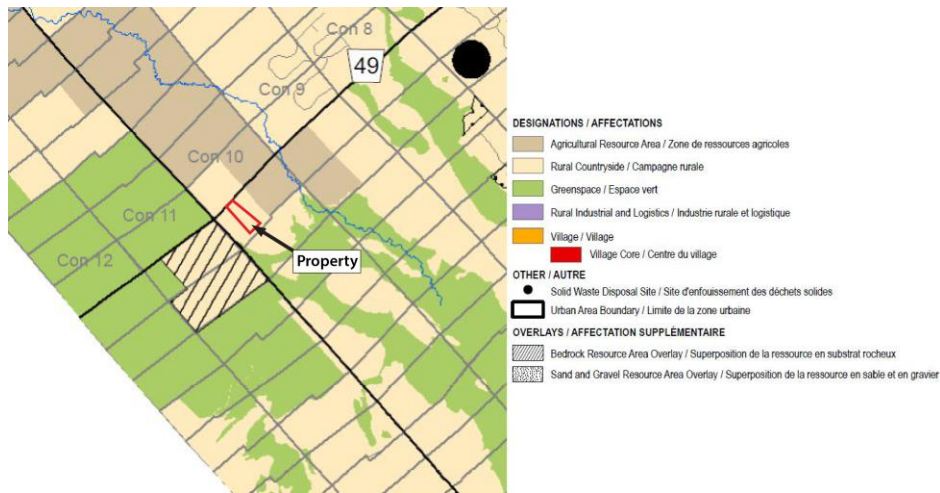


Figure 2 – City of Ottawa Official Plan Schedule B9 – Rural Transect

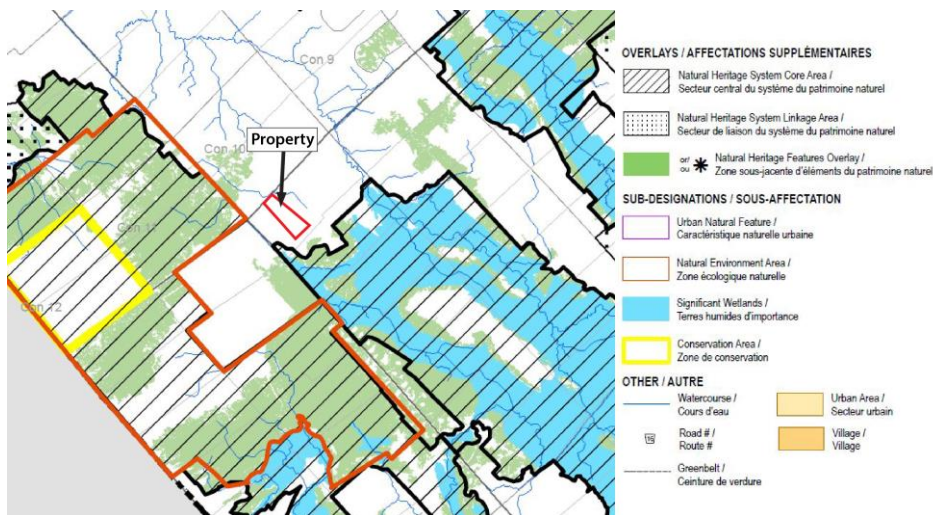


Figure 3 - City of Ottawa Official Plan Schedule C11-A – Natural Heritage System (West)

