

**DESIGN BRIEF**  
**IRIDIAN SPECTRAL TECHNOLOGIES**  
**2700 SWANSEA CRESCENT, OTTAWA, ONTARIO**  
**DECEMBER 19, 2022**

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**Aerial View 2700 Swansea Crescent, Ottawa – Iridian Spectral Technologies**

## **Section 1**

### **Application Submission**

This Complex Site Plan Application is a revision to the existing Site Plan Agreement for 2700 Swansea Crescent, Ottawa, Ontario.

### **Introduction**

The purpose of this Design Brief is to demonstrate that the proposed expansion of the building located at 2700 Swansea Crescent, Ottawa is in general conformance with the City of Ottawa's planning objectives.

The following Studies, Reports and Plans have been prepared in support of the Design Brief and the revised Site Plan Agreement.

### **Engineering**

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Site Servicing Plan - WSP Canada Inc, issued October 13, 2022

Servicing & Storm Water Management Report – issued October 2022

Grading Plan and Drainage Plan - WSP Canada Inc, issued October 13, 2022

Erosion and Sediment Control Plan - WSP Canada Inc, issued October 13, 2022

Geotechnical Study – Golder Associates Ltd, issued 2022

### **Planning / Design / Survey**

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Site Plan – Rickson Outhet Architect, issued December 9, 2022

Landscape Plan, Ruhland & Associates Ltd, issued November 18, 2022

Tree Conservation Report, IFS Associates, issued July 11, 2022

Architectural Building Elevations - Rickson Outhet Architect, issued December 9, 2022

Survey Plan, Annis, O'Sullivan, Vollebakk LTD, Issued March 21, 2022

### **Environmental**

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Phase 1 ESA – Golder Associates Ltd, issued August 2021

### **Additional Reports**

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Site Lighting Certification Letter – SouthFace Engineering Ltd, Dec. 16, 2022

Public Consultation Process – Please Refer to Design Brief, Public Consultation

## **Site**

The 8930 sq.m site fronts on Swansea Crescent and is located in a medium industrial use area. The municipal address is 2700 Swansea Crescent, Ottawa, the legal description is Lot 3, Concession 5, Rideau Front, Gloucester, Part 2, Plan 4R-25670, Pin 04165-1026.



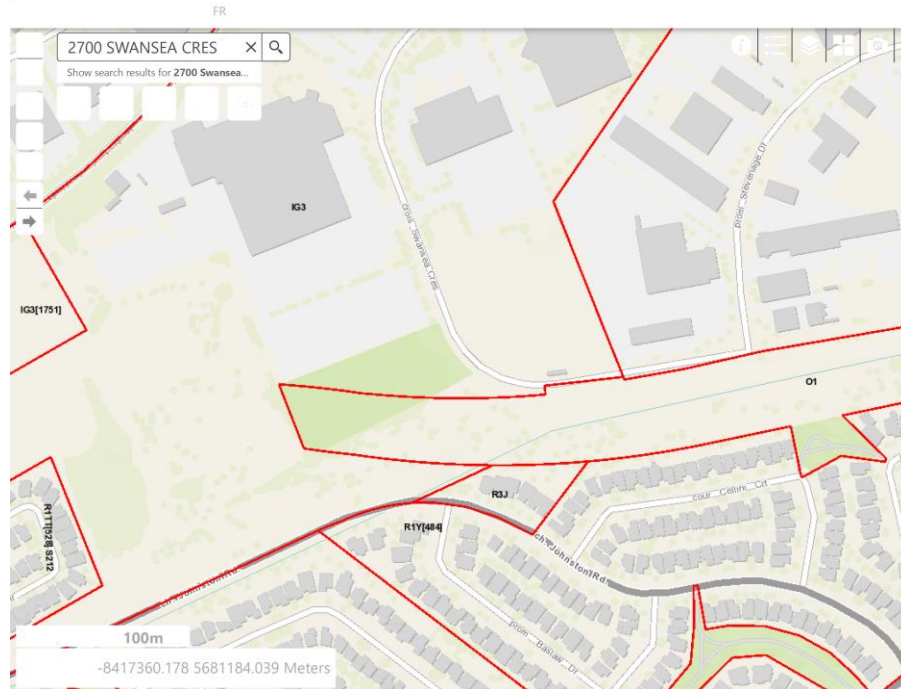
**Figure 1 Existing Conditions 2700 Swansea Crescent, Ottawa**

## **Response to City Documents**

### **Conformance with the City of Ottawa Official Plan – Proposed Addition**

The subject property is designated to be within an Urban Employment Area in the City of Ottawa Official Plan. An Urban Employment Area promotes uses that consist predominantly of offices, manufacturing, warehousing, distribution, research and development facilities and utilities. The proposed addition continues to conform to the intent of the City of Ottawa Official Plan Policies.

**Conformance with City of Ottawa Zoning By-Law – Proposed Addition**



The existing Iridian Spectral Technology building, located at 2700 Swansea Crescent shown infilled in black, is located in an IG3 General Industrial Zone.

The Architectural Site Plan demonstrates that the proposed addition to the existing building is fully compliant with all current IG3 zoning provisions shown in the table below.

I		II	PROVIDED
ZONING MECHANISMS		PROVISIONS	
(a) Minimum lot area (sq.m)		1 000	8 930
(b) Minimum lot width (m)		No Minimum	Not Applicable
(c) Maximum lot coverage (%)		65%	55.9%
(d) Minimum front yard and corner yard (m)		3	3
(e) Minimum interior side yard	(i) for uses listed in subsection 199(1) abutting a residential or	15 m	Not applicable

	(m)	institutional zone		
		(ii) Other cases	3 m	3
(f) Minimum rear yard		(i) for uses listed in subsection 199(1) abutting a residential or institutional zone	15 m	Not applicable
		(ii) Other cases	3 m	3
(g) Maximum floor space index			2, unless otherwise shown on the zoning maps	0.31
(h) Maximum building height		(i) within 20 meters of a property line abutting a residential zone	11 m	Not applicable
		(i) all other cases	22 m, unless otherwise shown on the zoning maps or schedules	10.2
(i) Minimum width of landscaped area		(i) abutting a residential or institutional zone	3 m	Not applicable
		(ii) abutting a street	3 m	3
		(iii) all other cases	No minimum	Not applicable

## **Context Plan**

Iridian Spectral Technologies, owns and operates the light industrial use building located at 2700 Swansea Crescent, Ottawa, Ontario.



**Figure 2 Aerial view identifying the existing building and site with a red marker, and showing the current surrounding land uses and buildings.**

Immediately Surrounding Land Uses – Light and mid Industrial Uses  
West – Mr. Mobile Automotive & City of Ottawa Public Works Garage  
East – McCluskey's Body Shop, Metals Supermarkets Ottawa & UPS Customer Service Center  
North – Interstone Marble & Granite Ltd & Beer Store (4643) Ottawa Distribution Centre.  
Separated by a Significant Landscaped Berm to the South – Residential area, Hunt Club Park Community.

Swansea Crescent is served by a regular OC Transpo bus service and improvements to the existing bus shelter are proposed.  
Continuation of the city sidewalk system in front 2700 Swansea is also proposed. Additional bicycle and moped / small car parking is proposed.

## **Section 2**

### **Design Proposal**

Iridian Spectral Technologies, an Ottawa based light industrial high technology manufacturing facility, located at 2700 Swansea Crescent, in the Industrial Sector of Ward 10, is a leading global supplier of optical filter solutions. The following link provides an insight on the commercial activities and technical capabilities of Iridian Spectral Technologies.

<https://www.youtube.com/watch?v=NLj7r5SfyHM>

The owner proposes to expand the existing building by adding 1,480 sq. m of research facilities and offices to the front of the existing building, freeing up space to allow for increased production within the existing facility.

The proposed addition 'floats over' the existing parking area and therefore no changes to the existing vehicle circulation, including delivery vehicle entry points are proposed for the site. Please refer to the Architectural Site Plan.

