

**ZONING COMPLIANCE TABLE - PART 1**

Project: Earl Armstrong Plaza  
 Address: 1515 Earl Armstrong Road, Ottawa, ON  
 Zoning: GM26  
 Property Identification Number : 04331-4232  
 Existing Lot Area: 25,302 m<sup>2</sup>  
 Site Development Area Frontage: 124 m (along Limebank)  
 Gross Floor Area (all buildings): 5,312 m<sup>2</sup>  
 Legal Description:  
 Part of Lots 20 and 21 and Part of the Road Allowance between Lots 20 and 21, Concession 1 (Rideau Front), Geographic Township of Gloucester, City of Ottawa

	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	25,302 m <sup>2</sup>
Minimum Lot Width	no minimum	varies m
Minimum Front Yard Setback	3 m	3.5 m
Minimum Corner Side Yard Setback	3 m	3.5 to 6 m
Minimum Interior Side Yard Setback	5 m	n/a m
Minimum Interior Side Yard Setback abutting Residential	9 m	n/a m
Minimum Rear Yard Setback abutting a Street	3 m	11.3 m
Minimum Rear Yard Setback abutting Residential	9 m	n/a m
Maximum Floor Space Index	2	21 %
Maximum Building Height	18 m	6 m
Minimum width of landscaping abutting a Street	3 m	3 m
Minimum width of landscaping abutting a Residential zone	6 m	n/a m
Minimum width of landscaping around a parking lot	3 m	3 m
<b>Parking Requirements</b>		
Parking Spaces for Retail/Personal Services	130	
Parking Spaces for Restaurant Use	105	
Parking Spaces for Restaurant with Drive-thru	37	
Parking Spaces for Daycare Use	0	
<b>Total Parking spaces required (including barrier free parking spaces)</b>	<b>272</b>	<b>293</b>
<b>Maximum Parking spaces (Table 103)</b>	<b>294</b>	
Minimum queuing spaces for Drive-Thru	11	11
Barrier-free parking spaces	8	14
Bike Parking	22	30
Loading Spaces for Office	0	n/a
Loading Spaces for Retail	0	0

**ZONING COMPLIANCE TABLE - PART 2**

Project: Earl Armstrong Plaza  
 Address: 1515 Earl Armstrong Road, Ottawa, ON  
 Zoning: GM26  
 Property Identification Number : 04331-4232  
 Existing Lot Area: 12,960 m<sup>2</sup>  
 Site Development Area Frontage: 46.7 m (along Limebank)  
 Gross Floor Area (all buildings): 4,458 m<sup>2</sup>  
 Legal Description:  
 Part of Lots 20 and 21 and Part of the Road Allowance between Lots 20 and 21, Concession 1 (Rideau Front), Geographic Township of Gloucester, City of Ottawa

	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	12,906 m <sup>2</sup>
Minimum Lot Width	no minimum	varies m
Minimum Front Yard Setback	3 m	6 m
Minimum Corner Side Yard Setback	3 m	3.5(varies) m
Minimum Interior Side Yard Setback	5 m	24 (varies) m
Minimum Interior Side Yard Setback abutting Residential	9 m	n/a m
Minimum Rear Yard Setback abutting a Street	3 m	n/a m
Minimum Rear Yard Setback abutting Residential	9 m	n/a m
Maximum Floor Space Index	2	34 %
Maximum Building Height	18 m	6 m
Minimum width of landscaping abutting a Street	3 m	3 m
Minimum width of landscaping abutting a Residential zone	6 m	6 m
Minimum width of landscaping around a parking lot	3 m	3 m
<b>Parking Requirements</b>		
Parking Spaces for Retail/Personal Services	19	
Parking Spaces for Restaurant Use	56	
Parking Spaces for Restaurant with Drive-thru	19	
Parking Spaces for Office	61	
Parking Spaces for Daycare Use	11	
<b>Total Parking spaces required (including barrier free parking spaces)</b>	<b>166</b>	<b>171</b>
<b>Maximum Parking spaces (Table 103)</b>	<b>177</b>	
Minimum queuing spaces for Drive-Thru	11	11
Barrier-free parking spaces	8	8
Bike Parking	18	30
Loading Spaces for Office	1	1
Loading Spaces for Retail	0	0

