

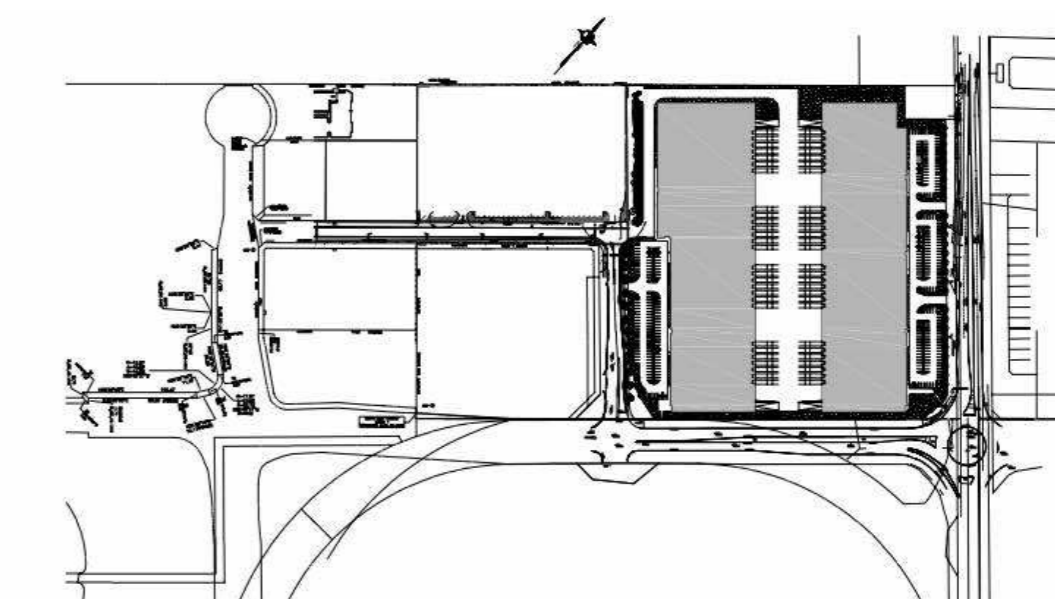
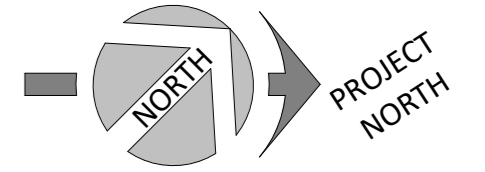
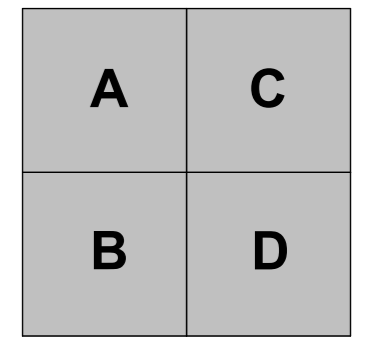


000_ENG_DRAWING LIST				
No	Title	Revision	Date	Current Revision Description
A000	TITLE DRAWING LIST	5	2023-09-15	ISSUED FOR SPA R4
A002	CONTEXT PLAN	2	2023-03-30	ISSUED FOR SPA R1
A100	SITE PLAN	5	2023-09-15	ISSUED FOR SPA R4
A101	ENLARGED SITE PLAN 1/4	5	2023-09-15	ISSUED FOR SPA R4
A102	ENLARGED SITE PLAN 2/4	5	2023-09-15	ISSUED FOR SPA R4
A103	ENLARGED SITE PLAN 3/4	5	2023-09-15	ISSUED FOR SPA R4
A104	ENLARGED SITE PLAN 4/4	5	2023-09-15	ISSUED FOR SPA R4
A110	SITE DETAILS	2	2023-03-30	ISSUED FOR SPA R1
A111	SITE DETAILS	2	2023-03-30	ISSUED FOR SPA R1

REV. ISSUED FOR SPA R4

ROSEFELLOW.