The design Intent of the site landscaping is to re-enforce the existing landscape screen in front of the building by planting additional trees, shrubs and ornamental plantings. Visual screens with climbing vines are proposed at each end of the parking area. Please refer to Landscape Plan.

The proposed expansion is critical for the viability and continued commercial success of IST's business and most importantly, will provide additional employment opportunities for the local high technology trades.

### **Massing and Scale**

#### **Two perspective views are presented, please open following link.**

View 1 is from the West side looking from Swansea Crescent towards the existing main entrance.

View 2 is from the East side looking from Swansea towards the existing service drive.

<https://shapeshifter.sharefile.com/d-sa32a51a0225b4fcab0cfbec6beabffc3>

### **Building Design**

It is proposed that the exterior materials and colours of the proposed addition are to match the existing building. The exterior materials and building expression are generally in the same family of architectural details as the existing and are in general conformance with the neighboring industrial building design and massing. Please refer to Architectural Floor Plans and Elevations.

### **Sustainability**

A photovoltaic solar array is proposed to provide a facility with a sustainable energy efficiency footprint. The design intent is to reach towards a net zero facility. Please refer to the Roof Plan and Building Elevations

### **Consultation Process**

In the planning of this project, the City of Ottawa planning department was contacted, and a virtual Pre-Application Consultation Meeting was held on February 14, 2021. On February 19, 2021, the City Planner, provided meeting notes with comments and a listing of the required plans and studies list, necessary for the completion of the application. These plans and studies have since been completed and are included with this submission.

### **Public Consultation Process**

The ward Councilor, Jessica Bradley is being consulted regarding the proposed IST expansion. We hope Councilor Bradley will clearly indicate her full support for the proposed Iridian Spectral Technology expansion.

The immediate neighboring property owners are being contacted and hopefully are in full support of the proposed IST addition.

### **Conclusion**

In conclusion, the proposed addition to the existing Iridian Spectral Technologies Building is consistent with the City of Ottawa official plan and zoning by-laws.

It is therefore requested that permission be granted to allow the proposed addition located at 2700 Swansea Crescent.



Rickson Outhet B. Arch OAA MRAIC  
**RICKSON OUTHET ARCHITECT**  
Cc. George Laframboise CEO IST



# RICKSON OUTHET ARCHITECT

319 Daly Avenue  
Ottawa - Ontario - K1N 6G6  
613.728-1637 - FAX 613.728-8501

Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveyors Act and the Land Titles Act and the regulations made under them.  
2. The survey was completed on the 7th day of March, 2022.  
Date: \_\_\_\_\_  
E. H. Henweyer  
Ontario Land Surveyor

- Notes & Legend**
- Denotes
  - Survey Monument Planted
  - Survey Monument Found
  - Standard Iron Bar
  - SSB
  - SSB
  - Short Standard Iron Bar
  - (WT)
  - Witness
  - (A50)
  - Arnie O'Sullivan, Voltstek Ltd.
  - Maintenance Hole (Storm Sewer)
  - Maintenance Hole (Sanitary)
  - LS
  - Light Standard
  - FL
  - Fire Hydrant
  - T/G
  - Top of Gate
  - es
  - Gas Meter
  - Deciduous Tree
  - Coniferous Tree
  - Location of Elevations
  - Top of Curb Elevations
  - Property Line
  - Property Line SET BACK
  - DC
  - Depressed Curb
  - B
  - Bollard
  - WV
  - Water Valve
  - C/L
  - Centre-line
  - New Elevations Obtained October 24, 2019

Bearings are grid bearings, derived from the northerly limit of Part 2 on Plan 4R-25670, shown to be N67°53'40"E thereon and are referred to the Central Meridian of Zone 18 of the Ontario Coordinate System, Longitude 76°30' West (MTM NAD-83).

2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22
No.	Revision	Date
		seal
		estampe



Project Title: IRIIDIAN SPECTRAL TECHNOLOGIES EXPANSION  
Project

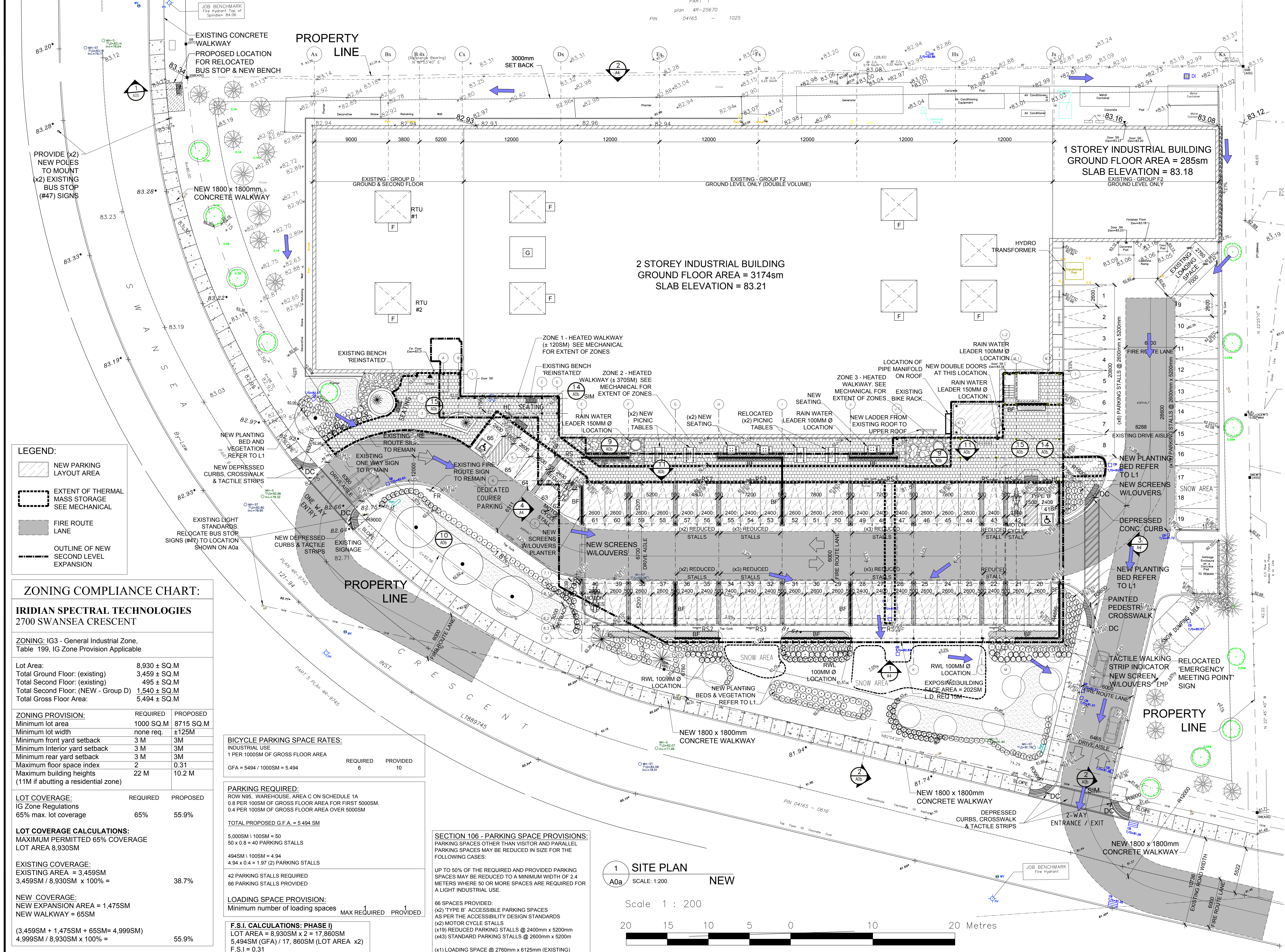
IRIIDIAN SPECTRAL TECHNOLOGIES EXPANSION  
2700 SWANSEA, OTTAWA, ONTARIO.