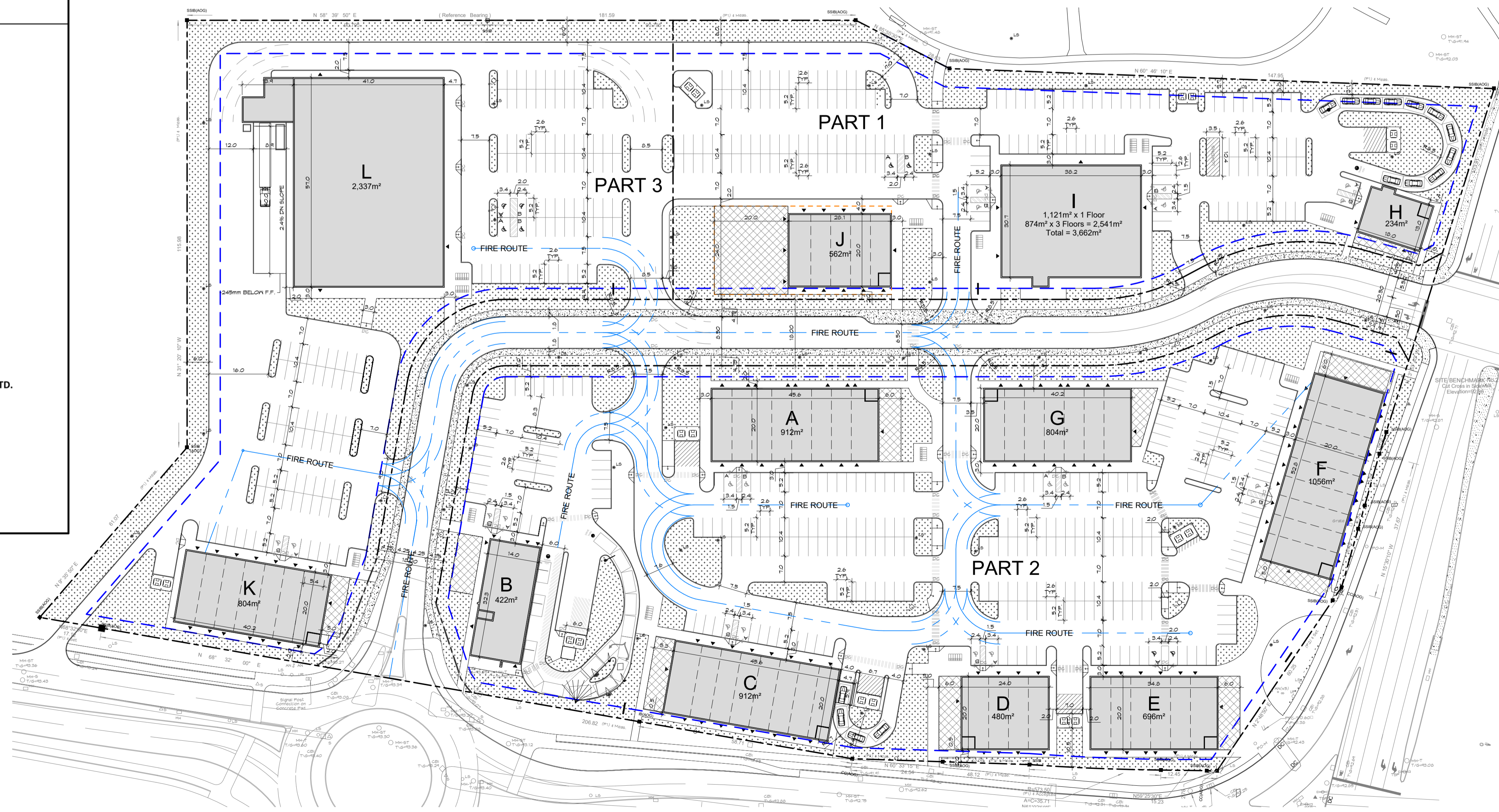
**ZONING COMPLIANCE TABLE - PART 3**

Project: Earl Armstrong Plaza  
 Address: 1515 Earl Armstrong Road, Ottawa, ON  
 Zoning: GM26  
 Property Identification Number : 04331-4232  
 Existing Lot Area: 16,422 m<sup>2</sup>  
 Site Development Area Frontage: 76.5 m (along Earl Armstrong)  
 Gross Floor Area (all buildings): 3,141 m<sup>2</sup>  
 Legal Description:  
 Part of Lots 20 and 21 and Part of the Road Allowance between Lots 20 and 21, Concession 1 (Rideau Front), Geographic Township of Gloucester, City of Ottawa

	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	3,141 m <sup>2</sup>
Minimum Lot Width	no minimum	m
Minimum Front Yard Setback	3 m	5 m
Minimum Corner Side Yard Setback	3 m	3 (varies) m
Minimum Interior Side Yard Setback	5 m	n/a m
Minimum Interior Side Yard Setback abutting Residential	9 m	15 m
Minimum Rear Yard Setback abutting a Street	3 m	n/a m
Minimum Rear Yard Setback abutting Residential	9 m	15.5 m
Maximum Floor Space Index	2	19 %
Maximum Building Height	18 m	7 m
Minimum width of landscaping abutting a Street	3 m	3 m
Minimum width of landscaping abutting a Residential zone	6 m	6 m
Minimum width of landscaping around a parking lot	3 m	3 m
<b>Parking Requirements</b>		
Parking Spaces for Retail/Personal Services	91	
Parking Spaces for Restaurant Use	48	