PROJECT STATISTICS

PROPERTY

PART OF LOT 4
CONCESSION 1
GEOGRAPHIC TOWNSHIP OF HUNTELY
CITY OF OTTAWA, ON.

ADDRESS: 405 HUNTMAR DR
LOT AREA: #21.4 ac #932,756 ft² #86,687.4 m²

ZONING (IP13) LIGHT INDUSTRIAL

SETBACKS	ALLOWED / REQUIRED	PROPOSED
- FRONT YARD	6m	7.1m
- EXTERIOR SIDE YARD	6m	27.5m
- INTERIOR SIDE YARD	4m	7.2m
- REAR YARD	6m	8.7m

- MAX. FSI	2	0.5
- MAX G.F.A	173,374.8 m ²	44,493 m ²
- COVERAGE	50%	51%
- BUILDING HEIGHT	22m	11.2m
- LANDSCAPE REQUIREMENT	15%	15%

CITY PARKING REQUIREMENTS

- LIGHT INDUSTRIAL	0.8 / 100 m ² FOR THE FIRST 5,000 m ² AND 0.4 / 100 m ² ABOVE 5,000 m ²	
- HC RESERVED	MIN. 3m	
- MIN. ASLIDE WIDTH 6.7m	6.7m (2 WAY)	
- LANDSCAPED BUFFER TO STREET	MIN. 2.6m X 5.2m	
- STANDARD STALL DIMENSIONS	MAX. 3.66m X 5.2m	
- HC STALL DIMENSIONS	1/1,000m ²	
- BICYCLE PARKING		

PROPOSED BUILDING AREAS

- BUILDING A	#230,247 ft ²	#21,398 m ²
- BUILDING B	#248,498 ft ²	#23,095 m ²
- TOTAL GROSS FLOOR AREA (G.F.A.)	#478,744 ft ²	#44,493 m ²
- TOTAL COVERAGE		#51.5%
- TOTAL LANDSCAPING	#138,512 ft ²	15%

PROPOSED PARKING

BUILDING A		
- PARKING REQUIRED BY THE CITY		106 STALLS
- PARKING PROVIDED		168 STALLS
- BICYCLE PARKING REQUIRED		22 STALLS
BUILDING B		
- PARKING REQUIRED BY THE CITY		114 STALLS
- PARKING PROVIDED		114 STALLS
- BICYCLE PARKING REQUIRED		24 STALLS

BUILDING A AREA SUMMARY

TENANT BUILDING A1		
- WAREHOUSE	#55,410 ft ²	#5,150 m ²
- OFFICE (5%)	#2,916 ft ²	#271 m ²
- A1 TENANT AREA	#58,326 ft ²	#5,421 m ²
TENANT BUILDING A2		
- WAREHOUSE	#55,074 ft ²	#5,118 m ²
- OFFICE (5%)	#2,899 ft ²	#269 m ²
- A2 TENANT AREA	#57,972 ft ²	#5,388 m ²
TENANT BUILDING A3		
- WAREHOUSE	#54,980 ft ²	#5,110 m ²
- OFFICE (5%)	#2,894 ft ²	#269 m ²
- A3 TENANT AREA	#57,874 ft ²	#5,379 m ²
TENANT BUILDING A4		
- WAREHOUSE	#53,271 ft ²	#4,951 m ²
- OFFICE (5%)	#2,804 ft ²	#261 m ²
- A4 TENANT AREA	#56,074 ft ²	#5,211 m ²
TOTAL AREA BUILDING A	#230,247 ft ²	#21,398 m ²