Drawing: 1:300  
Dessin

## ZONING COMPLIANCE CHART & NEW SITE PLAN

Designed by: R. O. / J.G. Conçu par  
Date: MARCH 9 2022  
Drawn: J.G. Dessiné  
Date: MARCH 9 2022  
Approved: R. O. Approuvé  
Date: MARCH 9 2022  
Project no.: 2021-08 No. du projet

Scale: 1:300  
Echelle  
Drawing no.: A0a  
No. du dessin



- LEGEND:**
- NEW PARKING LAYOUT AREA
  - EXTENT OF THERMAL MASS STORAGE SEE MECHANICAL
  - FIRE ROUTE LANE
  - OUTLINE OF NEW SECOND LEVEL EXPANSION

### ZONING COMPLIANCE CHART:

#### IRIIDIAN SPECTRAL TECHNOLOGIES 2700 SWANSEA CRESCENT

ZONING: IG3 - General Industrial Zone, Table 199, IG Zone Provision Applicable

Lot Area:	8,930 ± SQ.M
Total Ground Floor: (existing)	3,459 ± SQ.M
Total Second Floor: (existing)	495 ± SQ.M
Total Second Floor: (NEW - Group D)	1,540 ± SQ.M
Total Gross Floor Area:	5,494 ± SQ.M

ZONING PROVISION:	REQUIRED	PROPOSED
Minimum lot area	1000 SQ.M	8715 SQ.M
Minimum lot width	none req.	±125M
Minimum front yard setback	3 M	3M
Minimum interior yard setback	3 M	3M
Minimum rear yard setback	3 M	3M
Maximum floor space index	2	0.31
Maximum building heights (11M if abutting a residential zone)	22 M	10.2 M

LOT COVERAGE:	REQUIRED	PROPOSED
IG Zone Regulations	65%	55.9%
65% max. lot coverage		

**LOT COVERAGE CALCULATIONS:**  
MAXIMUM PERMITTED 65% COVERAGE  
LOT AREA 8,930SM

**EXISTING COVERAGE:**  
EXISTING AREA = 3,459SM  
3,459SM / 8,930SM x 100% = 38.7%

**NEW COVERAGE:**  
NEW EXPANSION AREA = 1,475SM  
NEW WALKWAY = 65SM

(3,459SM + 1,475SM + 65SM = 4,999SM)  
4,999SM / 8,930SM x 100% = 55.9%

**BICYCLE PARKING SPACE RATES:**  
INDUSTRIAL USE  
1 PER 1000SM OF GROSS FLOOR AREA

REQUIRED	PROVIDED
6	10

GFA = 5494 / 1000SM = 5.494

**PARKING REQUIRED:**  
ROW N95, WAREHOUSE, AREA C ON SCHEDULE 1A  
0.8 PER 100SM OF GROSS FLOOR AREA FOR FIRST 5000SM.  
0.4 PER 100SM OF GROSS FLOOR AREA OVER 5000SM

TOTAL PROPOSED G.F.A. = 5 494 SM  
5,000SM / 100SM = 50  
50 x 0.8 = 40 PARKING STALLS  
494SM / 100SM = 4.94  
4.94 x 0.4 = 1.97 (2) PARKING STALLS  
42 PARKING STALLS REQUIRED  
66 PARKING STALLS PROVIDED

**LOADING SPACE PROVISION:**  
Minimum number of loading spaces

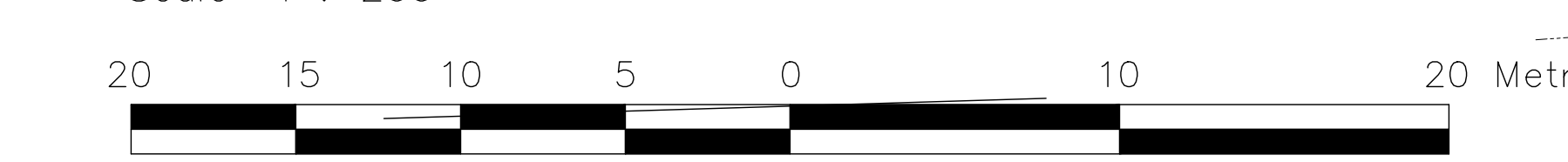
MAX REQUIRED	PROVIDED
1	1

**F.S.I. CALCULATIONS: PHASE I)**  
LOT AREA = 8,930SM x 2 = 17,860SM  
5,494SM (GFA) / 17,860SM (LOT AREA x2)  
F.S.I. = 0.31

**SECTION 106 - PARKING SPACE PROVISIONS:**  
PARKING SPACES OTHER THAN VISITOR AND PARALLEL PARKING SPACES MAY BE REDUCED IN SIZE FOR THE FOLLOWING CASES:  
UP TO 50% OF THE REQUIRED AND PROVIDED PARKING SPACES MAY BE REDUCED TO A MINIMUM WIDTH OF 2.4 METERS WHERE 50 OR MORE SPACES ARE REQUIRED FOR A LIGHT INDUSTRIAL USE.  
66 SPACES PROVIDED:  
(x2) TYPE B ACCESSIBLE PARKING SPACES AS PER THE ACCESSIBILITY DESIGN STANDARDS  
(x2) MOTOR CYCLE STALLS  
(x19) REDUCED PARKING STALLS @ 2400mm x 5200mm  
(x43) STANDARD PARKING STALLS @ 2600mm x 5200mm  
(x1) LOADING SPACE @ 2760mm x 6125mm (EXISTING)

1 SITE PLAN  
A0a SCALE: 1:200 NEW

Scale 1 : 200



**NOTE**

THIS PLAN IS ISSUED FOR SITE PLAN CONTROL SUBMISSION ONLY.

ADDITIONAL DETAILING AND SPECIFICATIONS ARE REQUIRED PRIOR TO TENDERING OR CONSTRUCTION

ALL PROPOSED TREES MEET THE CITY GUIDELINES FOR SOIL VOLUME REQUIREMENTS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH TREE CONSERVATION REPORT. REFER TO TREE CONSERVATION REPORT. REFER TO TREE CONSERVATION REPORT PREPARED BY IFS, DATED July 11, 2022 FOR TREE PROTECTION MEASURES AND DETAILS.

SERVICING INFORMATION SHOWN AS REFERENCE ONLY. REFER TO CIVIL DRAWINGS.