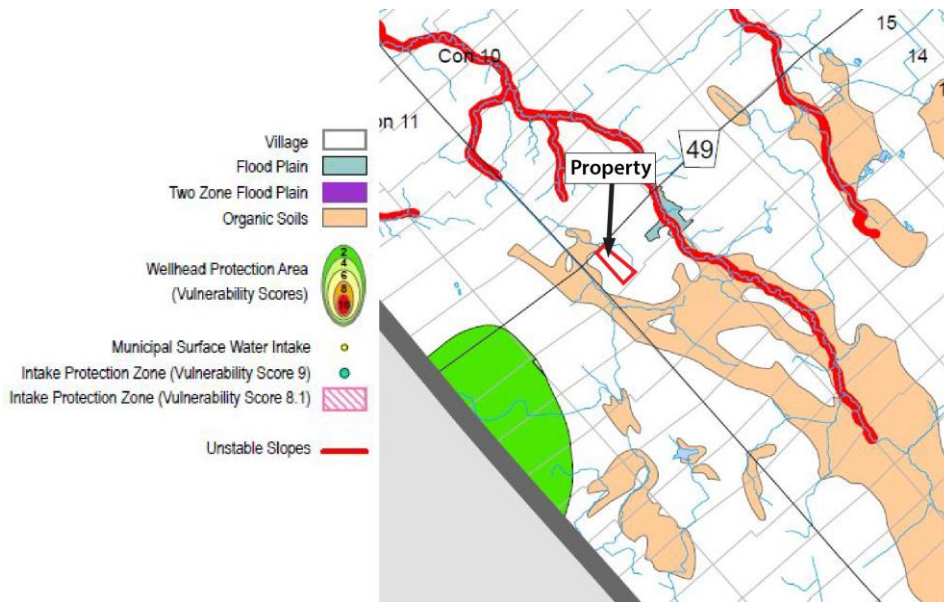


Figure 4 - City of Ottawa Official Plan Schedule C15 – Environmental Constraints

Section 3 of the Official Plan speaks to Growth Management Framework aimed at “*the ability to provide sufficient development opportunities and an appropriate range of choices.*” Section 3.2 speaks to Supporting Intensification through policies that increase residential density. Intensification of the commercial business will occur as part of the Site Plan application but residential intensification is not proposed. Section 3.4 speaks to Focusing Rural Growth in Villages. The property is already developed and the Site Plan proposed will propose additional development related to the on-site kennel. Section 3.5 speaks to Meeting Employment Needs with an estimated 10% of employment growth expected in the Rural area. The expansion of the current business will add additional employment opportunity to meet this target.

Section 4 of the Official Plan provides several City-Wide Policies applicable to development or redevelopment. **Section 4.1** speaks to mobility with policies more geared toward urban development and connectivity. The site is not connected to the urban parts of the City through any kind of mobile transportation network. Barrier-free parking access will be provided on-site to facilitate mobility options (Sec. 4.1.1) for safety of movement between customers and vehicles. Policies governing 15-minute neighbourhoods, sustainable transportation, and inter-urban flow are not considerations of the proposed development.

Section 4.2 speaks to Housing. The property contains a single dwelling used by the owner / operator of the business which is proposed to remain. The development proposed through Site Plan will not introduce any new residential uses, accessory units or housing options.

Section 4.3 speaks to Large-scale Institutions and Facilities such as “*hospitals, major health care facilities, universities, community colleges, major employers, federal employment campuses, major sports, recreational and cultural facilities.*” The kennel operation on the property would not constitute a large-scale facility.

Section 4.4 speaks to Parks and Recreation with policies geared toward promoting and protecting greenspace, open space and parks. The site does not constitute a Park or Recreation space for people. Expansion of the kennel will provide a new private space for dogs boarded at the kennel, not a recreation space like a dog park which would be open to the public.

Section 4.5 speaks to Cultural Heritage and Archaeology. The need for an archaeological assessment was not triggered by the proposed development which will occur in the developed portions of the property.

Section 4.6 of the Official Plan speaks to Urban Design. The property is located in the rural area of the City closer to the Town of Almonte well separated from any Parliament Buildings or important monuments. The site is outside of any Design Priority Areas and not located along a Scenic Route per Schedule C13 of the Official Plan. New development on the property will limit conflict between vehicles and pedestrians as the servicing, loading, buildings and greenspace are well separated from the traveled road (Sec. 4.6.5.3).

Section 4.7 of the Official Plan speaks to Drinking Water, Wastewater and Stormwater Infrastructure. Pursuant to 4.7.2.15 as part of a complete application where development is proposed on the basis of private individual services, the City will require sufficient information with the application to assess the likelihood that:

- a) *Sufficient quantity of groundwater exists on site to service the development;*
- b) *A water well can be constructed on the proposed lot(s) that will not be impacted by identified potential sources of groundwater contamination in the area;*
- c) *The quality of the groundwater meets or exceeds the Ontario Drinking Water Standards, Objectives and Guidelines;*
- d) *The operation of the on-site wastewater system on the new lot(s) will not adversely impact on a well to be constructed on the proposed lot(s) and on the wells of neighbouring properties; and*
- e) *The development is within the reserve capacity of the municipal sewage system for hauled sewage.*

As part of the redevelopment of the site all existing and proposed buildings will be connected to a new sewage disposal system that will not adversely impact any on-site or abutting wells. A new drilled well has been installed to provide for water servicing. A Servicing Brief and Stormwater Management Report have been completed for the property and will be provided with this report.

