

SITE STATISTICS		
ZONING	IP - BUSINESS PARK INDUSTRIAL	
	IP [2265]H(12)	
SETBACKS		
FRONT YARD	MIN REQ'D (m)	PROVIDED (m)
REAR YARD	6.0	35.14
INTERIOR SIDE	6.0	6.00
INTERIOR SIDE	3.0	3.00
INTERIOR SIDE	3.0	3.00
WIDTH OF LANDSCAPE STRIP		
ABUTTING A STREET	3.0	3.0
MAXIMUM FLOOR SPACE INDEX	2	1
HEIGHT OF BUILDING		
BUILDING HEIGHT (MEASURED FROM GRADE TO T/O ROOF DECK)	MAX	PROVIDED
	12m	12m
CONSTRUCTION AREAS GROSS FLOOR AREA (GFA)		
GROUND FLOOR-BANQUET HALL (140 PERSON)	SM	SF
GROUND FLOOR-PRE FUNCTION	172	1,851
GROUND FLOOR-HOTEL	42	452
2ND FLOOR	1,049	11,291
3RD FLOOR	1,284	13,821
4TH FLOOR	1,284	13,821
TOTAL CONSTRUCTION AREA	5,115	55,057
PARKING REQUIREMENTS (BASED ON TABLE 101: AREA "C" ON SCHEDULE 1A)		
- SPACES @ 2.6W x 5.2L	REQ'D	PROVIDED
- 50% of stalls are compact stalls (size at 2.4W x 4.6L per zoning standards)		
HOTEL: 1 SPACE PER GUEST UNIT (88 ROOMS)	88	88
PLACE OF ASSEMBLY (10 PER 100sqm OF GFA OF ASSEMBLY AREA)	20	20
BANQUET HALL + PRE FUNCTION AREA (200 SQ M)		
REDUCED PARKING SPACES (COMPACT STALLS) UP TO 50% OF THE PARKING SPACES		51
TYPICAL PARKING STALLS PROVIDED		52
ACC TYPICAL PARKING STALLS PROVIDED		5
TOTAL NO. OF SPACES	108	108
ACCESSIBLE PARKING (CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS)		
101-133 PARKING SPACES, THEN 5 ACCESSIBLE SPACES REQ'D	REQ'D	PROVIDED
TYPE A (VAN), MIN WIDTH=3400	5	5
TYPE B, MIN WIDTH=2400	2	2
	3	3
BICYCLE PARKING (BASED ON TABLE 111A (g)&(l))		
HOTEL = 1 PER 1000sqm OF GFA	REQ'D	PROVIDED
ALL OTHER (i.e. PLACE OF ASSEMBLY) = 1 PER 1500sqm OF GFA	5	5
TOTAL NO. OF SPACES	1	1
	6	6
DRIVEWAYS AND AISLE REQUIREMENTS (SECTION 107)		
TWO-WAY DRIVEWAY	REQ'D (MIN)	PROVIDED
	6.7	6.7
TWO-WAY PARKING AISLE	6.7	6.7
LOADING REQUIREMENTS (SECTION 113)		
(SIZE: 3.5W x 9.0L PARALLEL; 3.5W x 7.0 OTHER; 4.2M VERT CLR)	REQ'D	PROVIDED
LOADING SPACE	2	0



3 SITE LOCATION N.T.S

1 SITE STATS N.T.S

HOLIDAY INN OTTAWA- ROOM MIX							
	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL	PERCENTAGE	MIX
KING	3	6	6	6	21	24%	32%
ACC KING	1	2	2	2	7	8%	
QQ	0	15	15	15	45	51%	53%
ACC JUNIOR SUITE	0	1	1	0	2	2%	
JUNIOR SUITE	0	4	4	5	13	15%	15%
TOTAL	4	28	28	28	88	100%	100%
TOTAL ACC. ROOMS	1	3	3	2	9	10%	100%

