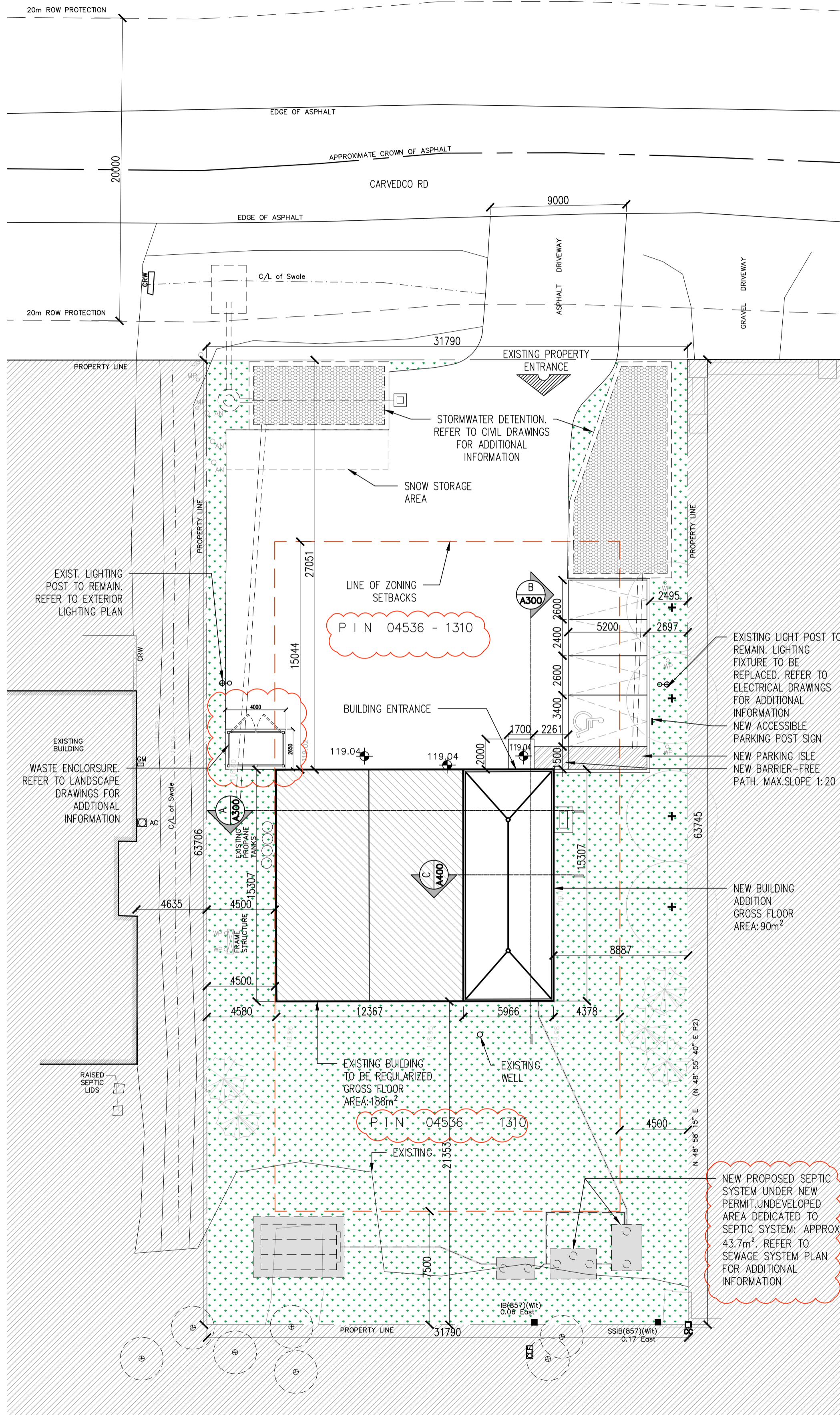


1 EXISTING / DEMOLITION SITE PLAN
A-010 SCALE: 1:200



2 NEW SITE PLAN
A-010 SCALE: 1:200

LEGEND

- BARRIER FREE PATH
- N.I.C.
- SOD AREA
- TO BE DEMOLISHED
- ASPHALT TO BE REMOVED
- EXISTING TREES TO REMAIN
- NEW DECIDUOUS TREES. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION
- NEW CONIFEROUS TREES. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION

OBS: PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN ELABORATED BY FARLEY, SMITH & DENIS SURVEYING LTD, DATED OF MAY 19TH, 2021.