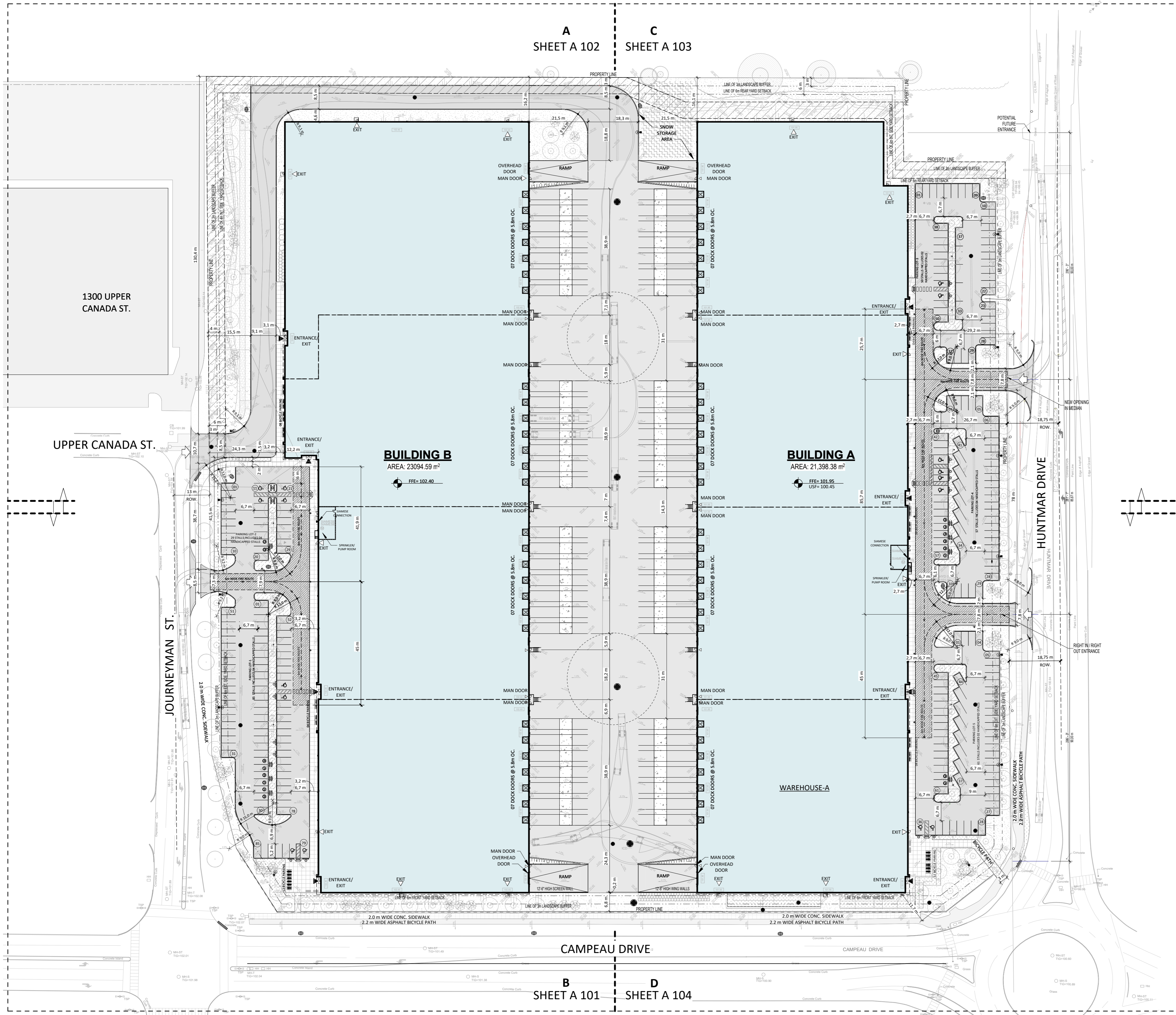
BUILDING B AREA SUMMARY

TENANT BUILDING B1		
- WAREHOUSE	#55,352 ft ²	#5,142 m ²
- OFFICE (5%)	#2,913 ft ²	#271 m ²
- B1 TENANT AREA	#58,265 ft ²	#5,415 m ²
TENANT BUILDING B2		
- WAREHOUSE	#55,028 ft ²	#5,112 m ²
- OFFICE (5%)	#2,896 ft ²	#269 m ²
- B2 TENANT AREA	#57,924 ft ²	#5,383 m ²
TENANT BUILDING B3		
- WAREHOUSE	#58,870 ft ²	#5,469 m ²
- OFFICE (5%)	#3,098 ft ²	#288 m ²
- B3 TENANT AREA	#61,968 ft ²	#5,759 m ²
TENANT BUILDING B4		
- WAREHOUSE	#66,823 ft ²	#6,208 m ²
- OFFICE (5%)	#3,517 ft ²	#327 m ²
- B4 TENANT AREA	#70,340 ft ²	#6,537 m ²
TOTAL AREA BUILDING B	#248,498 ft ²	#23,095 m ²