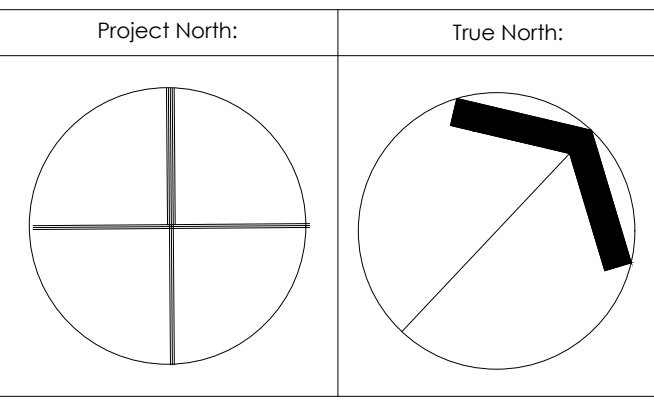
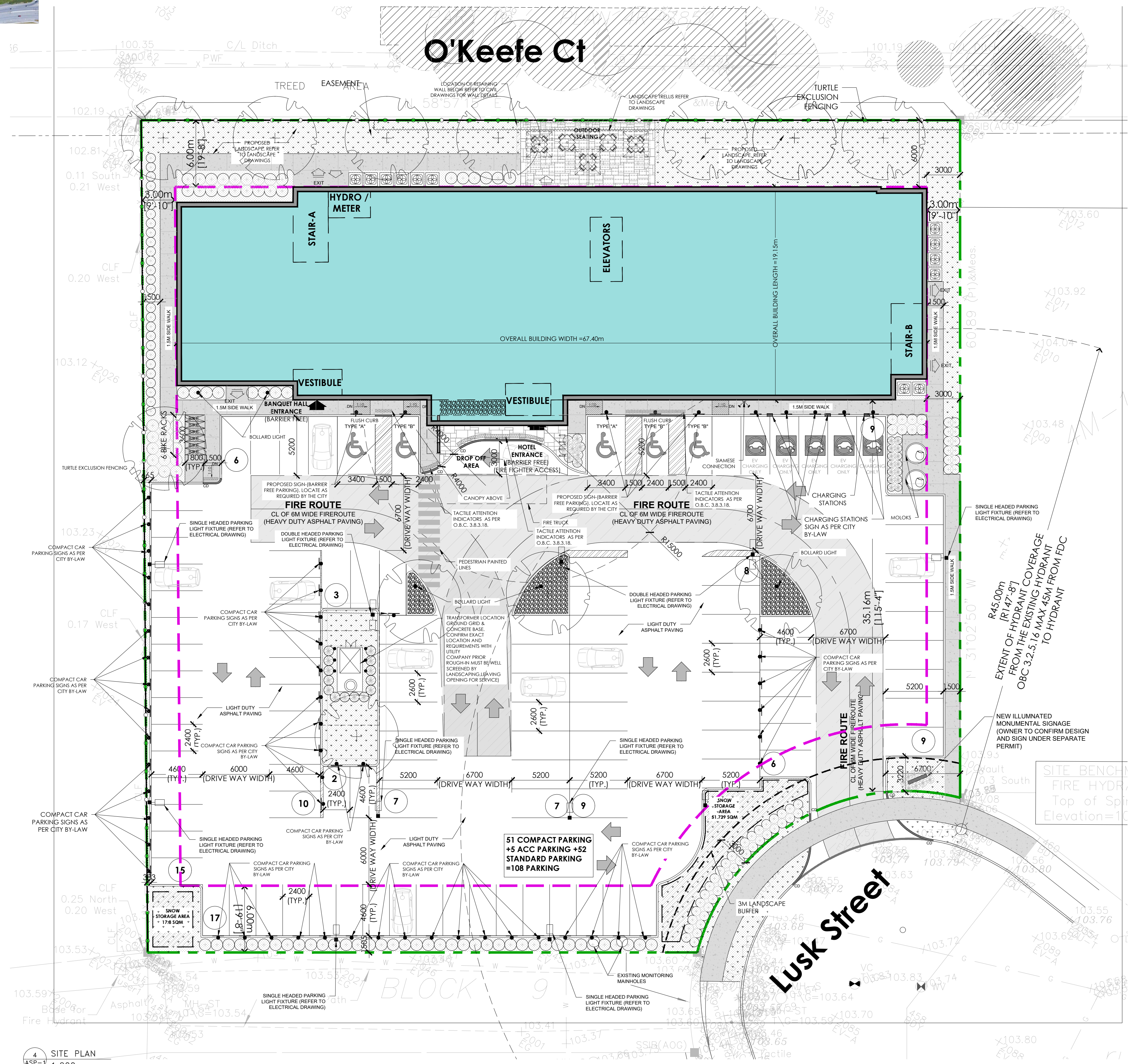
2 ROOM MIX N.T.S

