

RICKSON OUTHET ARCHITECT

319 Daly Avenue
Ottawa - Ontario - K1N 6G6
613.728-1637 - FAX 613.728-8501

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 7th day of March, 2022.
Date: _____
E. H. Henweyer
Ontario Land Surveyor

- Notes & Legend**
- Denotes
 - Survey Monument Planted
 - Survey Monument Found
 - Standard Iron Bar
 - Short Standard Iron Bar
 - Witness
 - Arms: O/Sullivan, Voltsek Ltd
 - Maintenance Hole (Storm Sewer)
 - Maintenance Hole (Sanitary)
 - Light Standard
 - Fire Hydrant
 - Top of Gate
 - Gas Meter
 - Deciduous Tree
 - Coniferous Tree
 - Location of Elevations
 - Top of Curb Elevations
 - Property Line
 - Property Line SET BACK
 - Depressed Curb
 - Bollard
 - Water Valve
 - Centre-line
 - New Elevations Obtained October 24, 2021

Bearings are grid bearings, derived from the northerly limit of Part 2 on Plan 4R-25670, shown to be N67°53'40"E thereon and are referred to the Central Meridian of Zone 18 of the Ontario Coordinate System, Longitude 76°30' West (MTM NAD-83).

2	SITE PLAN CONTROL	DEC 9 22
1	PERMIT	SEPT 30 22
No.	Revision	Date
		seal
		estampe

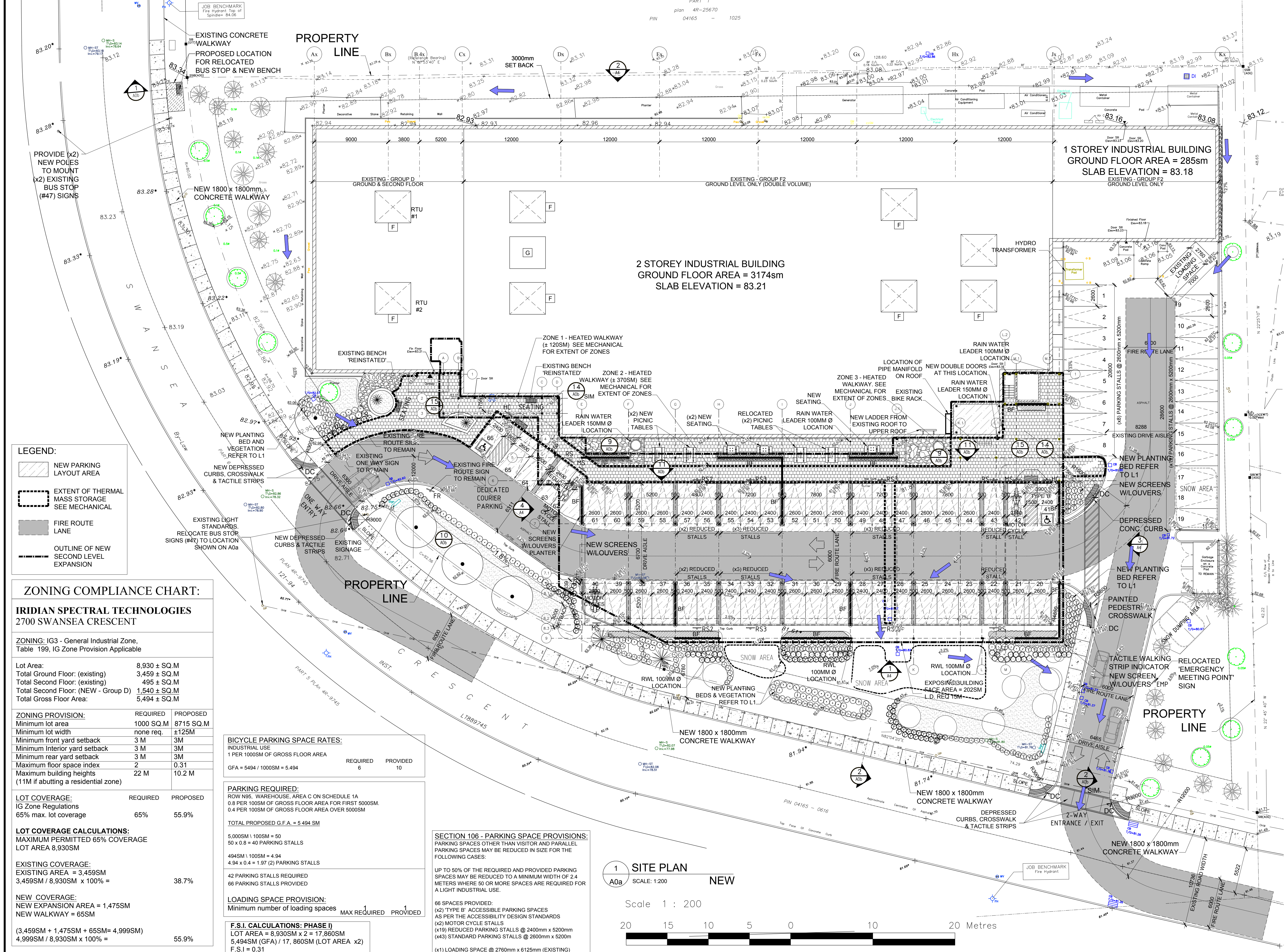


Project Title: IRIDIAN SPECTRAL TECHNOLOGIES EXPANSION
Project: 2700 SWANSEA, OTTAWA, ONTARIO.