LEGEND (OVERALL PLAN)

---	PROPERTY LINE
---	SETBACK LINE (YARD & BUFFER)
---	FIRE ROUTE
▭	PROPOSED NEW BUILDING
▭	PROPOSED LANDSCAPE AREA
◁	SITE ENTRANCE / EXIT
◁	BUILDING ENTRANCE / EXIT
◁	EXIT DOOR
▨	WATERMAIN EASEMENT, SEE CIVIL

SURVEY NOTES:
LEGAL SURVEY, TOPO AND PROPERTY LINES PROVIDED BY ANIS, O'SULLIVAN, VOLLEBEKK LTD. ON SEPTEMBER 27, 2021
PART OF LOT 4
CONCESSION 1
GEOGRAPHIC TOWNSHIP OF HUNTELY
CITY OF OTTAWA, ON.



SPA SITE PLAN 1
1:750 A100

SURVEY:
ALL THE INFORMATION RELATED TO THE SITE ARE ON THE PLAN PREPARED BY: "COMPANY NAME HERE"
DRAWING: NO X
FOUO: XX
MINUTE: XX
DATE: YYYY-MM-DD

LOCATION:
THIS BUILDING IS PARALLEL TO THE SOUTHERN PROPERTY LINE. GOVERNING DIMENSIONS ARE FROM PROPERTY LINE TO STRUCTURAL GRIDLINE.

PUBLIC UTILITY SERVICES:
ALL POINTS OF CONNECTION SHOWN ARE CONCEPTUAL AND MAY BE MODIFIED ACCORDING TO THE NEEDS AND REQUIREMENTS OF THE PUBLIC AUTHORITIES CONCERNED, SEWERS, AQUEDUCT, DISTRIBUTION OF NATURAL GAS AND ELECTRICITY, TELEPHONE SERVICE AND CABLE DISTRIBUTIONS. SITE CONDITIONS, NEEDS AND SUBCONTRACTORS COORDINATION. ANY MODIFICATION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ARCHITECT FOR EXAMINATION AND COORDINATION BEFORE EXECUTION.

DIMENSIONS:
ALL BUILDING DIMENSIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE WALLS AT 1'-0" ABOVE THE GROUND FLOOR.

FIRE PROTECTION:
ALL FLOOR AREAS OF THIS BUILDING WILL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE AND INSURER REQUIREMENTS.

CIVIL:
CONSULT CIVIL ENGINEER'S DRAWINGS FOR: SITE LEVELS, DRAINAGE SLOPES, RETENTION BASINS, MANHOLES, CATCH BASINS, AND ALL UNDERGROUND SERVICES.

SOIL REPORT:
SOIL TESTING, CORE SAMPLING AND CARRYING CAPACITY. CONSULT THE SOIL REPORT PREPARED BY: _____
REPORT NO: XX
DATE: XX

No.	Date	Revision	By
5	2023-09-15	ISSUED FOR SPA R4	SG
4	2023-08-04	ISSUED FOR SPA R3	SG
3	2023-05-30	ISSUED FOR SPA R2	
2	2023-03-30	ISSUED FOR SPA R1	
1	2022-12-16	ISSUED FOR SPA	