SITE PLAN LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE BUFFER
	CURB DEPRESSION
	ENTRY/EXIT ACCESS POINTS
	EXISTING TOWN HYDRANT
	PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS (REFER TO CIVIL DWGS)
	FIRE DEPARTMENT CONNECTION
	HOSE BIB (REFER TO MECHANICAL DWGS)
	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS
	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL
	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS
	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTLET REFER TO ELECTRICAL DWGS
	RECESSED EXTERIOR LIGHT FIXTURE & SOFFIT & PROTE COCHERE REFER TO ELECTRICAL DWGS
	NEW HEAVY DUTY ASPHALT PAVING (REMANINDER OF THE SITE TO RECEIVE LIGHT DUTY ASPHALT PAVING)
	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)
	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION
	STEEL BOLLARD (REFER TO DETAIL XXX)
	PARKING COUNT
	FRS
	PROPOSED GRADING (REFER TO CIVIL DWGS)
	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)
	SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY)

4 SITE PLAN 1:200

CREDIT NOTES:	
THIS PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR PROPERTY WALL ARCHITECTS ARCHITECTS INC. ALL INFORMATION IS BASED ON THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER THE SCOPE OF THE CONTRACT. IF ANY:	TOPO SURVEYORS INFO: ANKIN, OSULLIVAN, VOLLEBEK LTD. 14 CONCORSE GATE, SUITE 500 MISSISSAUGA, ONT. L5R 2R4 PHONE: (905) 727-0850 / FAX: (905) 727-1079 EMAIL: NPEAN@AOVTO.COM

SITE PLAN- GENERAL NOTES	
1. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND DISCREPANCY AREAS DETURED BY THE CONTRACTOR OR BE RENOVATED TO THE SATISFACTION OF THE TOWN.	5. THE OWNER/ CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND BARRIER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA.
2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIGNALS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR OWNER TO A SETBACK OF 1.0M. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ OWNER.	6. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO HARBOR NO BRIGHT LIGHT DISTRIBUTION AT THE PROPERTY LINE.
3. THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/ DISTURBANCE DURING CONSTRUCTION.	7. ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
4. ALL BARRIER FREE ENTRANCES AND BARRIER FREE PAIRS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	8. ALL CONDENSING UNITS TO BE SCREENED ON THE EXTERIOR OF THE BUILDING.
	9. SEPARATE PERMITS ARE REQUIRED FOR ANY STORAGE ON THE PROPERTY.
	10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
1	2022-12-09	ISSUED FOR SPA	

Drawing Issues/Revisions:

Note:
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WORK IN PROGRESS

MATAJ ARCHITECTS INC.

Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Incauld Shore Rd
Oakville Ontario L6H 0Z7
1.905.281.4444

Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:
HOLIDAY INN - SITE PLAN

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: AS SHOWN	Date: 22-10-15	Project No.: 22-027
Drawing No:	ASP-1	
Drawing Series:	ARCHITECTURAL - SPA	



#3

EL +47'-10"	T/O HIGH PARAPET
EL +41'-10"	T/O LOW PARAPET
EL +39'-4"	T/O ROOF SLAB
EL +39'-4"	T/O FOURTH FLOOR
EL +20'-8"	T/O THIRD FLOOR
EL +12'-0"	T/O SECOND FLOOR
EL +0'-0"	T/O GROUND FLOOR

Key Plan:

No.	Date:	Issue/Revision	By:
3	2023-02-08	ISSUED FOR MINOR VARIANCE SUB.	
1	2022-10-25	ISSUED FOR MINOR VARIANCE SUB.	

Drawing Issues/Revisions:

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Project:

HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:

PROPOSED SOUTH ELEVATION

Design By: M.A. Drawn By: S.F. Approved By: A.M.