ZONING REPORT - PROJECT - 135 CARVEDCO RD, CARP, ON K0A 1L0

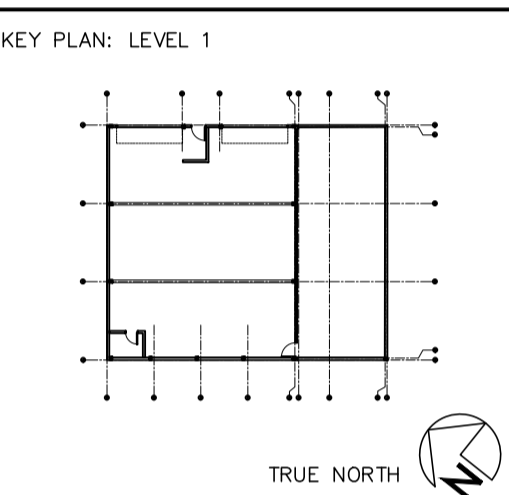
Address: 135 Carvedco Road, Carp, ON

Legal Description	Regularization of the garage repairs building and construction of an additional building on the east side of the existing facilities, which will accommodate office and administrative activities.
Zoning	F2 Medium Hazard Industrial Occupancies
Proposed use	Medium industrial uses
Permitted use	Medium industrial uses
Schedule 1	-
Schedule 2	-
Schedule 3	-
Other Schedules	-
Exceptions	-
Road Widening	-
Easements	-
Corner Lot triangle	-
Heritage Overlay	No
Street considered front (if a corner lot):	N/A
Flood plain line	-
Adjacent zoning	-
Proximity to another special needs house	None

	Required	Provided
Lot Area	1800 m² (min.)	2,023.54 m² (existing)
Lot Width	30 m	31.79 m (existing)
Max. Lot Coverage	50%	42% (proposed)
Floor Space Index	-	-
Front yard setback	12 m	27.05 m (existing)
Side yard setback	4.5 m	West: 4.58 (existing) East: 8.89 (proposed)
Rear yard setback	7.5 m	21.35 m (existing)
Building height (max.)	15 m	6.5m (existing building) 4.52m (proposed building)

Permitted projections into required yard
Permitted projections above the height limit
Accessory Building Requirements
Parking
Bicycle Parking
Off Street Parking requirements
Visitors parking
Loading Dock
Landscaped Area
Outdoor Storage

3 ZONING TABLE
A-010 N.T.S.



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWINGS.

REVISIONS

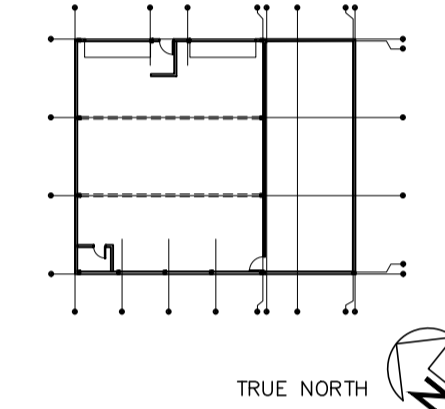
NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	2021-06-25
2	CLIENT REVIEW 1	2021-07-14
3	ISSUED FOR PERMIT	2022-01-24
4	RESPONSE TO CITY COMMENTS_R01	2022-05-24
5	RESPONSE TO CITY COMMENTS_R02	2022-09-06
6	RESPONSE TO CITY COMMENTS_R03	2022-10-17
7	ISSUED FOR SITE PLAN CONTROL	2022-11-28
7	REISSUED FOR SITE PLAN CONTROL_R01	2023-06-13

ONTARIO ASSOCIATION OF ARCHITECTS
ANDREA R. BUCHSBAUM
LICENCE 7996

NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT.