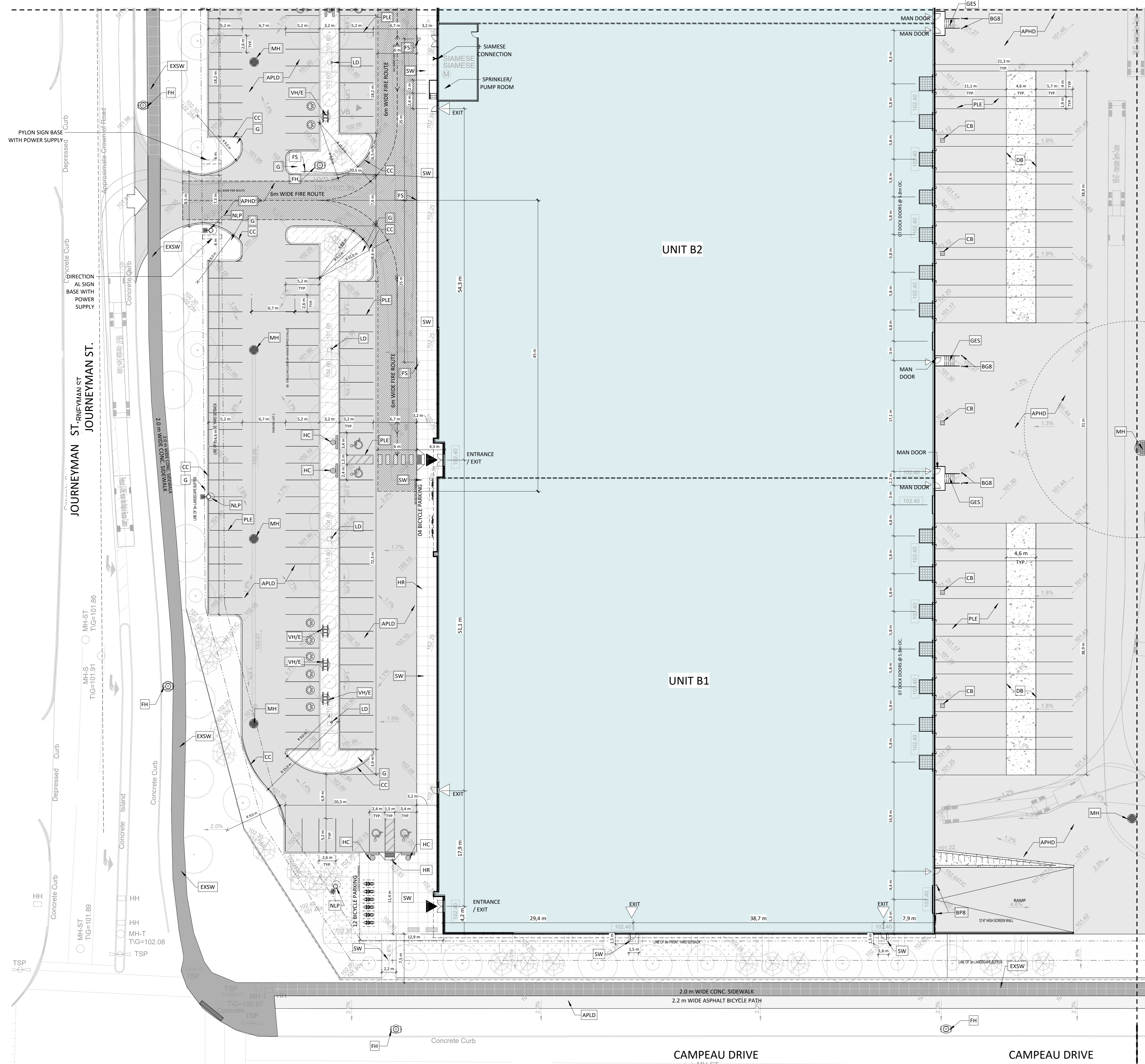
ROSEFELLOW KANATA
405 HUNTMAR DR.
CITY OF OTTAWA ONTARIO



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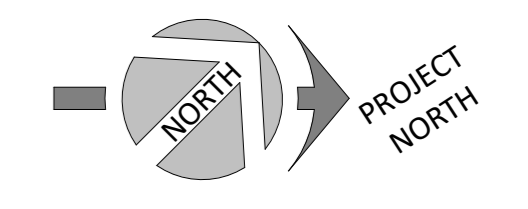
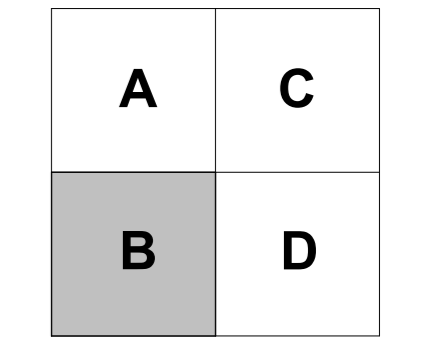
ARCHITECTURE
SITE PLAN

DRAWN BY: AH
CHECKED BY: EB
FILE NUMBER: D07-12-22-0186
TRAN NUMBER: 18906
SCALE: As indicated
FOLD: 22081
A100 R5



SYMBOLS LEGEND - SITE

- DETAIL**
- NEW BUILDINGS
 - APHD ASPHALT PAVING, HEAVY DUTY, SEE CIVIL
 - APLD ASPHALT PAVING, LIGHT DUTY, SEE CIVIL
 - EXTERIOR CONCRETE CURB, SEE CIVIL
 - GRASS OR OTHER LANDSCAPING, SEE LANDSCAPE
 - EXTERIOR CONCRETE BASE, SEE STRUCTURE FOR DETAILS
 - NEW LIGHT POLE REFER TO ELECTRICAL
 - EXSW EXISTING SIDEWALK
 - SW CONCRETE SIDEWALK, SEE CIVIL
 - HC HANDICAP PARKING SIGN
 - PLE YELLOW PAINTED LINE - EXTERIOR
 - B66 GALVANIZED BOLLARD, 6"Ø x 5'-0" HT. OR 8"Ø x 5'-0" HT., FULL WITH CONCRETE, CLOSED END WITH GALVANIZED CAP, INSTALLED IN A CONCRETE SONOTUBE OF 20"Ø @ 5'-0" DEPTH, MIN.