Scale: 1/8"=1'-0" Date: 22-10-15 Project No.: 22-027

Drawing No:

A.301

Drawing Series: ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
EIFS			
1	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BLACK	
2	EIFS BY CORNERPOINT OR EQUIVALENT, SANDSTONE FINISH	BM, KENDALL CHARCOAL HC-166	
3	WOOD VENEER & EPOXY OVER EIFS SYSTEM, BY CORNER POINT	TIMBER TEAK EQUIVALENT	
4	EIFS BY CORNERPOINT OR EQUIVALENT, GEMSTONE FINISH	BLACK MAINE	
5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
6	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	WHITE DOVE, BM OC 151	
7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
12	STAC-BOND ALUMINUM COMPOSITE PANEL, NATURAL MIRROR FINISH	STB-M01	
LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00 (6" EIFS)
B	+6" PROJECTING FROM 'A' PLANE
C	-1" RECESSED FROM 'A' PLANE
D	-2" RECESSED FROM 'A' PLANE
E	-3" RECESSED FROM 'A' PLANE
F	-4" RECESSED FROM 'A' PLANE

GENERAL NOTES:

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Key Plan:

3	2023-02-08	ISSUED FOR MINOR VARIANCE SUB.
2	2022-12-09	ISSUED FOR SPA
1	2022-10-25	ISSUED FOR MINOR VARIANCE SUB.

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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WORK IN PROGRESS



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206-418 Iroquois Shore Rd.
Oakville, Ontario
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Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED SOUTH ELEVATION

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.301a

Drawing Series:
ARCHITECTURAL - SPA



Key Plan:

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3	2023-02-08	ISSUED FOR MINOR VARIANCE SUB.	
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Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:

**PROPOSED
EAST & WEST
ELEVATIONS**

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.302

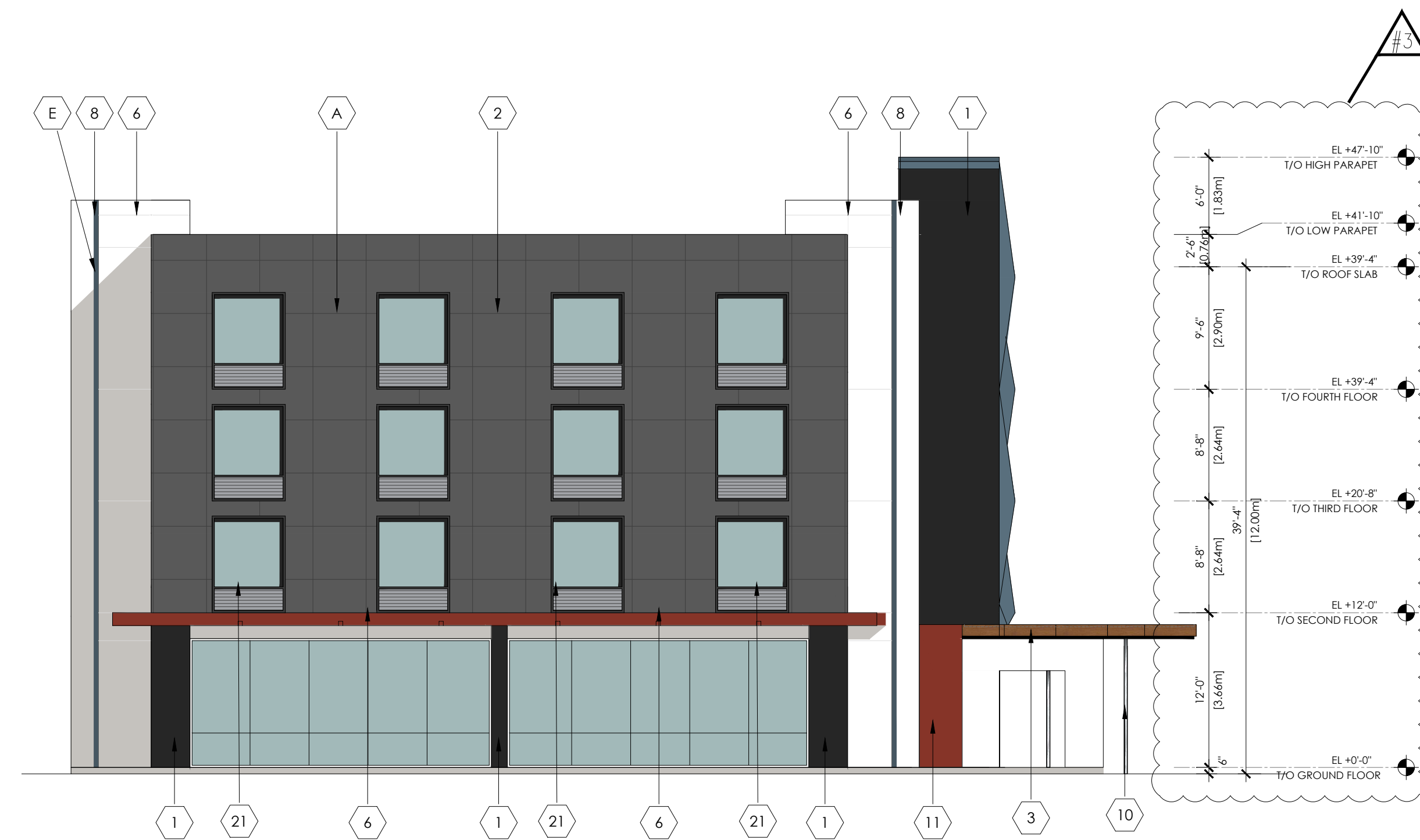
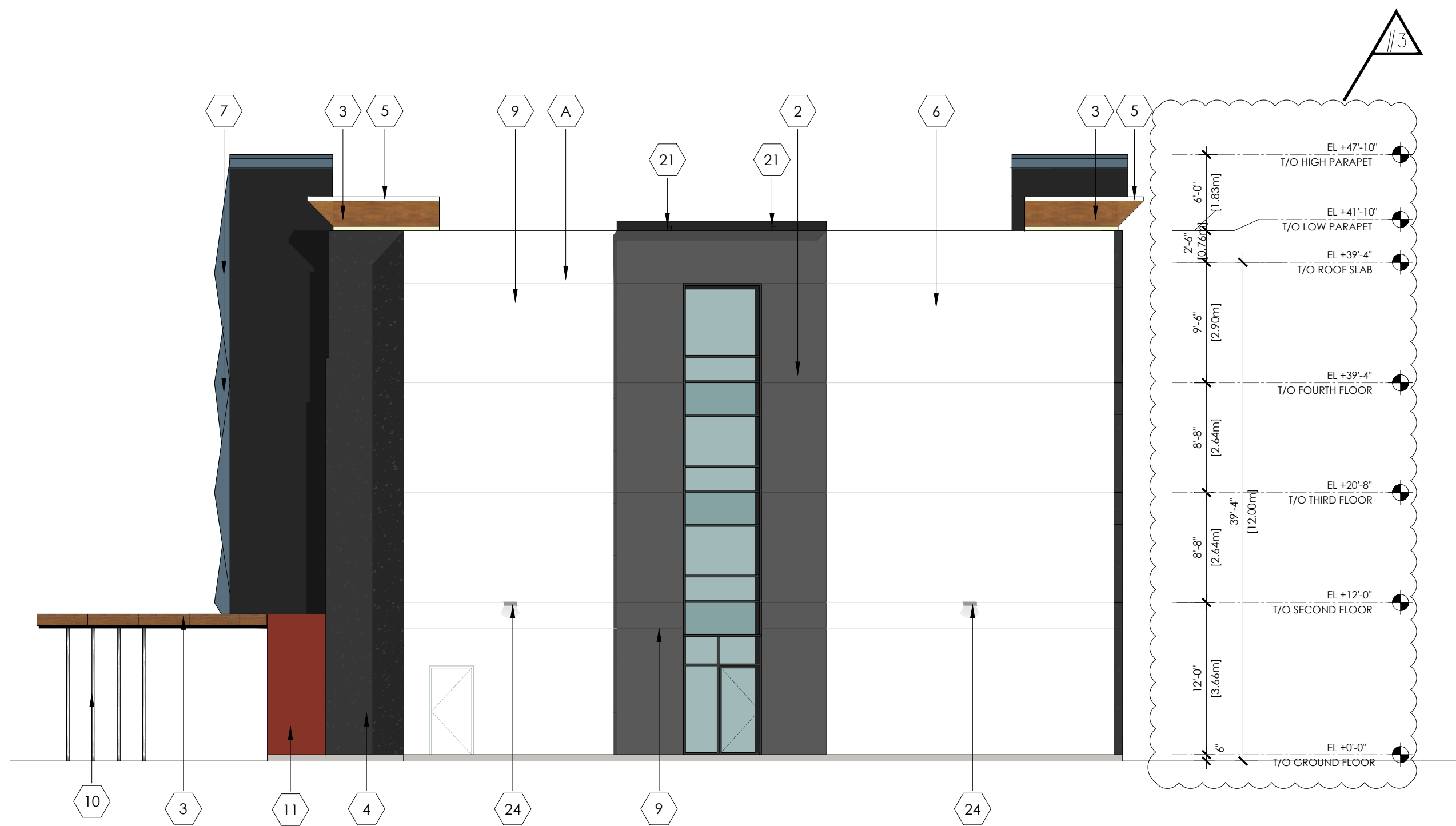
Drawing Series:
ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
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4	EIFS BY CORNERPOINT OR EQUIVALENT, GEMSTONE FINISH	BLACK MAINE	
5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
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7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
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LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
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WORK IN PROGRESS