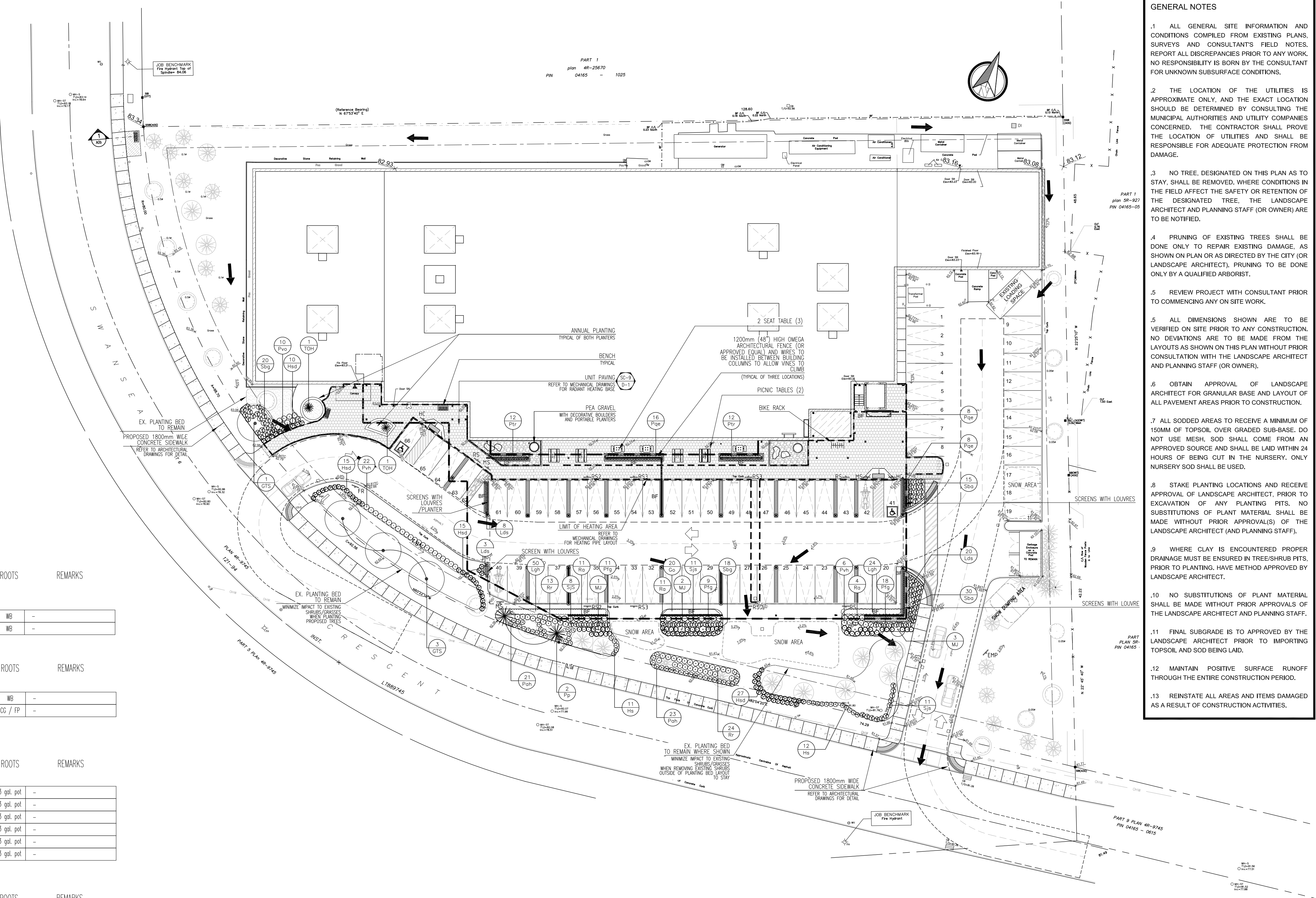
**GENERAL NOTES**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS, SURVEYS AND CONSULTANT'S FIELD NOTES. REPORT ALL DISCREPANCIES PRIOR TO ANY WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS.
- THE LOCATION OF THE UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION FROM DAMAGE.
- NO TREE, DESIGNATED ON THIS PLAN AS TO STAY, SHALL BE REMOVED, WHERE CONDITIONS IN THE FIELD AFFECT THE SAFETY OR RETENTION OF THE DESIGNATED TREE. THE LANDSCAPE ARCHITECT AND PLANNING STAFF (OR OWNER) ARE TO BE NOTIFIED.
- PRUNING OF EXISTING TREES SHALL BE DONE ONLY TO REPAIR EXISTING DAMAGE, AS SHOWN ON PLAN OR AS DIRECTED BY THE CITY (OR LANDSCAPE ARCHITECT). PRUNING TO BE DONE ONLY BY A QUALIFIED ARBORIST.
- REVIEW PROJECT WITH CONSULTANT PRIOR TO COMMENCING ANY ON SITE WORK.
- ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION. NO DEVIATIONS ARE TO BE MADE FROM THE LAYOUTS AS SHOWN ON THIS PLAN WITHOUT PRIOR CONSULTATION WITH THE LANDSCAPE ARCHITECT AND PLANNING STAFF (OR OWNER).
- OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR GRANULAR BASE AND LAYOUT OF ALL PAVEMENT AREAS PRIOR TO CONSTRUCTION.
- ALL SODDED AREAS TO RECEIVE A MINIMUM OF 150MM OF TOPSOIL OVER GRADED SUB-BASE. DO NOT USE MESH. SOD SHALL COME FROM AN APPROVED SOURCE AND SHALL BE LAID WITHIN 24 HOURS OF BEING CUT IN THE NURSERY. ONLY NURSERY SOD SHALL BE USED.
- STAKE PLANTING LOCATIONS AND RECEIVE APPROVAL OF LANDSCAPE ARCHITECT, PRIOR TO EXCAVATION OF ANY PLANTING PITS. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT PRIOR APPROVAL(S) OF THE LANDSCAPE ARCHITECT (AND PLANNING STAFF).
- WHERE CLAY IS ENCOUNTERED PROPER DRAINAGE MUST BE ENSURED IN TREE/SHRUB PITS, PRIOR TO PLANTING. HAVE METHOD APPROVED BY LANDSCAPE ARCHITECT.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT PRIOR APPROVALS OF THE LANDSCAPE ARCHITECT AND PLANNING STAFF.
- FINAL SUBGRADE IS TO APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPORTING TOPSOIL AND SOD BEING LAID.
- MAINTAIN POSITIVE SURFACE RUNOFF THROUGH THE ENTIRE CONSTRUCTION PERIOD.
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.



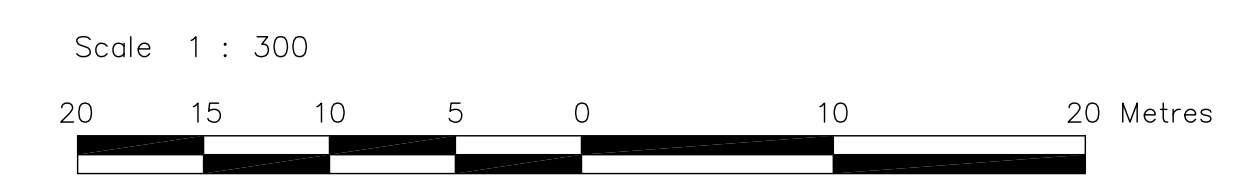
6				
5				
4				
3				
2	Re-Issued per Comments	22/11/18	MR	
1	Issued for Site plan Control	22/10/26	MR	

NUMBER: MILESTONE / FAT SAILANT  
 CHECKED BY: M. RUHLAND  
 DESIGNED BY: H. P.  
 SCALE: 1/8"=1'-0"



**PLANT LIST (MASTER)**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. (mm)	HT. (cm)	SPREAD (cm)	ROOTS (cm)	REMARKS
<b>DECIDUOUS TREES</b>								
GTS	4	<i>Cedrela tomentosa</i> 'Shademaster'	Shademaster Honeylocust	60	-	-	WB	-
MIS	6	<i>Malus 'Jetset'</i>	Purple Spire Columnar Crabapple	45	-	-	WB	-
<b>CONIFEROUS TREES</b>								
PP	2	<i>Picea pungens</i>	Colorado Spruce	-	250	-	WB	-
TOH	3	<i>Thuja occidentalis</i> 'Holmsstrup'	Holmsstrup's Spire Cedar	-	150	-	CG / FP	-
<b>DECIDUOUS SHRUBS</b>								
Pfg	38	<i>Potentilla fruticosa</i> 'Goldfinger'	Goldfinger potentilla	-	50	30	3 gal. pot	-
Ra	26	<i>Rhus aromatica</i>	Fragrant Sumac	-	50	50	3 gal. pot	-
Rr	37	<i>Rosa rugosa</i>	Rugosa Rose	-	-	-	3 gal. pot	-
Sba	45	<i>Spiraea x bumalda</i> 'Anthony Walters'	Anthony Walters Spiraea	-	50	30	3 gal. pot	-
Sbg	38	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spiraea	-	50	30	3 gal. pot	-
Sjs	30	<i>Spiraea japonica</i> 'Shirobana'	Shirobana Spiraea	-	50	30	3 gal. pot	-
<b>PERENNIALS &amp; GROUNDCOVERS</b>								
Go	20	<i>Galium odoratum</i>	Sweet Woodruff	-	-	-	15cm pot	-
Hsd	67	<i>Hemerocallis 'Stella D'Ora'</i>	Stella D'Ora Daylily	-	-	-	1 gal. pot	-
Lgh	74	<i>Lamium galabardum</i> 'Herman's Pride'	Herman's Pride False Lamium	-	-	-	15cm pot	-
<b>HERBACEOUS &amp; WOODY VINES</b>								
Lds	31	<i>Lonicera x brownii</i> 'Drapmore Scarlet'	Drapmore Honeysuckle	-	-	-	1 gal. pot	-
Pge	32	<i>Parthenocissus quinquefolia</i> 'Engelmann'	Engelmann's Ivy	-	-	-	1 gal. pot	-
Pbr	24	<i>Parthenocissus tricuspidata</i>	Boston Ivy	-	-	-	1 gal. pot	-
<b>GRASSES</b>								
Pvh	28	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	-	-	-	1 gal. pot	-
Hs	23	<i>Helicictichon sempervivens</i>	Blue Oat Grass	-	-	-	1 gal. pot	-
Pvo	10	<i>Panicum virgatum</i> 'Rotstrahlbusch'	Rotstrahlbusch Switch Grass	-	-	-	1 gal. pot	-
Poh	44	<i>Pennisetum alopecuroides</i> 'Fountain'	Fountain Grass	-	-	-	1 gal. pot	-