 - B68 YELLOW PAINTED BOLLARD, 6"Ø x 4'-0" HT. OR 8"Ø x 4'-0" HT., 1'-0" DEPTH, FULL WITH CONCRETE, CLOSED END WITH CAP.
 - BP6 GALVANIZED EXIT STAIR
 - BP8 HANDICAP RAMP; SEE SPECIFICATIONS / CIVIL ENGINEERING PLAN RAMP SLOPE: 1:10-1:12
 - VH/E CHARGER FOR ELECTRIC/HYBRID VEHICLES (DOUBLE). PROVIDE 100mm HIGH CONCRETE BASE, WHEN NOT POSITIONED ON A SIDEWALK. COORDINATE THE SIZE OF THE BASE WITH CHOSEN CHARGER MODEL, SEE SPEC. AND ELECTRICAL
 - FH FIRE HYDRANT
 - SC SIAMSESE FIRE DEPT. CONNECTION, SEE CIVIL AND FIRE PROTECTION
 - MH MANHOLE. SEE CIVIL
 - LD SEE CIVIL
 - CB CATCH BASIN. SEE CIVIL
 - DB CONCRETE SLAB (DOLLY PAD)
 - FS FIRE ROUTE SIGNAGE
 - WATERMAIN EASEMENT, SEE CIVIL



No.	Date	Revision	By
5	2023-09-15	ISSUED FOR SPA R4	SG
4	2023-08-04	ISSUED FOR SPA R3	SG
3	2023-05-30	ISSUED FOR SPA R2	
2	2023-03-30	ISSUED FOR SPA R1	
1	2022-12-16	ISSUED FOR SPA	

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CITY OF OTTAWA ONTARIO



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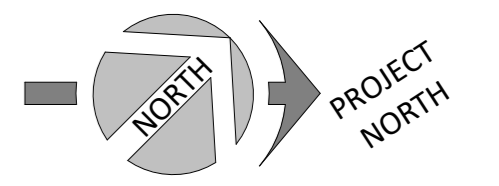
ARCHITECTURE