Designed by: R. O. J.G. Conçu par
Date: MARCH 9 2022
Drawn: J.G. Dessiné
Date: MARCH 9 2022
Approved: R. O. Approuvé
Date: MARCH 9 2022
Project no.: 2021-08 No. du projet

ZONING COMPLIANCE CHART & NEW SITE PLAN

Scale: 1:300
Drawing no.: A0a
No. du dessin



- LEGEND:**
- NEW PARKING LAYOUT AREA
 - EXTENT OF THERMAL MASS STORAGE SEE MECHANICAL
 - FIRE ROUTE LANE
 - OUTLINE OF NEW SECOND LEVEL EXPANSION

ZONING COMPLIANCE CHART:

IRIDIAN SPECTRAL TECHNOLOGIES 2700 SWANSEA CRESCENT

ZONING: IG3 - General Industrial Zone, Table 199, IG Zone Provision Applicable

Lot Area:	8,930 ± SQ.M
Total Ground Floor: (existing)	3,459 ± SQ.M
Total Second Floor: (existing)	495 ± SQ.M
Total Second Floor: (NEW - Group D)	1,540 ± SQ.M
Total Gross Floor Area:	5,494 ± SQ.M

ZONING PROVISION:	REQUIRED	PROPOSED
Minimum lot area	1000 SQ.M	8715 SQ.M
Minimum lot width	none req.	±125M
Minimum front yard setback	3 M	3M
Minimum interior yard setback	3 M	3M
Minimum rear yard setback	3 M	3M
Maximum floor space index	2	0.31
Maximum building heights (11M if abutting a residential zone)	22 M	10.2 M

LOT COVERAGE:	REQUIRED	PROPOSED
IG Zone Regulations	65%	55.9%
65% max. lot coverage		

LOT COVERAGE CALCULATIONS:
MAXIMUM PERMITTED 65% COVERAGE
LOT AREA 8,930SM

EXISTING COVERAGE:
EXISTING AREA = 3,459SM
3,459SM / 8,930SM x 100% = 38.7%

NEW COVERAGE:
NEW EXPANSION AREA = 1,475SM
NEW WALKWAY = 65SM

(3,459SM + 1,475SM + 65SM = 4,999SM)
4,999SM / 8,930SM x 100% = 55.9%

BICYCLE PARKING SPACE RATES:
INDUSTRIAL USE
1 PER 1000SM OF GROSS FLOOR AREA

REQUIRED	PROVIDED
6	10

GFA = 5494 / 1000SM = 5.494

PARKING REQUIRED:
ROW N95, WAREHOUSE, AREA C ON SCHEDULE 1A
0.8 PER 100SM OF GROSS FLOOR AREA FOR FIRST 5000SM.
0.4 PER 100SM OF GROSS FLOOR AREA OVER 5000SM

TOTAL PROPOSED G.F.A. = 5,494 SM
5,000SM / 1000SM = 50
50 x 0.8 = 40 PARKING STALLS
494SM / 1000SM = 4.94
4.94 x 0.4 = 1.97 (2) PARKING STALLS
42 PARKING STALLS REQUIRED
66 PARKING STALLS PROVIDED

LOADING SPACE PROVISION:
Minimum number of loading spaces

MAX REQUIRED	PROVIDED
1	1

F.S.I. CALCULATIONS: PHASE I)
LOT AREA = 8,930SM x 2 = 17,860SM
5,494SM (GFA) / 17,860SM (LOT AREA x2)
F.S.I. = 0.31

SECTION 106 - PARKING SPACE PROVISIONS:
PARKING SPACES OTHER THAN VISITOR AND PARALLEL PARKING SPACES MAY BE REDUCED IN SIZE FOR THE FOLLOWING CASES:
UP TO 50% OF THE REQUIRED AND PROVIDED PARKING SPACES MAY BE REDUCED TO A MINIMUM WIDTH OF 2.4 METERS WHERE 50 OR MORE SPACES ARE REQUIRED FOR A LIGHT INDUSTRIAL USE.
66 SPACES PROVIDED:
(x2) TYPE B ACCESSIBLE PARKING SPACES AS PER THE ACCESSIBILITY DESIGN STANDARDS
(x2) MOTOR CYCLE STALLS
(x19) REDUCED PARKING STALLS @ 2400mm x 5200mm
(x43) STANDARD PARKING STALLS @ 2600mm x 5200mm
(x1) LOADING SPACE @ 2760mm x 6125mm (EXISTING)

1 SITE PLAN A0a SCALE: 1:200 NEW

Scale 1 : 200