PROJECT / LOCATION  
 IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION

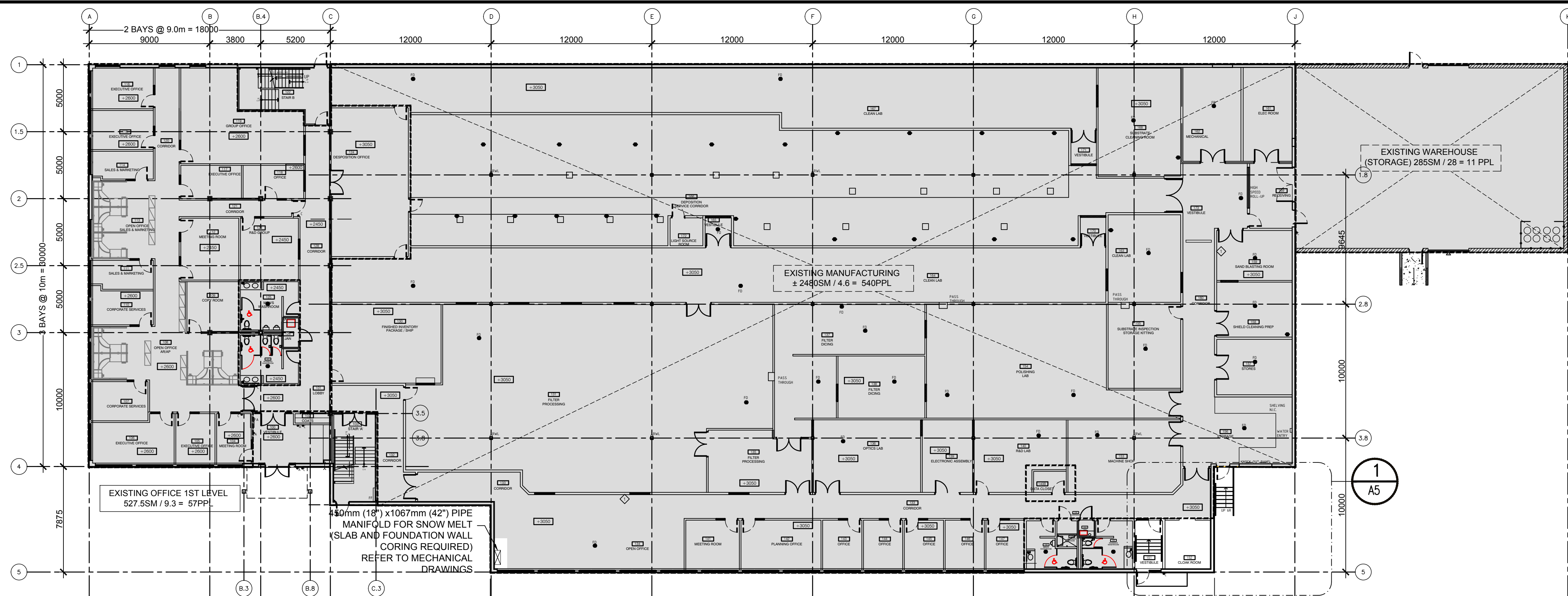
2700 SWANSEA CRESCENT OTTAWA, ON

DRAWING  
 LANDSCAPE PLAN

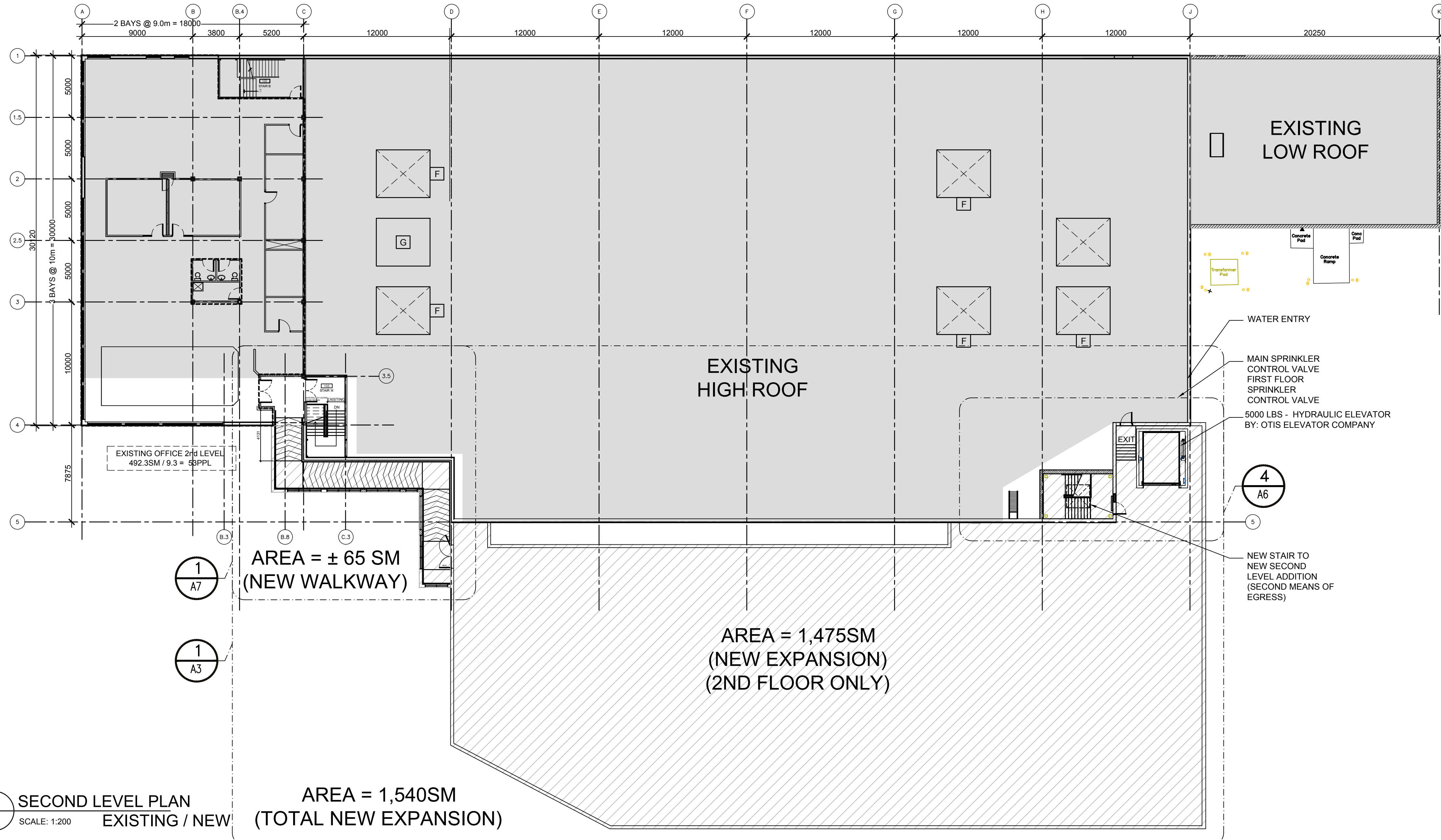
DATE  
 JULY 2022

SHEET NO.  
 L-1

PROJECT NO.  
 22-1677



**1 GROUND LEVEL PLAN EXISTING**  
SCALE: 1:200



**2 SECOND LEVEL PLAN EXISTING / NEW**  
SCALE: 1:200

**RICKSON  
OUTHET  
ARCHITECT**

319 Daly Avenue  
Ottawa - Ontario - K1N 6G6  
613.728-1637 - FAX 613.728-8501

1	PERMIT	SEPT 30 2022
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No.	Revision	Date
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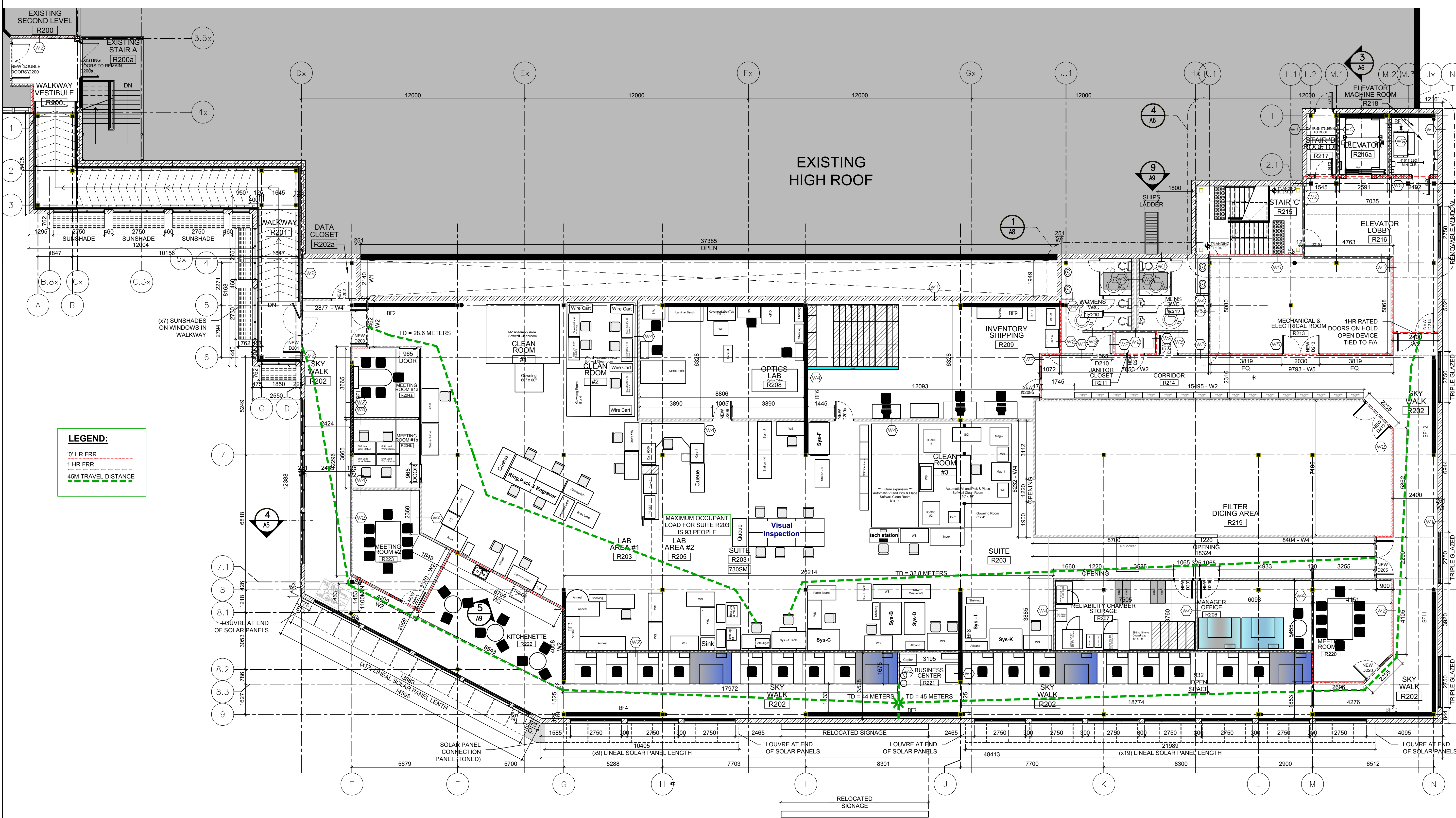


Project Title: **IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION**  