DATE: 2022-08-21
DRAWN: PB/MP
CHECKED: AB
DATE PRINTED: 2022-11-28

KEY PLAN: LEVEL 1



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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REVISIONS

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ONTARIO ASSOCIATION OF ARCHITECTS
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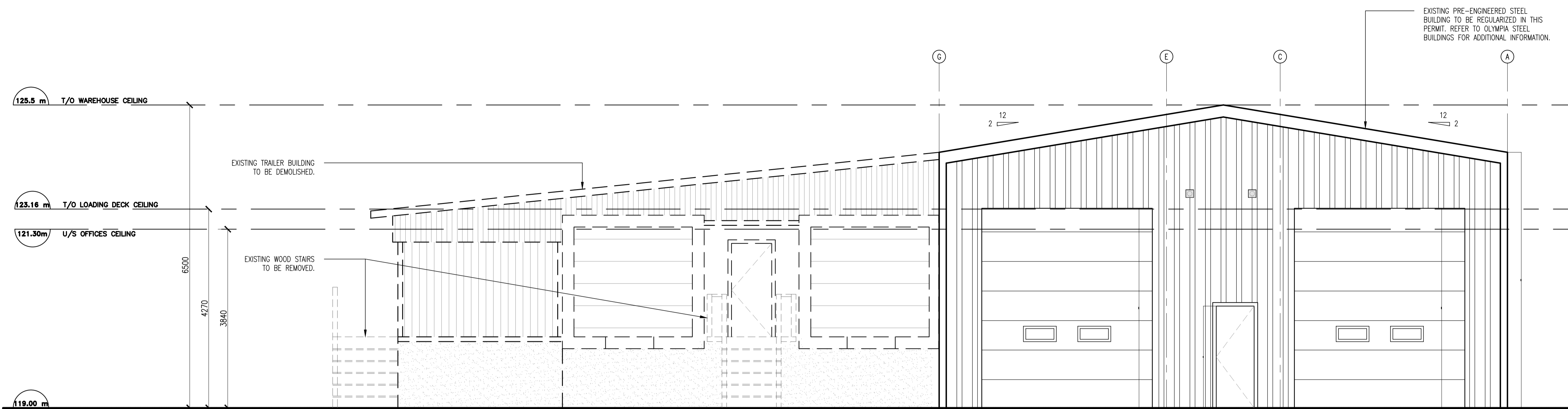
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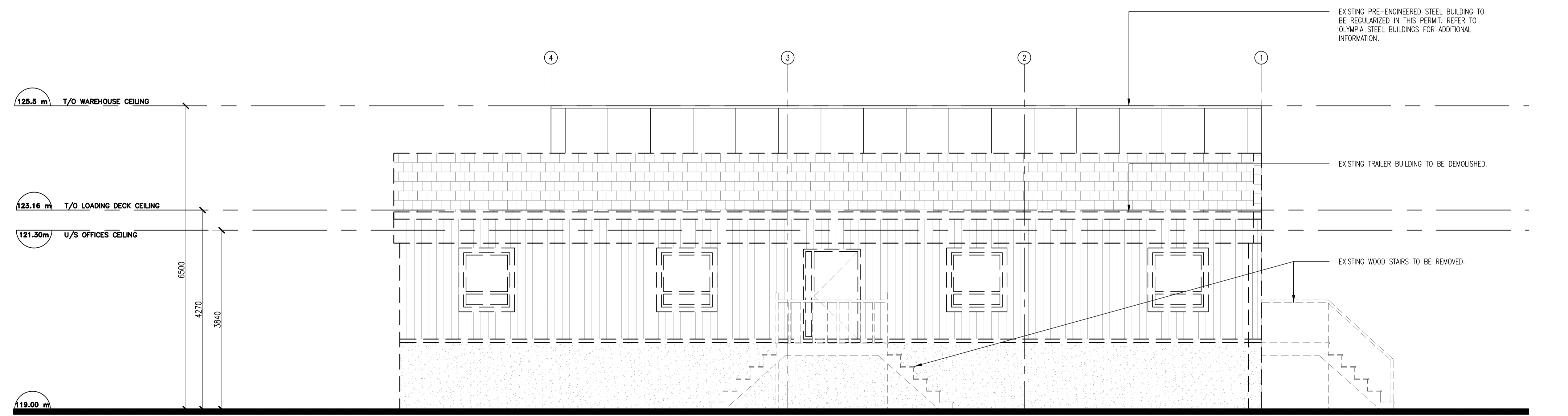
CARDEVCO WAREHOUSE
ADDRESS: 135 CARDEVCO ROAD, CAMP OIL K2K 3B8
OWNER: ERIC HOOGESCHURZ - PREMIER BUS LINES INC.