Section 4.8 speaks to Natural Heritage, Greenspace and the Urban Forest. The site does not have any identified natural heritage features that may be impacted by the new development. New buildings will be located outside of the treed area on-site preserving forested areas and greenspace as part of the redevelopment. The site is not located within Urban Forest.

Section 4.9 of the Official Plan speaks to Water Resources that shall be protected from incompatible development. A hydrogeological investigation was completed in support of the proposed development on-site. A new drilled well has been installed on the property to provide the water for the kennel use. A stormwater management plan has also been completed to ensure any surface or groundwater features are not impacted by storm runoff. The additional development would not impact water resources. Development and site alteration will not occur near surface water features (Sec. 4.9.3).

Section 4.10 of the Official Plan speaks to School Facilities. No institutions are proposed for the site and no existing institutions are located on nearby properties.

Section 5 of the Official Plan speaks to the various Transects with policies for the Greenbelt and Rural Transects located in **Section 5.5**. The proposed dog gym and kennel buildings will consist of low-rise development containing no residential dwelling units (Sec. 5.5.1.1). Built form and site design is centralized on the property helping to maintain the rural character and identity along the travelled road (Sec. 5.5.1.1b). The use exists on the site currently integrated into the surrounding vegetated areas and the natural environment (Sec. 5.5.1.2c). A new septic system and drilled well will provide adequate services for the use (Sec. 5.5.1.2e). Continuation and expansion of the current commercial kennel would be supported by the Rural Transect policies.

Section 5.6.3 of the Official Plan speaks to Aggregate Overlays. The property at 3904 March Road does not contain any overlays, but a Bedrock Resource Area overlay is located on the west side of Upper Dwyer Hill Road in the location of an existing quarry operation. The mineral aggregates on the nearby site are currently being extracted while the kennel business is in operation. Additional development on the subject property will not result in new incompatible uses that would preclude or hinder the existing aggregate operation (Sec. 5.6.3.2). Pursuant to

Section 5.6.3.2.3 - *new development shall not be approved within 500 metres of lands within the Bedrock Resource Area Overlay . . . unless it can be demonstrated that such development shall not conflict with future mineral aggregate extraction. Conflicting land uses are new sensitive land uses that interfere with mineral aggregate extraction, including but not limited to:*

- a) *The creation of new lots;*
- b) *Rezoning to permit dwellings or lodging places (motels, campgrounds, nursing homes, etc.); and*
- c) *Small-scale business uses where animals, equipment or employees may be adversely affected by pit or quarry activities*

No lots will be created as a result of the business expansion and no rezoning is proposed. The site does contain a kennel business where animals are kept. However, the kennel is not a new use; the kennel currently exists on the property. The proposal will seek to construct two additional buildings related to the kennel. Both buildings will be setback a greater distance from the existing quarry operation than existing buildings on the property. Further, the quarry has operated adjacent to the kennel for many years. Expansion of the kennel business will not result in new sensitive uses or interference with the quarry operation. The quarry licenced area already extends to the limit of Upper Dwyer Hill Road with residential uses located on the east side of the travelled road between the quarry and kennel. Expansion of the quarry in an easterly direction toward the property would not be feasible without removal of the travelled road and displacement of residential property owners. New development on-site at 3904 March Road will not impact potential future expansion within the licenced area (Sec. 5.6.3.2.4). Adequate buffering in the form of intervening properties and vegetation cover currently exists (Sec. 5.6.3.2.5). Given the kennel exists and the proposal is seeking new development at a setback greater than existing on-site buildings the mineral aggregate resources / quarry operation to the west would be protected in accordance with the policies of Section 5.6.3.

Section 9 of the Official Plan speaks to the Rural Designations with policies for the Rural Countryside designation found under **Section 9.2**. The intent of the designation is to *“accommodate a variety of land uses that are appropriate for a rural location, limiting the amount of residential development and support industries that serve local residents and the travelling public, while ensuring that the character of the rural area is preserved.”* The site contains a commercial kennel business which is appropriate for the rural setting as noise created by dogs can impact surrounding residential uses. A kennel would not be suitably located within more densely populated urban areas or rural villages. The business supports both local residents and the travelling public who require boarding facilities for their dogs.