Parking Spaces for Restaurant with Drive-thru	0	
Parking Spaces for Daycare Use	0	
<b>Total Parking spaces required (including barrier free parking spaces)</b>	<b>139</b>	<b>154</b>
<b>Maximum Parking spaces (Table 103)</b>	<b>154</b>	
Minimum queuing spaces for Drive-Thru	11	n/a
Barrier-free parking spaces	6	6
Bike Parking	12	18
Loading Spaces for Office	0	0
Loading Spaces for Retail	2	2

**EARL ARMSTRONG PLAZA**

1515 Earl Armstrong Road Ottawa, Ontario	
OWNER / APPLICANT:	<b>URBANDALE CORPORATION</b> 2193 ARCH ST. OTTAWA, ON K1G 2H5
ARCHITECT:	<b>DREDGE LEAHY ARCHITECTS INC.</b> 11 HOLLAND AVE., SUITE 411 OTTAWA, ON K1Y 4R9
CIVIL ENGINEERING:	<b>IBI GROUP</b> 333 PRESTON ST., SUITE 500 OTTAWA, ON K1S 5N4
PLANNING:	<b>FOTENN</b> 396 COOPER ST., SUITE 300 OTTAWA, ON K2P 2H7
M&E ENGINEERING:	<b>JRP ENGINEERING</b> 9 HOLGATE COURT KANATA, ON K2K 1B4
LANDSCAPE ARCHITECT:	<b>CSW LANDSCAPE ARCHITECTS LTD</b> 319 MCRAE AVE., SUITE 502 OTTAWA, ON K1Z 0B9
SURVEYOR:	<b>ANNIS, O'SULLIVAN, VOLLEBEK LTD.</b> 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON K2E 7S6
GEOTECHNICAL:	<b>PATERSON GROUP</b> 9 AURIGA DRIVE OTTAWA, ON K2E 7T9
STRUCTURAL:	<b>CLELAND JARDINE ENGINEERING</b> 580 TERRY FOX DRIVE, SUITE 200 OTTAWA, ON K2L 4B9



**1 KEY PLAN**  
A000 SCALE: 1 : 750

Client:

Key Plan:  
Plan Clé:

T.N. = TRUE NORTH  
P.N. = PROJECT  
NORTH

1 ISSUED FOR SITE PLAN APPLICATION 12 / 15 / 2022

Issue: \_\_\_\_\_ Date: \_\_\_\_\_

Prime Consultant:  
Expert-Consult: \_\_\_\_\_

**DREDGE LEAHY** ARCHITECTS INC.  
411-11 Holland Ave.  
Ottawa, ON K1Y 4S1  
613.724.9865  
dl-arch.ca

Sub Consultant:  
Expert-Consult: \_\_\_\_\_

Project:  
Project: **EARL ARMSTRONG PLAZA**  
1515 EARL ARMSTRONG RD, OTTAWA, ON

Drawing:  
Dessin: **ZONING TABLES**

Drawn by: Dessiné par: <b>SG</b>	Scale: Echelle: <b>1 : 750</b>
Designed by: Conçu par: <b>MD</b>	Date: <b>DEC. 2022</b>
Approved by: Approuvé par: <b>MD</b>	Client Project No. No. du Projet du Client:

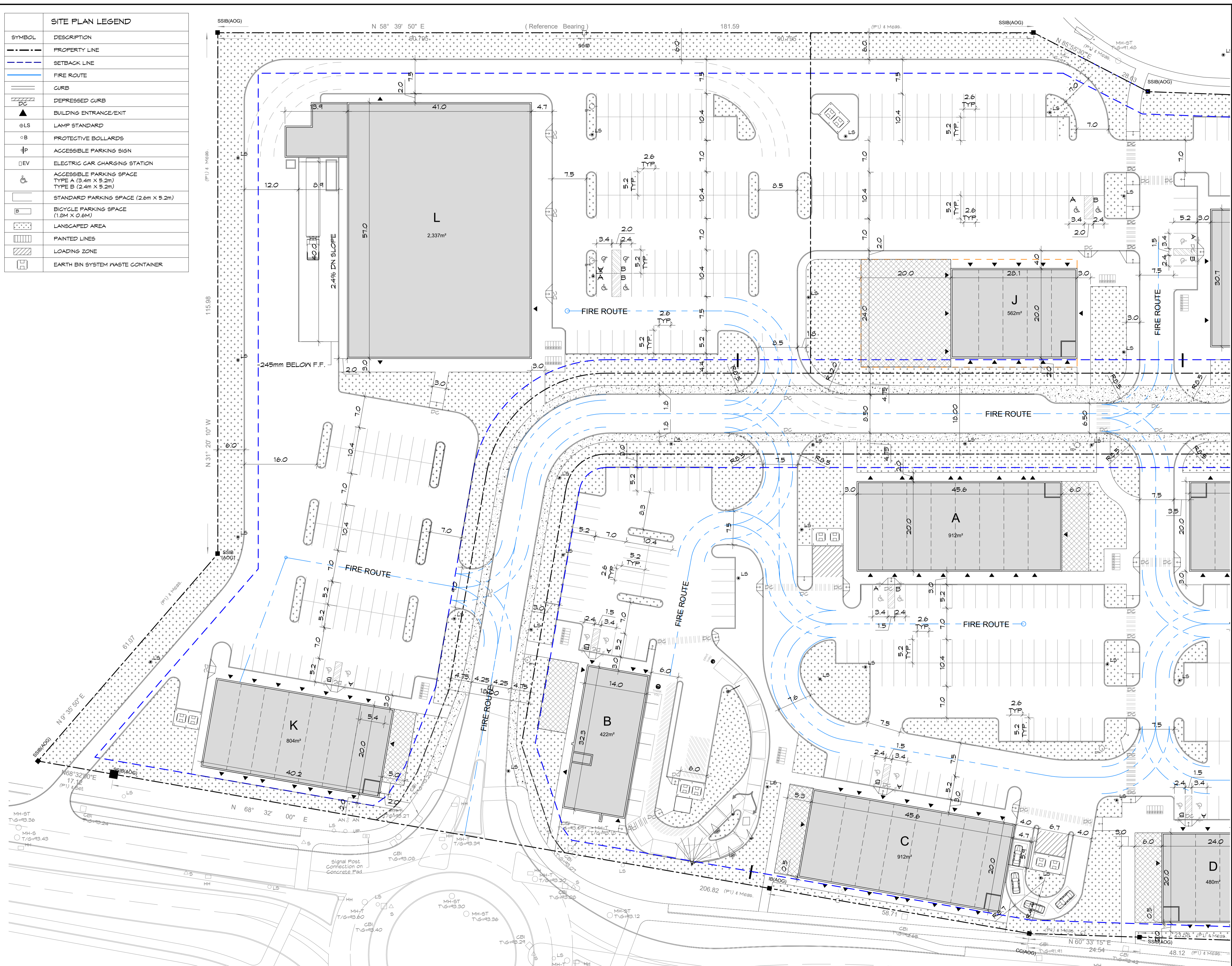
Seal:  
Sceau:

Project No.:  
No. du Projet:  
**1225-01**

Sheet No.:  
No. de la feuille:  
**A000**



SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	FIRE ROUTE
	CURB
	DEPRESSED CURB
	BUILDING ENTRANCE/EXIT
	LAMP STANDARD
	PROTECTIVE BOLLARDS
	ACCESSIBLE PARKING SIGN
	ELECTRIC CAR CHARGING STATION
	ACCESSIBLE PARKING SPACE TYPE A (3.4m X 5.2m)
	TYPE B (2.4m X 5.2m)
	STANDARD PARKING SPACE (2.6m X 5.2m)
	BICYCLE PARKING SPACE (1.8M X 0.6M)
	LANDSCAPED AREA
	PAINTED LINES
	LOADING ZONE
	EARTH BIN SYSTEM WASTE CONTAINER



Client:

Key Plan:  
Plan Clé:

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NORTH

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Issue: \_\_\_\_\_ Date: \_\_\_\_\_

Prime Consultant:  
Expert-Conseil:

**DREDGE LEAHY** ARCHITECTS INC.

411-11 Holland Ave.  
Ottawa, ON K1Y 4S1  
613.724.9865

dl-arch.ca

Sub Consultant:  
Expert-Conseil:

Project:  
Projet:

**EARL ARMSTRONG PLAZA**

1515 EARL ARMSTRONG RD, OTTAWA, ON

Drawing:  
Dessin:

**SITE PLAN - WEST**

Drawn by:  
Dessiné par:

**SG**

Scale:  
Echelle:

**As indicated**

Designed by:  
Conçu par:

**MD**

Date:

**DEC. 2022**

Approved by:  
Approuvé par:

**MD**

Client Project No.  
No. du Projet du Client:

Seal:  
Scellé:

**ONTARIO ASSOCIATION OF ARCHITECTS**  
MICHELE L. DREDGE  
LICENCE 4998

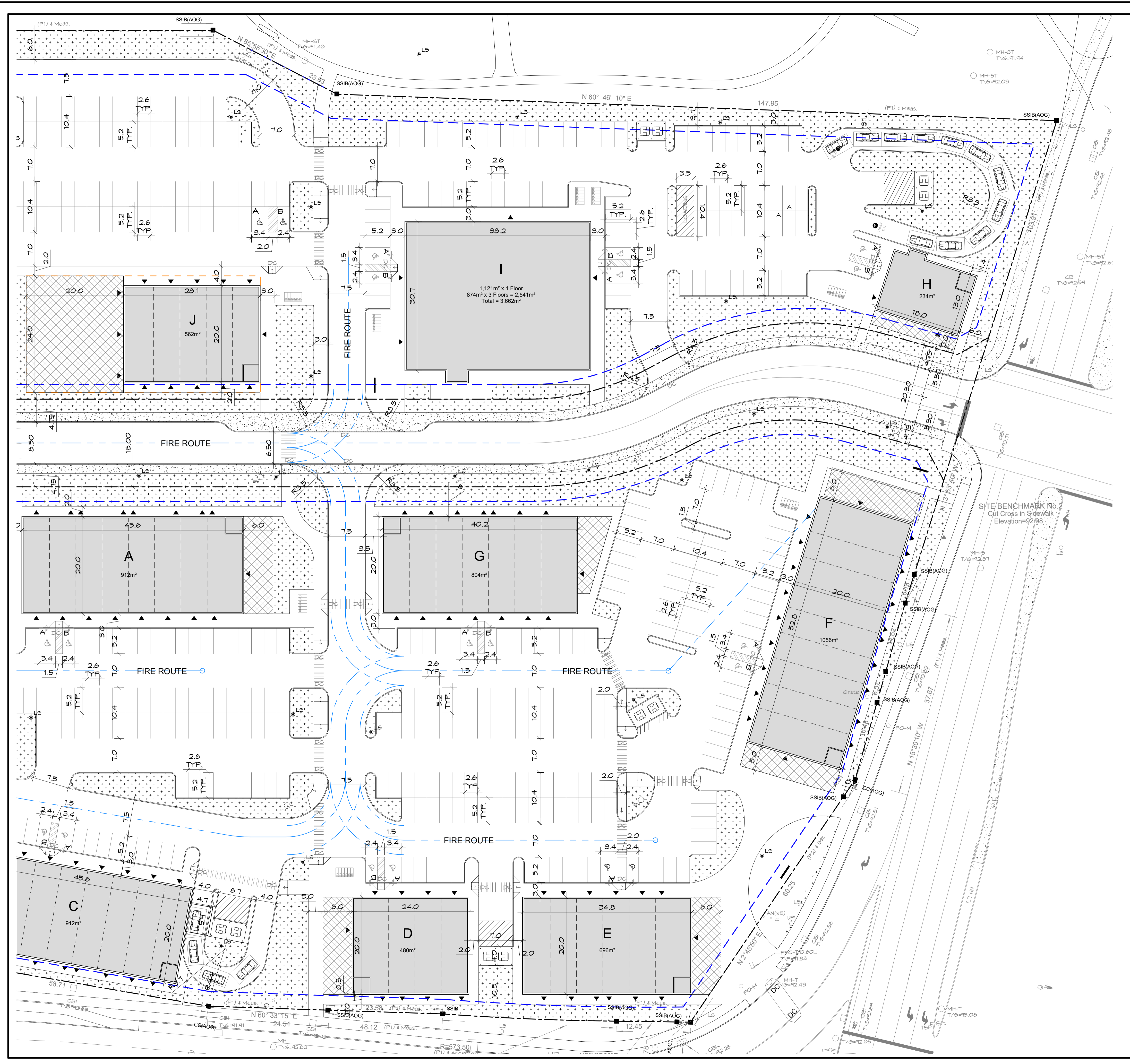
Project No.:  
No. du Projet:  
**1225-01**

Sheet No.:  
No. de la feuille:

**A100**

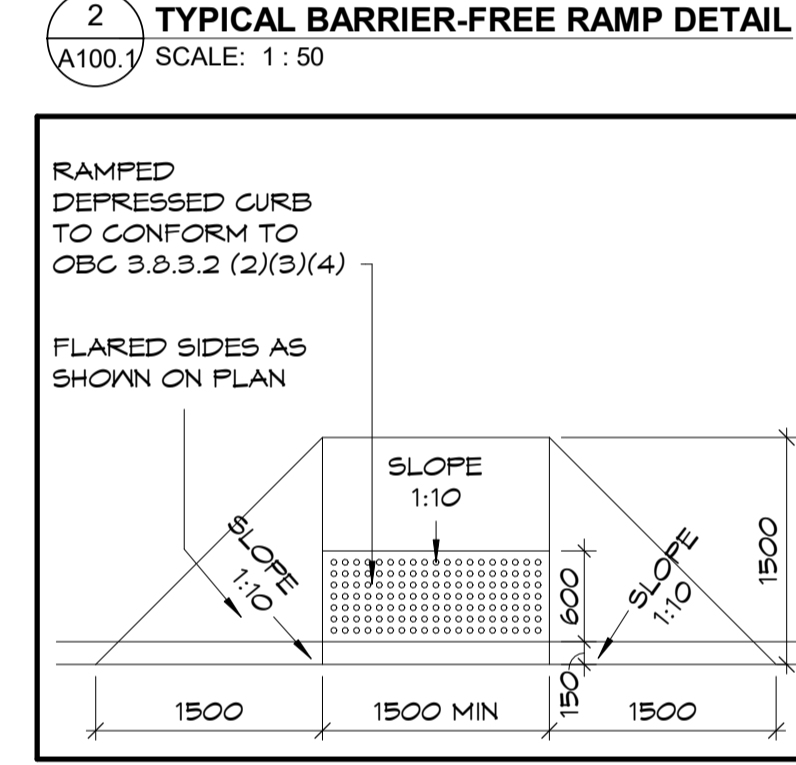
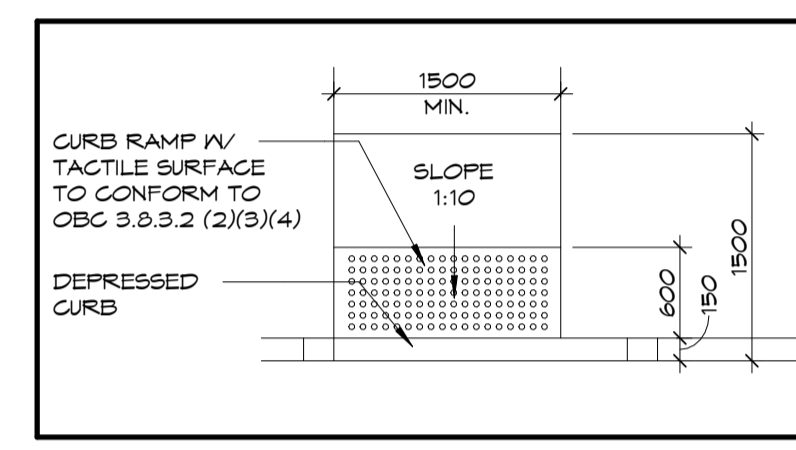
1 SITE PLAN WEST  
A100 SCALE: 1 : 400





1 SITE PLAN EAST  
A100.1 SCALE: 1 : 400

SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	FIRE ROUTE
---	CURB
---	DEPRESSED CURB
▲	BUILDING ENTRANCE/EXIT
⊙LS	LAMP STANDARD
⊙P	PROTECTIVE BOLLARDS
⊕P	ACCESSIBLE PARKING SIGN
⊕EV	ELECTRIC CAR CHARGING STATION
⊕	ACCESSIBLE PARKING SPACE TYPE A (3.4m X 5.2m) TYPE B (2.4m X 5.2m)
⊕	STANDARD PARKING SPACE (2.6m X 5.2m)
⊕	BICYCLE PARKING SPACE (1.8m X 0.6m)
---	LANDSCAPED AREA
---	PAINTED LINES
---	LOADING ZONE
⊕	EARTH BIN SYSTEM WASTE CONTAINER



Client:

Key Plan: Plan Clé: T.N. = TRUE NORTH P.N. = PROJECT NORTH

1 ISSUED FOR SITE PLAN APPLICATION 12 / 15 / 2022

Issue: Date:

Prime Consultant: Expert-Consult: **DREDGE LEAHY ARCHITECTS INC.** 411-11 Holland Ave. Ottawa, ON K1Y 4S1 613.724.9865 dl-arch.ca

Sub Consultant: Expert-Consult:

Project: **EARL ARMSTRONG PLAZA**  
1515 EARL ARMSTRONG RD, OTTAWA, ON

Drawing: Dessin: **SITE PLAN - EAST**

Drawn by: Dessiné par: <b>SG</b>	Scale: Echelle: <b>As indicated</b>
Designed by: Conçu par: <b>MD</b>	Date: <b>DEC. 2022</b>
Approved by: Approuvé par: <b>MD</b>	Client Project No. No. du Projet du Client:
Seal: Scellé: <b>ONTARIO ASSOCIATION OF ARCHITECTS</b> MICHELE L. DREDGE LICENCE 4998	Project No. No. du Projet: <b>1225-01</b> Sheet No. No. de la feuille: <b>A100.1</b>