DRAWING TITLE
DEMOLITION EXTERIOR ELEVATIONS + NOTES

SCALE: AS SHOWN
DRAWING NO.: A-200
PROJECT NO.: 039-21

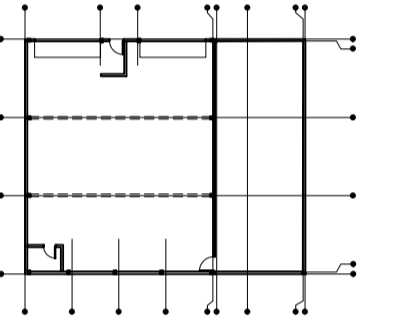


1 DEMOLITION NORTH ELEVATION
A200 SCALE: 1:50



2 DEMOLITION EAST ELEVATION
A200 SCALE: 1:50

KEY PLAN: LEVEL 1



TRUE NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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DATE: 2022-08-21

DRAWN: PB/MP

CHECKED: AB

DATE PRINTED: 2022-11-28

CARDEVCO WAREHOUSE

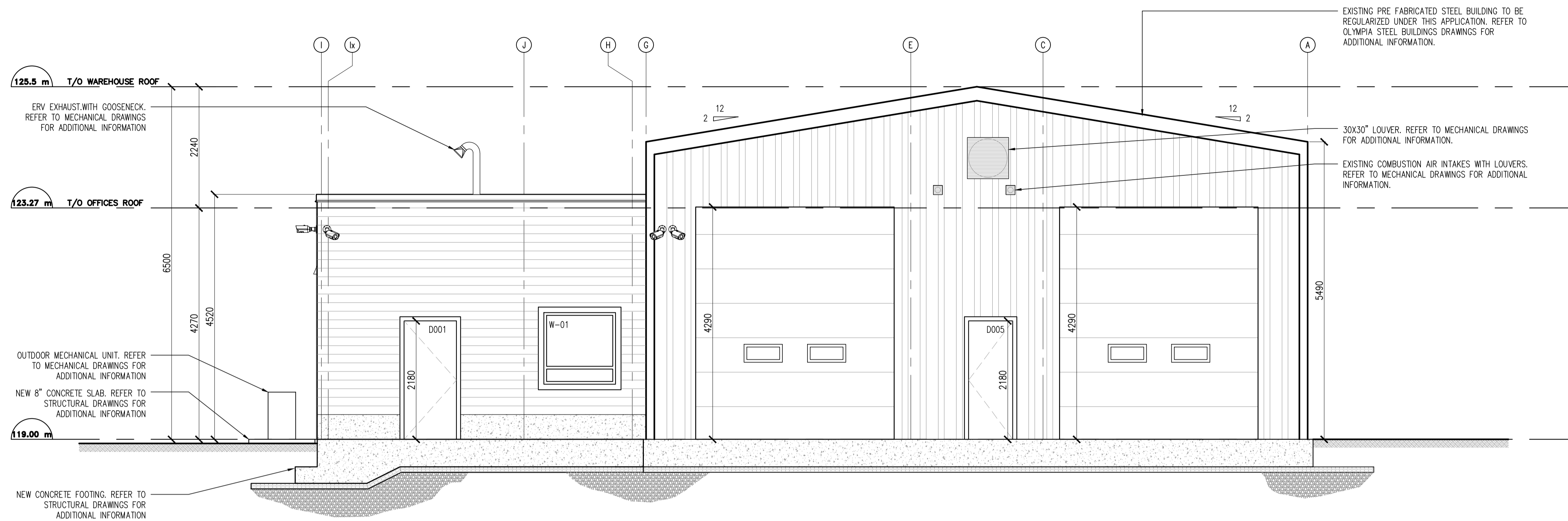
ADDRESS: 135 CARDEVCO ROAD, CAMP OIL K2K 3B8
OWNER: ERIC HOCHESCHURZ - PREMIER BUS LINES INC.