ENLARGED SITE PLAN 1/4

DRAWN BY: AH/AT	CHECKED BY: AH/EB
SCALE: As indicated	FILE NUMBER: D07-12-22-0186
	PLAN NUMBER: 18906
FOLO: 22081	A101 R5

SPA ENLARGED SITE PLAN 1/4
1:300 1 A101

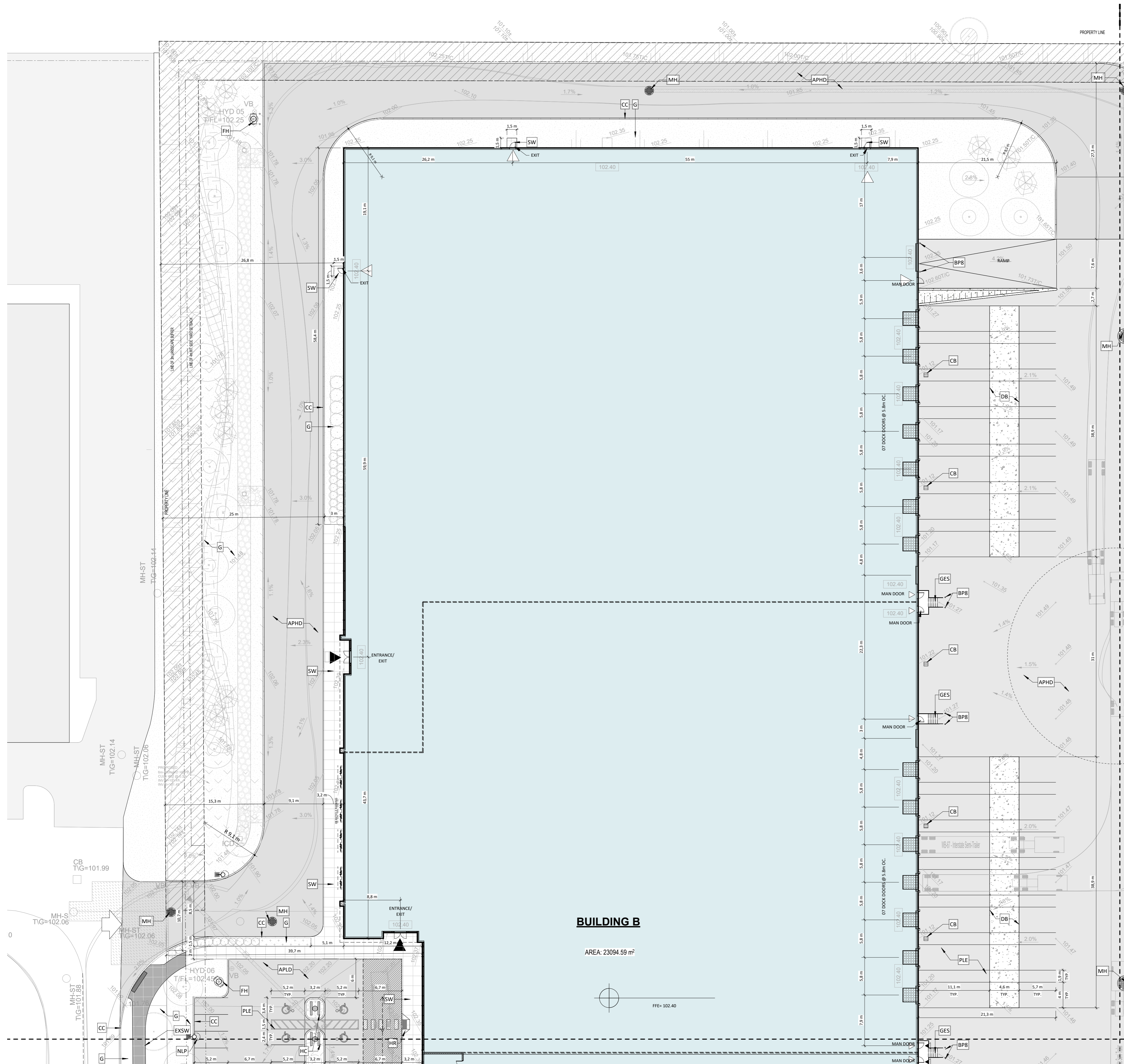
A	C
B	D



SYMBOLS LEGEND - SITE

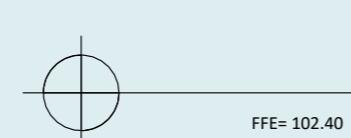
DETAIL

- NEW BUILDINGS
- APHD ASPHALT PAVING, HEAVY DUTY, SEE CIVIL
- APLD ASPHALT PAVING, LIGHT DUTY, SEE CIVIL
- CC EXTERIOR CONCRETE CURB, SEE CIVIL
- G GRASS OR OTHER LANDSCAPING, SEE LANDSCAPE
- ECB EXTERIOR CONCRETE BASE, SEE STRUCTURE FOR DETAILS
- NLP NEW LIGHT POLE REFER TO ELECTRICAL
- EXSW EXISTING SIDEWALK
- SW CONCRETE SIDEWALK, SEE CIVIL
- HC HANDICAP PARKING SIGN
- PLE YELLOW PAINTED LINE - EXTERIOR
- GALVANIZED BOLLARD, 6"Ø x 5'-0" HT. OR 8"Ø x 5'-0" HT., FULL WITH CONCRETE, CLOSED END WITH GALVANIZED CAP, INSTALLED IN A CONCRETE SONOTUBE OF 20"Ø @ 5'-0" DEPTH, MIN.
- YELLOW PAINTED BOLLARD, 6"Ø x 4'-0" HT. OR 8"Ø x 4'-0" HT., 1'-0" DEPTH, FULL WITH CONCRETE, CLOSED END WITH CAP.
- GES GALVANIZED EXIT STAIR
