

LEGEND

	NEW OVERHEAD DOOR		BICYCLE PARKING SPACE (1.8Mx0.6M)		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		NEW CONSTRUCTION
	NEW DOOR / ENTRANCE		NO PARKING LINES		STREET LIGHT		DEPRESSED CURB (DC)		EXISTING BUILDINGS
	PROPOSED RIVERSTONE MULCH		PROPOSED PRECAST CONCRETE PAVERS		HYDRO POST		PROPERTY LINE		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	EXISTING VEGETATION REFER TO LANDSCAPE DWGS		PROPOSED SOD - REFER TO LANDSCAPE DWGS		DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS		EXISTING FENCE		MINIMUM SETBACKS (ZONING)
			NEW SAWCUT CONCRETE SIDEWALK		V VISITOR PARKING				*REFER TO LANDSCAPE DWGS
			PARKING STALL COUNT PER ROW						



CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM	RAUB PROVISION (PUD)	PROPOSED	COMPLIANCE
MINIMUM LOT WIDTH	N/A	20.12m	X
MINIMUM LOT AREA (EXCEPTION 2701 - ONE LOT FOR ZONING PURPOSES)	1,400m ²	1,859m ²	
MAXIMUM BUILDING HEIGHT (AS PER BUILDING TYPE (LOW-RISE APARTMENT - MAXIMUM OF 12 UNITS) SCHEDULE 495)	11.1m	11.08m	
MINIMUM FRONT YARD SETBACK (SCHEDULE 495 - CARRUTHERS AVE.)	3.7m (MEASURED FOR 276 CARRUTHERS)	3.75m	
MINIMUM CORNER SIDE YARD SETBACK (SCHEDULE 495 - ARMSTRONG ST.)	1.5m	2.0m	
MINIMUM REAR YARD SETBACK (SCHEDULE 495 - ARMSTRONG ST.)	1.2m	19.6m	
MINIMUM INTERIOR SIDE YARD SETBACK (SCHEDULE 495)	1.5m	1.5m	
INTERIOR YARD AREA (EXCEPTION 2701)	NOT REQUIRED	NOT PROPOSED	
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN RAUB (EXCEPTION 2701)	18 UNITS	18 UNITS	
LOW-RISE APARTMENT DWELLINGS IN RAUB ZONE (SECTION 161)	IN THE CASE OF A LOT OF 450m ² OR GREATER: AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	28%	
PRINCIPAL ENTRANCE (SECTION 161)	1 ENTRANCE	1 BARRIER-FREE MAIN ENTRANCE	
FRONT FACADE (SECTION 161)	25% WINDOWS	33.6% WINDOWS	
FRONT YARD FIXTURES (SECTION 161)	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING	TREES ARE PROVIDED WITHIN THE FRONT YARD TO PREVENT VEHICLE PARKING	
BALCONY (SECTION 161) (EXCEPTION 2701)	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET ABOVE THE FIRST STOREY, AND	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS	
	TOTAL BALCONY AREA OF 2m ² MINIMUM	ALL BALCONIES > 2m AREA	
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	30%	38.4% (714.15m ²)	
LANDSCAPED AREA (REAR YARD) (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 50 PERCENT OF THE REAR YARD	REAR YARD IS PROPOSED TO BE SOFTLY LANDSCAPED REAR YARD = 280m ² AND PROPOSED TO BE SOFTLY LANDSCAPED	
LANDSCAPED AREA FRONT YARD (SECTION 161)	40% x 30m	78% = 58.8m ²	
MINIMUM WIDTH OF A PRIVATE WAY (EXCEPTION 2701)	5.3m	5.3m	
MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (SECTION 131)	1.8m	1.87m	
MINIMUM SEPARATION DISTANCE BETWEEN BUILDINGS (SECTION 131)	WHERE THE HEIGHT OF ABUTTING BUILDINGS WITHIN THE PID IS EQUAL TO OR LESS THAN 14.5m: 1.2m	3.0m	
AMENITY AREA (SECTION 137)	RAUB ZONE NOT REQUIRED TO HAVE AMENITY SPACE	PRIVATE: 32.8m ² COMMUNAL: 121m ² (ROOF TOP) & 280m ² (SHARED REAR YARD)	