Location of the existing and proposed buildings toward the centre of the property protects the character of the rural area and the visual aesthetics along the travelled road. Expansion of the existing business would be appropriate for the underlying designation.

The Official Plan aims to strengthen the rural economy by permitting a diversity of uses including animal services boarding, breeding and training and equestrian establishments (Sec. 9.2.2.1d). The use is permitted on the property without the need for a Zoning By-Law Amendment (Sec. 9.2.2.2). Development is not proposed within 1 kilometre of any Village or Urban Boundary (Sec. 9.2.2.3). The expansion will not result in the creation of new lots pursuant to Section 9.2.3. Overall, development of new kennel related buildings as an expansion of the existing use would be permitted within the Rural Countryside designation.

Section 10 of the Official Plan speaks to Protection of Health and Safety. Kennel uses like that on-site have the potential to introduce noise impacts on surrounding uses. **Section 10.2.1** speaks to Environmental Noise Control requiring new sources of stationary noise within 100 metres of existing noise sensitive uses to complete a noise feasibility study (Sec. 10.2.1.8a). A kennel is not necessarily considered a stationary noise source as the dogs are the generators of the noise on-site and are not kept in one single location for the duration of their stays. Zoning By-Law provisions provide additional setback requirements for kennels and will be outlined later in this report. As shown on the site plan sketch the existing kennel buildings on-site are located 165.8m and 201.5m respectively from the closest residential dwelling. The new dog gym and kennel buildings are setback further from the dwelling at distances of 239.0m and 264.4m respectively. No on-site activity occurs within 100 metres of the abutting dwelling. Further, a noise study was not required during the pre-consultation.

Based on review of the applicable policies the proposed dog gym and kennel buildings for the expansion of the existing kennel business on-site is permitted in the Rural Countryside designation and complies with all relevant Official Plan policy.

CITY OF OTTAWA ZONING BY-LAW 2008-250

The subject property is zoned Rural Countryside (RU) zone in the City of Ottawa Zoning By-Law and as seen on the GeoOttawa Interactive Mapping (See Figure 5). Lands to the south and northwest of the subject property fall in the Rural Countryside zone. The abutting parcel to the east falls in an RU-exception zone, and the abutting parcel to the west falls in a Rural General Industrial – Exception zone.

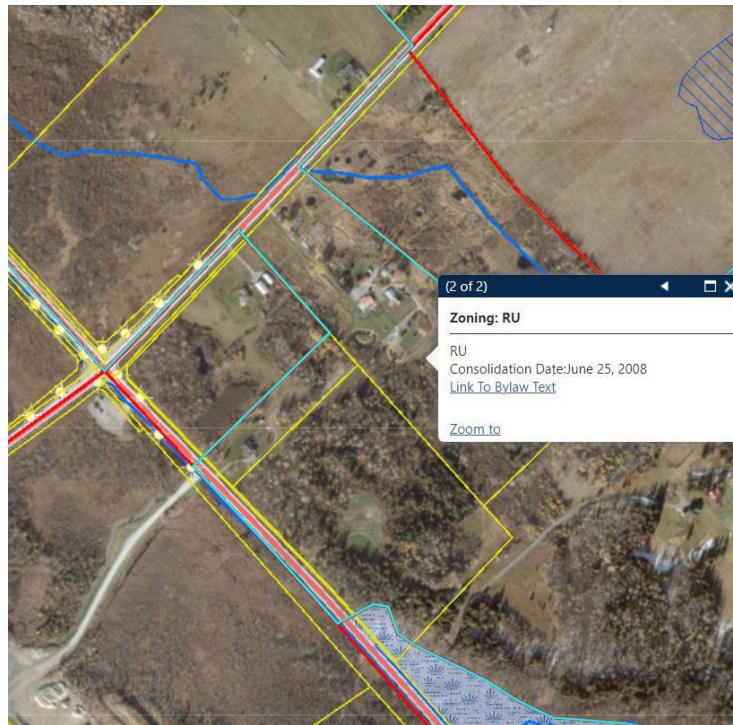


Figure 5 – Rural Countryside (RU) Zoning
(derived from GeoOttawa)