2700 SWANSEA, OTTAWA, ONTARIO.

Drawing: **GROUND FLOOR & SECOND FLOOR PLAN EXISTING & NEW**

Designed by :	R. O. / J.G.	Conçu par
Date	MARCH 9 2022	
Drawn	J.G.	Dessiné
Date	MARCH 9 2022	
Approved	R. O.	Approuvé
Date	MARCH 9 2022	
Project no.	2021-08	No. du projet

Scale Echelle	1:200
Drawing no. No. du dessin	<b>A1</b>

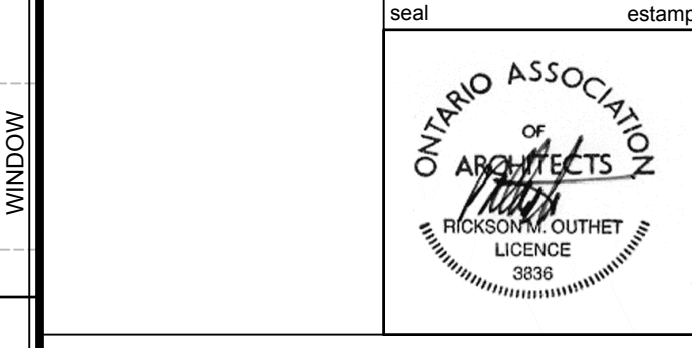


**LEGEND:**  
 0' HR FRR  
 1 HR FRR  
 45M TRAVEL DISTANCE

1 SECOND LEVEL PLAN  
 A2 SCALE: 1:100 NEW



No.	Revision	Date
2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22



Project Title: IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION  
 2700 SWANSEA, OTTAWA, ONTARIO.

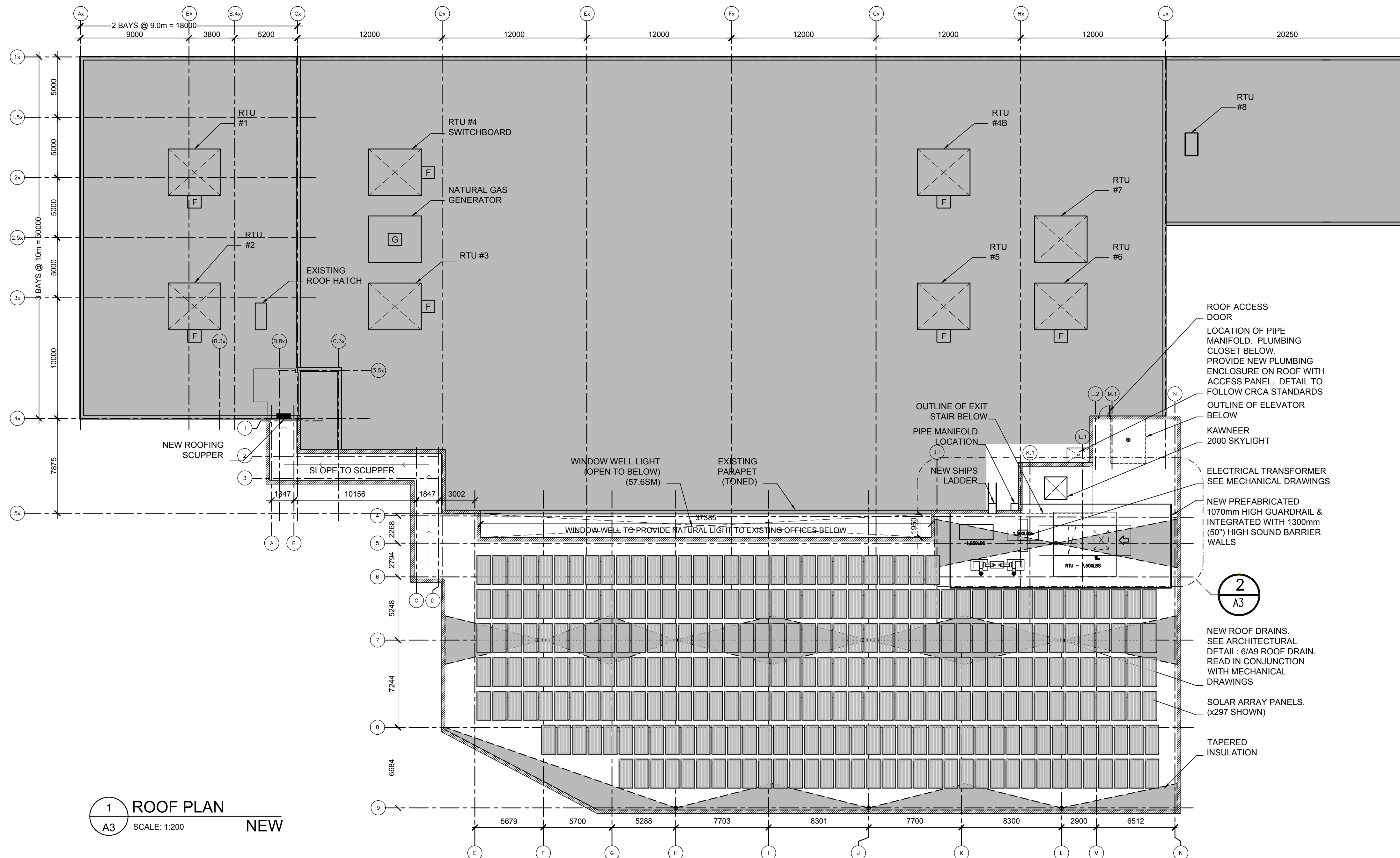
Drawing: SECOND FLOOR PLAN EXPANSION AREA