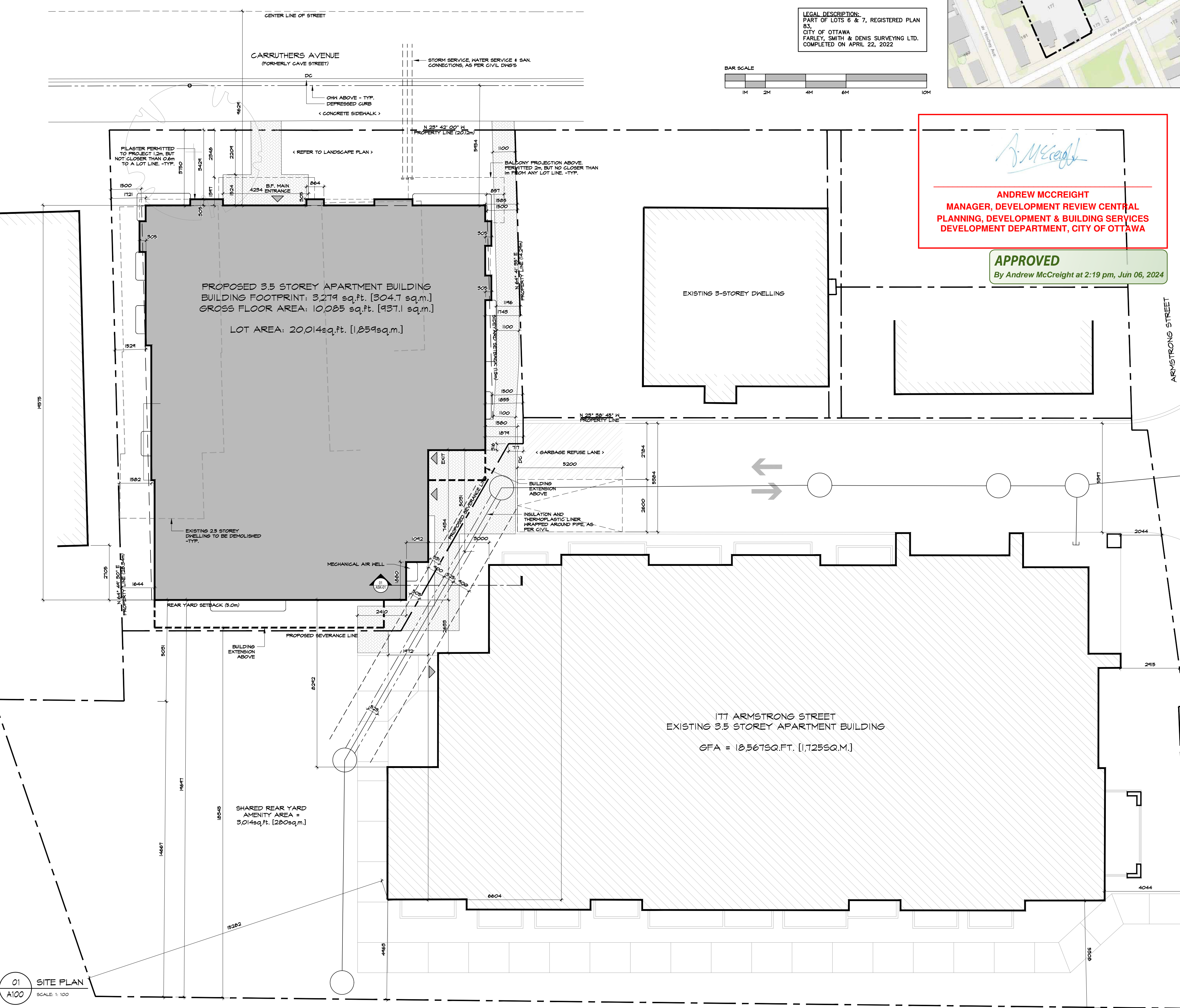
CLIENT NAME: THE BERG HOMES

NOTES:

- ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

BUILDING FLOOR STATISTICS

	SUITES	2 BED	1 BED	STUDIO
LOWER LEVEL	4	1	3	N/A
GROUND FLOOR	4	N/A	4	N/A
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	3	N/A
	18	5	13	0
		28%	72%	0%



ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 2:19 pm, Jun 06, 2024

REVISIONS

NO.	DATE	REVISION
17	2024.05.16	ISSUED FOR SPC RESPONSE
16	2024.05.15	ISSUED FOR COORDINATION
15	2024.03.28	ISSUED FOR SPC RESPONSE
14	2024.01.23	ISSUED FOR COORDINATION
13	2023.12.20	ISSUED FOR SPC RESPONSE
12	2023.11.20	ISSUED FOR COORDINATION
11	2023.10.27	ISSUED FOR REVIEW
10	2023.09.26	ISSUED FOR REVIEW
09	2023.07.17	ISSUED FOR SPC RESPONSE
08	2023.03.24	REISSUED FOR ZONING & SPC
07	2023.02.24	ISSUED FOR COORDINATION
06	2023.02.13	ISSUED FOR REVIEW
05	2023.01.09	ISSUED FOR OPEN HOUSE
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.04	ISSUED FOR COORDINATION
02	2022.08.15	ISSUED FOR COORDINATION
01	2022.07.27	ISSUED FOR REVIEW

REQUIREMENTS

REQUIREMENTS	PROPOSED	COMPLIANCE
MAXIMUM NUMBER OF DWELLING UNITS	33	
MINIMUM ROOFTOP ACCESS SETBACK FROM THE FRONT WALL FOR A MAXIMUM WIDTH OF 6.5m	0m	
MAXIMUM ROOFTOP ACCESS AREA	46.3m ²	46.3m ²
PRINCIPAL ENTRANCE	ONLY ONE PRINCIPAL ENTRANCE IS REQUIRED	ONE PRINCIPAL ENTRANCE IS PROVIDED
PARKING REQUIREMENTS (SECTION 101, 102, 111)		
MINIMUM PARKING RATES AREA X OF SCHEDULE 1A (SECTION 101 & 102) (EXCEPTION 2701)	NO PARKING IS REQUIRED, BUT ONE SPACE MAY BE PROVIDED	1 SPACE
PARKING SPACE PROVISIONS (SECTION 106)	MINIMUM: 2.6m x 5.2m MAXIMUM: 3.1m x 5.2m PARALLEL PARKING LENGTH: 6.7m	2.6m x 5.2m
AISELS AND DRIVEWAYS (SECTION 107)	DRIVEWAYS: MINIMUM WIDTH: 2.6m	DRIVEWAYS: 5.3m
PARKING NOT LOCATED IN A PARKING LOT OR PARKING GARAGE (SECTION 111)		
BICYCLE PARKING SPACES	0.5 SPACES / DWELLING UNIT = 9 SPACES	16 SPACES
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.9m x 1.8m ACCESS AISLE: 1.5m	16 SPACES (0.6m x 1.8m) AISLE: 1.5m
BUILDING AREAS	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL	304.7 sq.m	3,279 sq.ft
GROUND FLOOR LEVEL	304.7 sq.m	3,279 sq.ft
SECOND FLOOR LEVEL	316.2 sq.m	3,403 sq.ft
THIRD FLOOR LEVEL	316.2 sq.m	3,403 sq.ft
TOTAL	1,241.8sq.m (BASEMENT INCLUDED)	13,384sq.ft (BASEMENT INCLUDED)

SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS
S.J. LAWRENCE ARCHITECT INCORPORATED
S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
T: (613) 728-7770 F: (613) 728-7703 sjl@sjlarchitect.com

NORTH ARROW:

01 SITE PLAN
SCALE: 1:100

PROJECT:
CARRUTHERS DEVELOPMENT
266 CARRUTHERS, OTTAWA, ON

SHEET TITLE:
SITE PLAN

DRAWN BY: B.J.L.
2024.05.16

CHECKED BY: S.J.L.
2022.06.08

JOB NUMBER: SL-1077-22
SCALE: AS SHOWN

SHEET NUMBER:

A1.0