Part 2 of the Zoning By-Law (Sections 55 to 75) sets forth General Provisions for development within the City of Ottawa. **Section 55** speaks to Accessory Uses, Buildings and Structures. The site contains a number of small accessory sheds which are located on the same property as the principal use (kennel) and contribute to the function of the kennel on-site (Sec. 55(1)). The sheds are not used for human habitation (Sec. 55(2)). Shipping containers are not used for storage on the property (Sec. 55(10)). Table 55 outlines provisions applicable to Accessory Uses, Buildings and Structures. As seen on the site plan the accessory sheds are centralized on the property close to the main driveway well outside of any required yard setbacks. The sheds are well below the permitted height of 12 metres. The five (5) sheds have a total area of 37.6sq.m. The underground pool used for the dogs measures 110.4sq.m in size. The aggregate of all the accessory buildings and uses on the property would be 148.0sq.m below the maximum of 150sq.m as indicated for the RU zone in Table 55. There is no restriction on the number of accessory buildings and uses permitted for the RU zone. All existing accessory uses, buildings and structures would comply with the provisions of Section 55.

Section 67 speaks to Residential Use Building Setback from Mineral Aggregate Zones requiring all new buildings consisting of a dwelling, dwelling units or rooming units to be constructed no closer than 150 metres to an ME2 or ME3 zone, or 210 metres to an ME zone. The proposed

dog gym and kennel buildings on-site will not introduce any new dwellings or dwelling units. The existing dwelling on the property is setback approximately 420 metres from the ME[725r] zone located to the west.

Part 3 of the City of Ottawa Zoning By-Law (Sections 77 to 99) speak to Specific Use Provisions applicable to certain land uses. **Section 84** provides provisions for Kennel which must comply with the provisions of Table 84.

Zoning Table for New Kennel and Dog Gym (RU zone) (Zoning By-Law Section 84)				
Zone Provision	Requirement	Existing	New Kennel	New Dog Gym
Lot Width (min)	120m (4+ runs)	134.4m		
Lot Area (min)	4ha (4+ runs)	9.57ha		
Minimum setback of a kennel or any structure or portion thereof used for the kennel operation	Front or Side Lot Line – 15m	Workshop – 166.0m Kennel/Office – 191.7m Dwelling – 180.9m Kennel/Barn – 208.5m	283.8m	257.3m
	Rear Line – 12m	Workshop – 366.4m Kennel/Office – 337.5m Dwelling – 341.8m Kennel/Barn – 305.8m	247.8m	265.4m
Height (max)	Same as an Accessory Building (single level runs only)	Same as an Accessory Building, single level runs only	See final building plans	N/A (no kennel runs)
Parking Location	No closer than 6m to any line abutting a street	All Parking > 6m from any line abutting a street	All Parking > 6m from any line abutting a street	All Parking > 6m from any line abutting a street
Dog Run Location	Side, rear or interior side abutting a side or rear yard	All runs located within side or rear yards	All runs located within side or rear yards	N/A
Separation (min)**	215m (4+ runs)	Kennel/Office – 165.8m Kennel/Barn – 201.5m	244.0m	256.6m

The new kennel and dog gym will meet all applicable provisions found in Table 84 of the Zoning By-Law. The existing kennel buildings are both located closer than the minimum 215 metres for four or more dog runs. Both buildings were in existence as of the date of adoption of the current By-Law. The wording in Table 84 states “all kennels, existing as of the date of adoption of this By-law which would otherwise be made undersized and non-conforming under

subsection (a), are deemed to comply with the required minimum separation areas.” Therefore, the existing kennel buildings would be deemed compliant with the minimum separation requirements of Table 84. The new kennel and dog gym proposed as an expansion of the current kennel business on the property would comply with Section 84 of the Zoning By-Law.

Part 4 of the Zoning By-Law (Sections 100 to 114) speaks to Parking, Queuing, and Loading Provisions with general provisions outlined in **Section 100**. All parking and loading facilities required for the kennel are not obstructed and located on the same lot as the business (Sec. 100(1)). The surface of the existing driveway and parking area is stable and usable in all seasons (Sec. 100(3b)) providing access directly to March Road (Sec. 100(4)).

