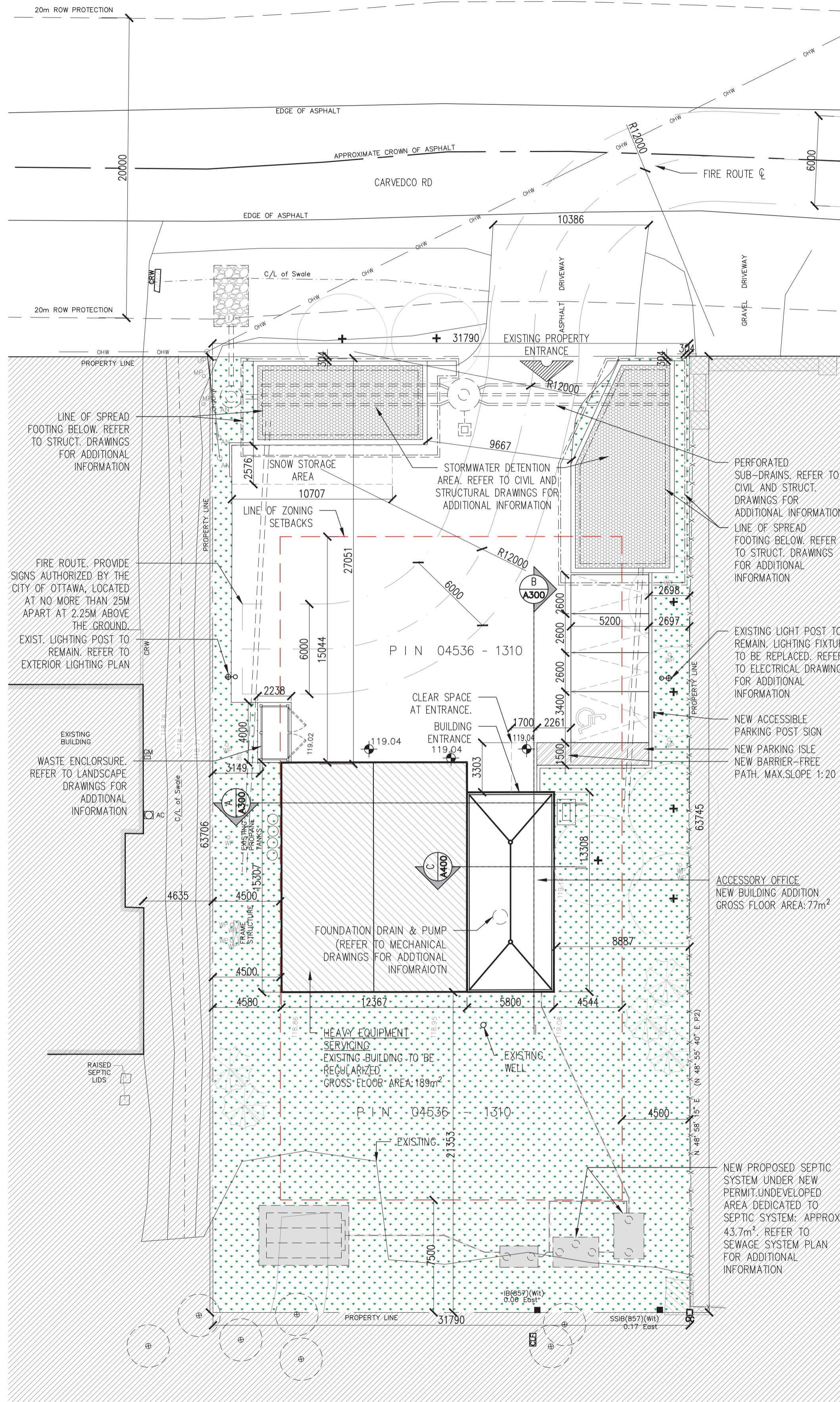


1 EXISTING / DEMOLITION SITE PLAN
A-010 SCALE: 1:200



2 NEW SITE PLAN
A-010 SCALE: 1:200

LEGEND

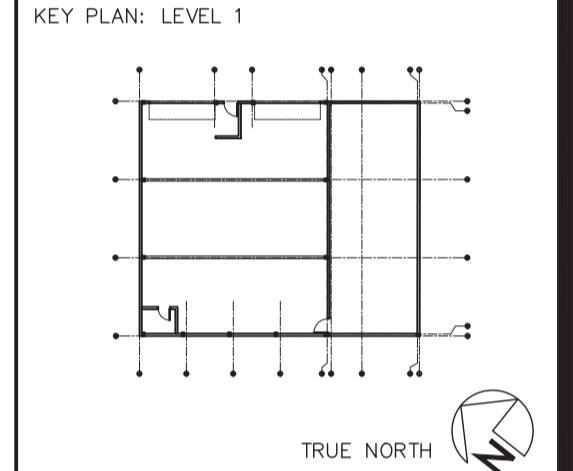
- OHW — EXISTING OVERHEAD WIRES
- X- EXISTING CHAIN LINK FENCE
- ▨ BARRIER FREE PATH
- ▨ N.I.C
- ▨ SOD AREA
- ▨ TO BE DEMOLISHED
- ▨ ASPHALT TO BE REMOVED
- NEW CATCH-BASIN. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW STORM MANHOLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- EXISTING TREES TO REMAIN
- NEW DECIDUOUS TREES. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION
- NEW CONIFEROUS TREES. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION

OBS: PROP. RTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN ELABORATED BY FARLEY, SMITH & DENIS SURVEYING LTD, DATED OF MAY 19TH, 2021.

ZONING REPORT – PROJECT – 135 CARDEVCO RD, CARP, ON K0A 1L0

Address:		135 Cardevco Road, Carp, ON	
Legal Description:		Plan 4M356 Part Block 23 and 19; RP4R8368 Parts 7 and 10.	
Property Identification Numbers (PINs):		04536-1310	
Scope of Work: Regularization of the garage repairs building and construction of an additional building on the east side of the existing facilities, which will accommodate office and administrative activities.			
Zoning:	R04		
Proposed use:	Accessory Office		
Existing use:	Heavy equipment servicing		
Schedule 1:	Area D – Rural		
Exceptions:	-		
Road Widening:	-		
Exemptions:	-		
Corner Lot triangle:	No		
Heritage Overlay:	N/A		
Street considered front (if a corner lot):	-		
Flood plane line:	-		
Adjacent zoning:	-		
Proximity to another special needs house:	None		
	Required		Provided
Lot Area:	1800 m ² (min.)	2,023.54 m ² (existing)	
Lot Width:	30 m	31.79 m (existing)	
Max. lot Coverage:	50%	42% (proposed)	