DRAWING TITLE

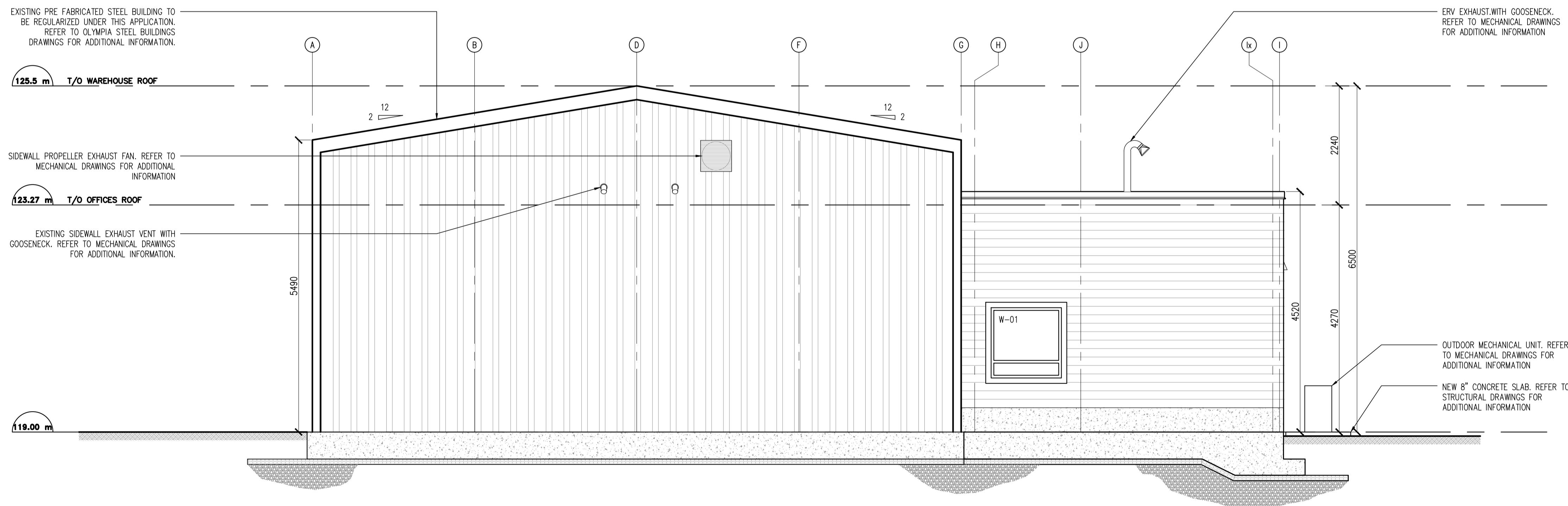
NEW EXTERIOR ELEVATIONS + NOTES

SCALE: AS SHOWN DRAWING NO. 1

PROJECT NO: 039-21 **A-201**

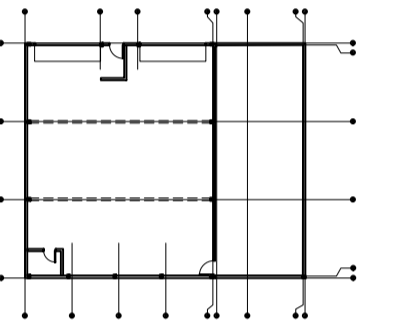


1 NEW NORTH ELEVATION
A200 SCALE: 1:50



2 NEW SOUTH ELEVATION
A200 SCALE: 1:50

KEY PLAN: LEVEL 1

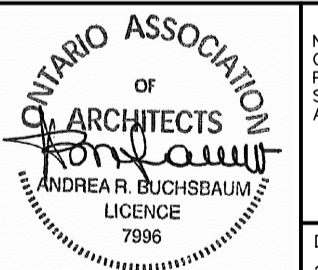


TRUE NORTH

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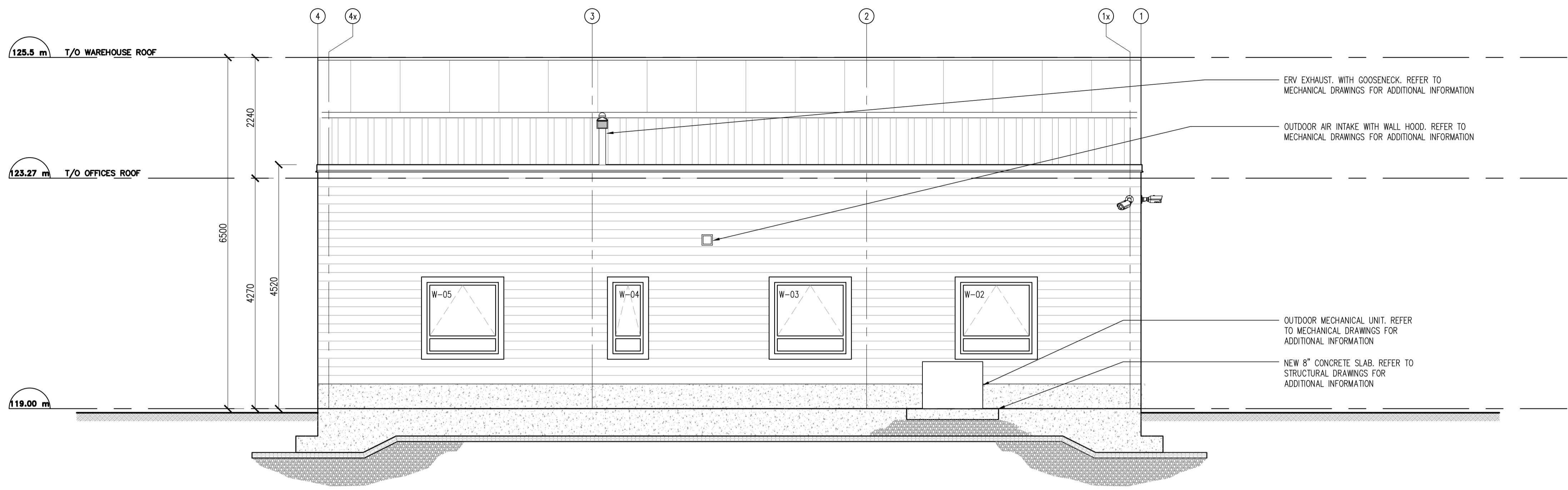