Section 101 outlines Minimum Parking Space rates for various uses. Pursuant to Table 101 the existing detached dwelling requires 1 parking space which is provided by an existing driveway next to the dwelling. Row N47 in Table 101 requires a minimum of four (4) parking spaces per kennel for any kennel with four or more runs. The site currently contains two 4+ run kennel buildings with the proposal for a third. Parking has been provided for each of the three kennel buildings on-site. In total, 15 parking spaces are shown on the site plan sketch of the property. Additionally, it should be noted a kennel is not a use traditionally associated with extended stays. Vehicles parking on-site are generally there for a limited time to either drop off or pick up their dogs from the kennel. Additionally, parking areas for employees have been indicated on the site plan to be provided in addition to the minimum required parking for the kennel.

Section 106 outlines parking space provisions requiring all motor vehicle parking to be at least 2.6 metres wide, not more than 3.1 metres wide, and at least 5.2 metres long (Sec. 106(1a-c)). All regular motor vehicle spaces on the site plan are shown with dimensions of 2.6m wide by 5.5m long. No parallel parking spaces are proposed.

Section 107 speaks to Aisle and Driveway Provisions. A driveway providing access to parking spaces other than in a parking lot or garage must have a minimum width of 2.6m (Sec. 107(2)). The existing driveway used to access the parking area on-site measures 3.5m in width. The driveway leading to the parking space for the dwelling measures 4.3m in width (Sec. 107(3a)). Aisle / manoeuvring areas leading to the perpendicular parking spaces is in excess of 6.7 metres (Table 107).

Part 13 of the Zoning By-Law (Sections 211 to 236) outline the various Rural Zones with provisions for the Rural Countryside (RU) Zone found under **Sections 227 and 228**. The purpose of the RU zone is to:

1. *accommodate agricultural, forestry, country residential lots created by severance and other land uses characteristic of Ottawa's countryside, in areas designated as General Rural Area, Rural Natural Features and Greenbelt Rural in the Official Plan;*
2. *recognize and permit this range of rural-based land uses which often have large lot or distance separation requirements; and*
3. *regulate various types of development in manners that ensure compatibility with adjacent land uses and respect the rural context.*

The subject property is designated Rural Countryside in the New Official Plan for the City of Ottawa. The site is designated General Rural Area in the previous Official Plan. The kennel has required separation distances as outlined in the Official Plan and Zoning By-Law requiring a larger lot area to meet these requirements. Development will be regulated through site plan control to ensure compatibility with surrounding uses. Section 221(1d) lists a kennel and a detached dwelling as permitted uses in the RU zone. Pursuant to Table 227 the minimum lot width, area and front yard setback as set forth in Section 84 can be met. All on-site uses would exceed minimum corner side, interior side and rear yard setbacks, will be less than 12 metres in height, and will have a combined lot coverage of 1.46%. The site is not in an RU subzone pursuant to Section 228.

Overall, existing accessory uses and buildings comply with the provisions of Section 55, the expanded kennel complies with the specific use provisions of Section 84, the site can meet all applicable parking requirements, the use is permitted in the RU zone and can comply with all applicable zone provisions. Expansion of the current kennel through the construction of a new kennel building and new dog gym would meet all applicable policy of the Zoning By-Law 2008-250.

SUMMARY

The owner of the Dog World Kennel located at 3904 March Road is proposing an expansion of the business through the construction of a new kennel building and dog gym on the subject property. The site plan application is seeking the flexibility for a phased construction with the dog gym planned first and the kennel planned in the near future. The proponent is also seeking the flexibility to remove or rebuild the current barn structure attached to one of the existing kennels which is in a state of disrepair. The use is consistent with the policies found in the Provincial Policy Statement (PPS) 2020, is appropriate for the Rural Countryside designation,

and is a permitted use in the Rural Countryside (RU) zone complying with all applicable zoning and specific use provisions. Expansion of the kennel would not result in adverse impacts to surrounding uses and would not preclude or hinder the operation of the nearby quarry located at the intersection of March Road and Upper Dwyer Hill Road. Civil engineering plans, an Environmental Site Assessment, and Stormwater Management reports have been completed in support of the proposed site plan.

Should you have any further questions please do not hesitate to contact the undersigned.

Sincerely,



Chris Clarke, B.Sc., CPT



Tracy Zander, M.Pl, MCIP, RPP