Floor Space Index:	-	-	
Front yard setback:	12 m	27.05 m (existing)	
Side yard setback:	4.5 m	West: 4.50 (existing) East: 9.05 (proposed)	
Rear yard setback:	7.5 m	21.35 m (existing)	
Building height (max.):	15 m	6.5m (existing building) 4.52m (proposed building)	
Permitted projections into required yard:	-		
Permitted projections above the height limit:	-		
Accessory Building Requirements:	-		
Parking:			
Heavy vehicle use: 0.75 per 100m ² of gross area.	No of required parking spaces = 0.75*(189/100) = 1.4 = 1		
Gross area = 189 m ²			
Office: 2.4 per 100m ² of gross area.	No of required parking spaces = 2.4*(77/100) = 2		
Gross area = 77 m ²			
Total	3		3

3 ZONING TABLE
A-010 N.T.S.



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWINGS.

REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	2021-06-25
2	CLIENT REVIEW 1	2021-07-14
3	ISSUED FOR PERMIT	2022-01-24
4	RESPONSE TO CITY COMMENTS_R01	2022-05-24
5	RESPONSE TO CITY COMMENTS_R02	2022-09-06
6	RESPONSE TO CITY COMMENTS_R03	2022-10-17
7	ISSUED FOR SITE PLAN CONTROL	2022-11-28
8	ISSUED FOR SITE PLAN CONTROL_R01	2023-06-13
9	RESPONSE TO CITY COMMENTS SPC_R02	2024-10-29
10	RESPONSE TO CITY COMMENTS SPC_R03	2025-02-05
11	RESPONSE TO CITY COMMENTS SPC_R04	2025-03-26
12	RESPONSE TO CITY COMMENTS SPC_R05	2025-04-16

ONTARIO ASSOCIATION OF ARCHITECTS
ANDREA R. BUCHSBAUM
LICENCE 7996

NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT.

DATE: 2025-04-14

PROJECT NORTH

DRAWN: PB/MP

CHECKED: AB

DATE PRINTED: 2025-04-14

CARDEVCO WAREHOUSE

ADDRESS: 135 CARDEVCO RD, CARP, ON K0A 1L0
OWNER: ERIC HOCHESCHAUZ - PREMIER BUS LINES INC.

DRAWING TITLE: **DEMOLITION/ NEW SITE PLAN**

SCALE: AS SHOWN

PROJECT NO: 039-21

DRAWING NO.: A-010