PROJECT NORTH
DRAWN: PB/MP
CHECKED: AB
DATE PRINTED: 2022-11-28

CARDEVCO WAREHOUSE

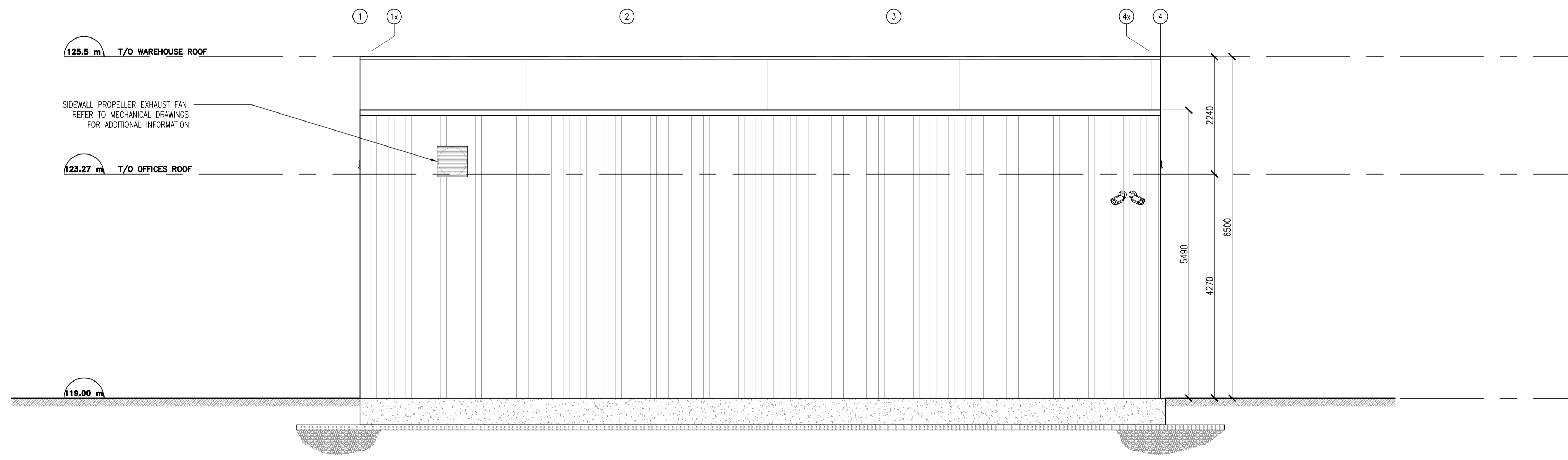
ADDRESS: 135 CARDEVCO ROAD, CAMP OIL K2V 3K8
OWNER: ERIC HOOGESCHURZ - PREMIER BUS LINES INC.

NEW EXTERIOR ELEVATIONS + NOTES

SCALE: AS SHOWN
DRAWING NO.: A-202
PROJECT NO.: 039-21



1 NEW EAST ELEVATION
A201 SCALE: 1:50



2 NEW WEST ELEVATION
A201 SCALE: 1:50