Designed by: R. O. / J.G. Conçu par  
 Date: MARCH 9 2022  
 Drawn: J.G. Dessiné  
 Date: MARCH 9 2022  
 Approved: R. O. Approuvé  
 Date: MARCH 9 2022  
 Project no.: 2021-08 No. du projet

Scale: 1:100 Echelle  
 Drawing no.: A2 No. du dessin

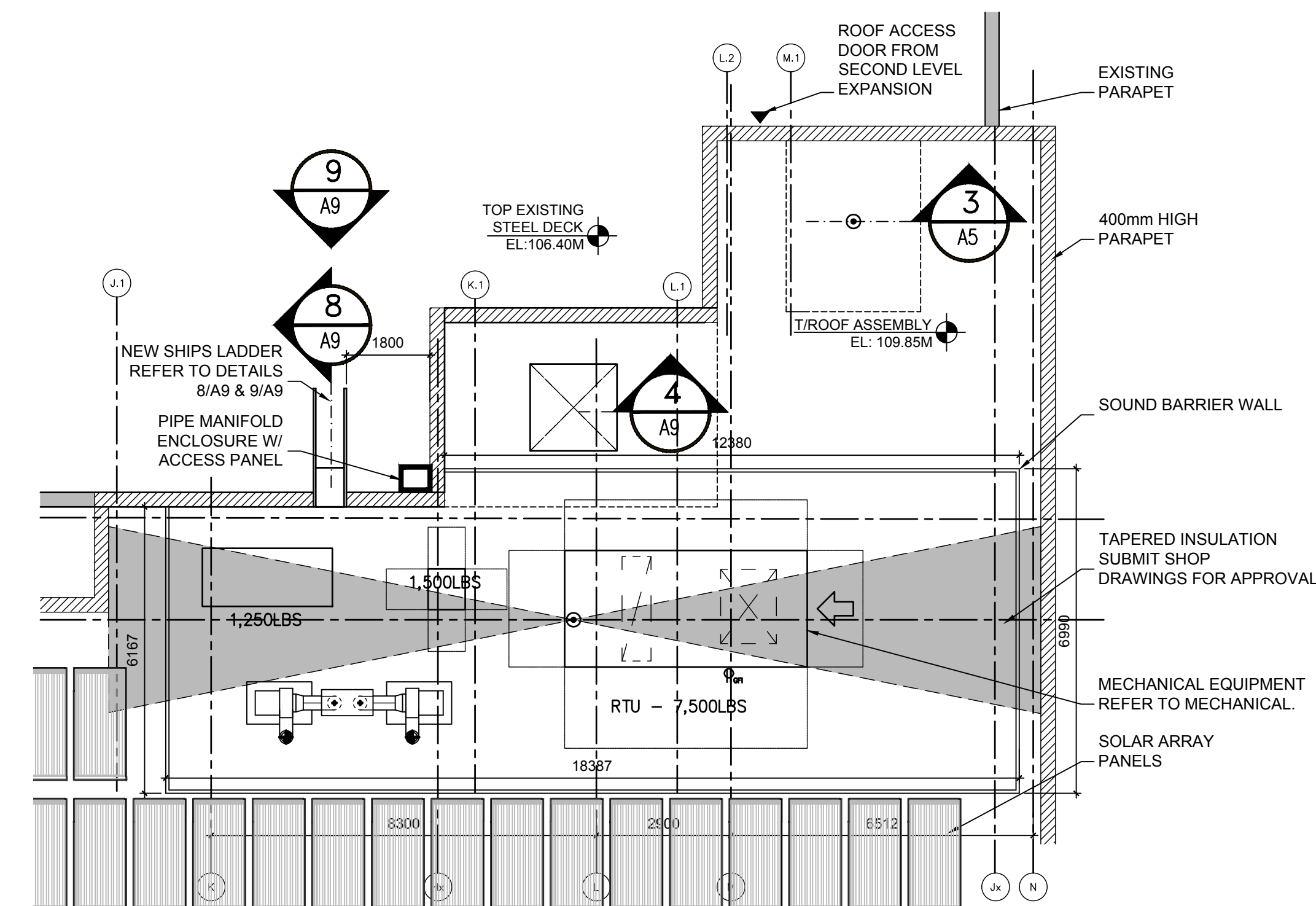
**RICKSON  
OUTHET  
ARCHITECT**

319 Daly Avenue  
Ottawa - Ontario - K1N 6G6  
613.728-1637 - FAX 613.728-8501



**1 ROOF PLAN**  
A3 SCALE: 1:200 NEW

**2**  
A3



**2 ROOF PLAN**  
A3 SCALE: 1:100 PARTIAL

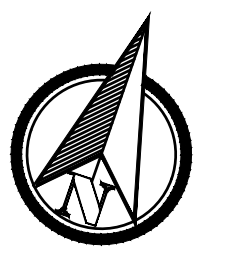
**SOUND BARRIER WALL:**

THE SILENT PROTECTOR™ OR EQUIVALENT SOUND BARRIER WALL SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT AASHTO "GUIDE SPECIFICATIONS FOR STRUCTURAL DESIGN OF SOUND BARRIERS" AND IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS AND CONTRACT DOCUMENT SPECIAL PROVISIONS.

THE CONTRACTOR OR OWNERS REPRESENTATIVE SHALL ESTABLISH THE ALIGNMENT OF THE WALL, THE TOP WALL ELEVATIONS AND FINAL GROUND LINE ELEVATIONS AT THE BOTTOM OF THE WALL. THE FINAL GROUND ELEVATIONS AND WALL ALIGNMENTS ESTABLISHED IN THE FIELD SHALL BE PROTECTED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT AND SHALL NOT BE ADJUSTED WITHOUT PRIOR APPROVAL OF THE ENGINEER.

SUBMIT SHOP DRAWINGS

No.	Revision	Date
2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22



Project Title: **IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION**  
2700 SWANSEA, OTTAWA, ONTARIO.