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 Oakville Ontario
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Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:

PROPOSED EAST & WEST ELEVATIONS

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.302a

Drawing Series:
 ARCHITECTURAL - SPA



LANDSCAP TRELLIS REFER
TO LANDSCAPE DRAWINGS

Key Plan:



No.	Date:	Issue/Revision	By:
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Project:
HOLIDAY INN OTTAWA
140 Lusk St, Ottawa, ON

Sheet Title:
**PROPOSED
NORTH ELEVATION**

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8" = 1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.303

Drawing Series:
ARCHITECTURAL - SPA

EXTERIOR FINISH SCHEDULE			
	MATERIAL/FINISH	COLOR	NOTES
EIFS			
1	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BLACK	
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5	EIFS BY CORNERPOINT OR EQUIVALENT, METALLIC FINISH	WHITE DOVE, BM OC 151	
6	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	WHITE DOVE, BM OC 151	
7	EIFS PANEL BY DURABOND OR EQUIVALENT, SANDSTONE FINISH	BM, MOZART BLUE 1665	
8	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH METALLIC FINISH	BM, FIELD STONE 1558	
9	EIFS 3/4" REVEAL		
10	EXTERIOR GRADE PAINT ON 3" DIAMETER GALVANIZED STEEL COLUMNS, MATTE FINISH	WHITE	
11	EIFS BY CORNERPOINT OR EQUIVALENT, SMOOTH FINISH	BM, Classic Burgundy HC-182	
12	STAC-BOND ALUMINUM COMPOSITE PANEL, NATURAL MIRROR FINISH	STB-M01	
LIGHTING			
20	2 LINEAR WHITE STRIPS WITH LENS ON A DIMMER	3000 K	
21	4" X 4" LED LIGHT	3000 K, WHITE LENS	
22	DECORATIVE WALL SCONCE	3000 K	
23	ILLUMINATED SIGNAGE		
24	3x12 SS LED SURFACE MOUNTED DOWNLIGHT	3000 K	

SPECIAL INSTRUCTIONS	
A	TYPICAL WALL PLANE, 0.00 (6" EIFS)
B	+6" PROJECTING FROM 'A' PLANE
C	-1" RECESSED FROM 'A' PLANE
D	-2" RECESSED FROM 'A' PLANE
E	-3" RECESSED FROM 'A' PLANE
F	-4" RECESSED FROM 'A' PLANE

GENERAL NOTES:

- ALL GRILLS IN EXTERIOR ELEVATION PAINTED TO MATCH ADJACENT COLOR.
- SAMPLES OF ALL EXTERIOR FINISHES AND COLORS SHOULD BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION
- CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECT'S OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLORS.
- FOR FIELD APPLIED EIFS, CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS IT PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR



Key Plan:

3	2023-02-08	ISSUED FOR MINOR VARIANCE SUB.
2	2022-12-09	ISSUED FOR SPA
1	2022-10-25	ISSUED FOR MINOR VARIANCE SUB.

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
 FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC.
 USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

WORK IN PROGRESS

MATAJ ARCHITECTS INC.

Architect's Stamp

MATAJ ARCHITECTS
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Project:
HOLIDAY INN OTTAWA

140 Lusk St, Ottawa, ON

Sheet Title:
PROPOSED NORTH ELEVATION

Design By: M.A.	Drawn By: S.F.	Approved By: A.M.
Scale: 1/8"=1'-0"	Date: 22-10-15	Project No.: 22-027

Drawing No:
A.303a

Drawing Series:
 ARCHITECTURAL - SPA