Drawing: **ROOF PLAN NEW**

Designed by: R. O. / J.G. Conçu par  
Date: MARCH 9 2022  
Drawn: J.G. Dessiné  
Date: MARCH 9 2022  
Approved: R. O. Approuvé  
Date: MARCH 9 2022  
Project no.: 2021-08 No. du projet

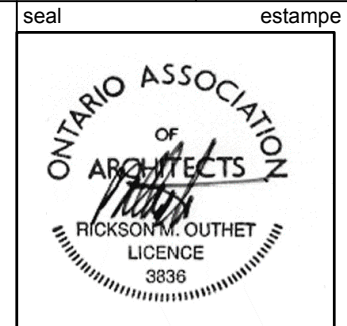
Scale: 1:200 Echelle  
Drawing no.: A3 No. du dessin

**ELEVATION NOTES:**

- 1 VERTICAL METAL SIDING - W1
- 2 KAWNEER TRIPLE GLAZED WINDOWS
- 3 SOLAR ARRAY PANELS
- 4 MAN DOOR
- 5 STRUCTURAL COLUMNS, COATED WITH INTUMESCENT FIRE RESISTANT PAINT, TO US SOFFIT, 1HR FR. TYPICAL
- 6 500mm Ø CONCRETE PROTECTION (SOLLARD)
- 7 IRIDIAN SPECTRAL TECHNOLOGIES - REINSTALLED - SIGNAGE BAND
- 8 STRUCTURAL HSS COLUMNS
- 9 SAFETY GUARDRAIL
- 10 PARAPET CAP
- 11 REINSTALLED CANOPY
- 12 RESERVED
- 13 EXISTING TO REMAIN (TONED)
- 14 HYDRAULIC ELEVATOR

2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22

No.	Revision	Date
2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22



Project Title: IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION  
Project: 2700 SWANSEA, OTTAWA, ONTARIO.

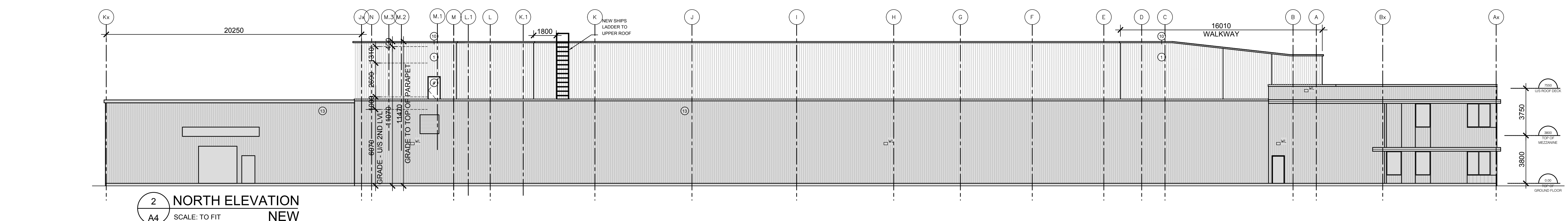
**IRIDIAN  
SPECTRAL TECHNOLOGIES  
EXPANSION**  
2700 SWANSEA, OTTAWA, ONTARIO.

Drawing: BUILDING ELEVATIONS NEW  
Dessin:

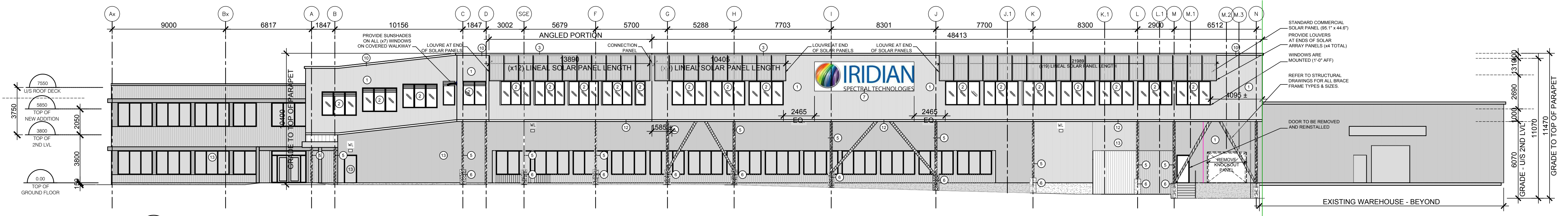
**BUILDING ELEVATIONS  
NEW**

Designed by :	R. O. / J.G.	Conçu par
Date	MARCH 9 2022	
Drawn	J.G.	Dessiné
Date	MARCH 9 2022	
Approved	R. O.	Approuvé
Date	MARCH 9 2022	
Project no.	2021-08	No. du projet

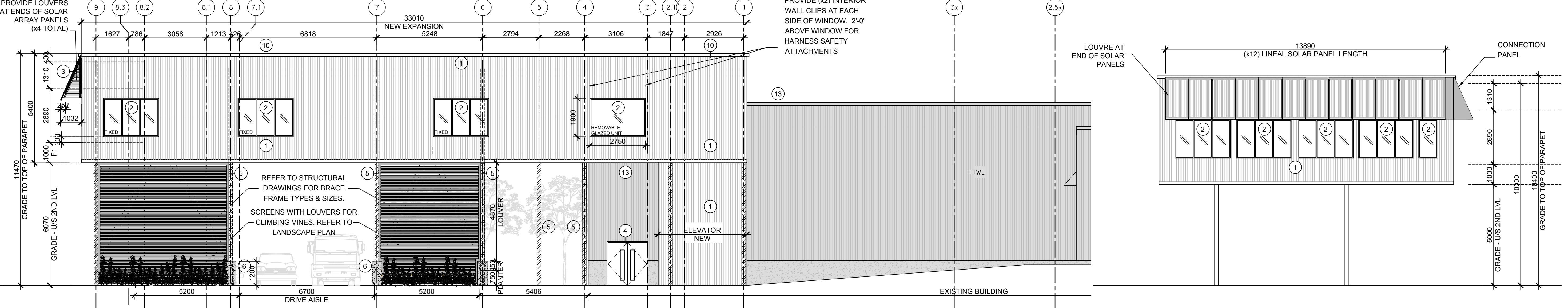
Scale: AS SHOWN  
Echelle: A4  
Drawing no. No. du dessin



**2 NORTH ELEVATION  
NEW**  
SCALE: TO FIT

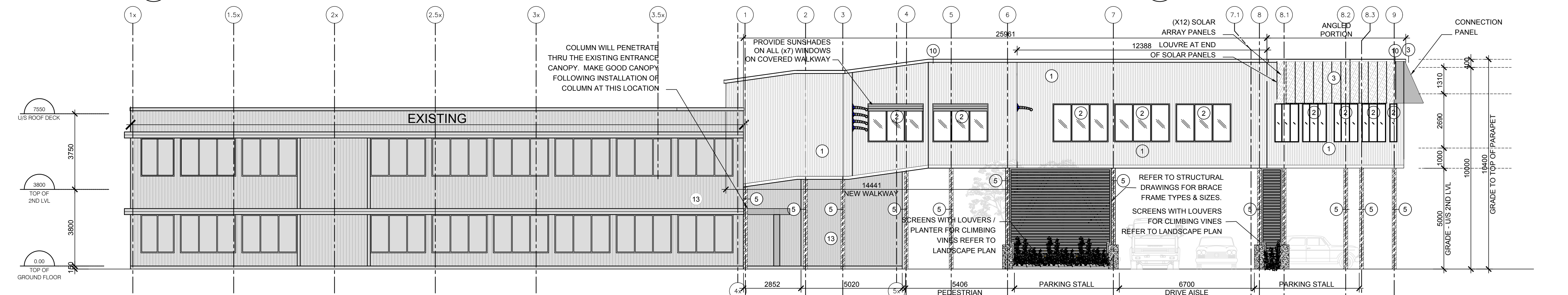


**2 SOUTH ELEVATION  
NEW**  
SCALE: TO FIT



**3 EAST ELEVATION  
NEW**  
SCALE: 1:100

**3a SOUTH / WEST 'ANGLED' ELEVATION  
NEW**  
SCALE: 1:100



**4 WEST ELEVATION  
NEW**  
SCALE: 1:100