- HR HANDICAP RAMP; SEE SPECIFICATIONS / CIVIL ENGINEERING PLAN RAMP SLOPE: 1:10-1:12
- CHARGER FOR ELECTRIC/HYBRID VEHICLES (DOUBLE). PROVIDE 100mm HIGH CONCRETE BASE, WHEN NOT POSITIONED ON A SIDEWALK. COORDINATE THE SIZE OF THE BASE WITH CHOSEN CHARGER MODEL, SEE SPEC. AND ELECTRICAL
- FH FIRE HYDRANT
- SIAMESE FIRE DEPT. CONNECTION, SEE CIVIL AND FIRE PROTECTION
- MH MANHOLE. SEE CIVIL
- LD SEE CIVIL
- CB CATCH BASIN. SEE CIVIL
- DB CONCRETE SLAB (DOLLY PAD)
- FS FIRE ROUTE SIGNAGE
- WATERMAIN EASEMENT, SEE CIVIL



BUILDING B

AREA: 23094.59 m²



SPA ENLARGED SITE PLAN 2/4
1
1:300 A102

No.	Date	Revision	By
5	2023-09-15	ISSUED FOR SPA R4	SG
4	2023-08-04	ISSUED FOR SPA R3	SG
3	2023-05-30	ISSUED FOR SPA R2	
2	2023-03-30	ISSUED FOR SPA R1	
1	2022-12-16	ISSUED FOR SPA	

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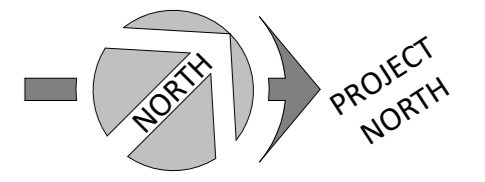
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ARCHITECTURE

ENLARGED SITE PLAN 2/4

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FILE NUMBER: D07-12-22-0186
SCALE: As indicated PLAN NUMBER: 18906
FOLD: 22081 **A102 R5**

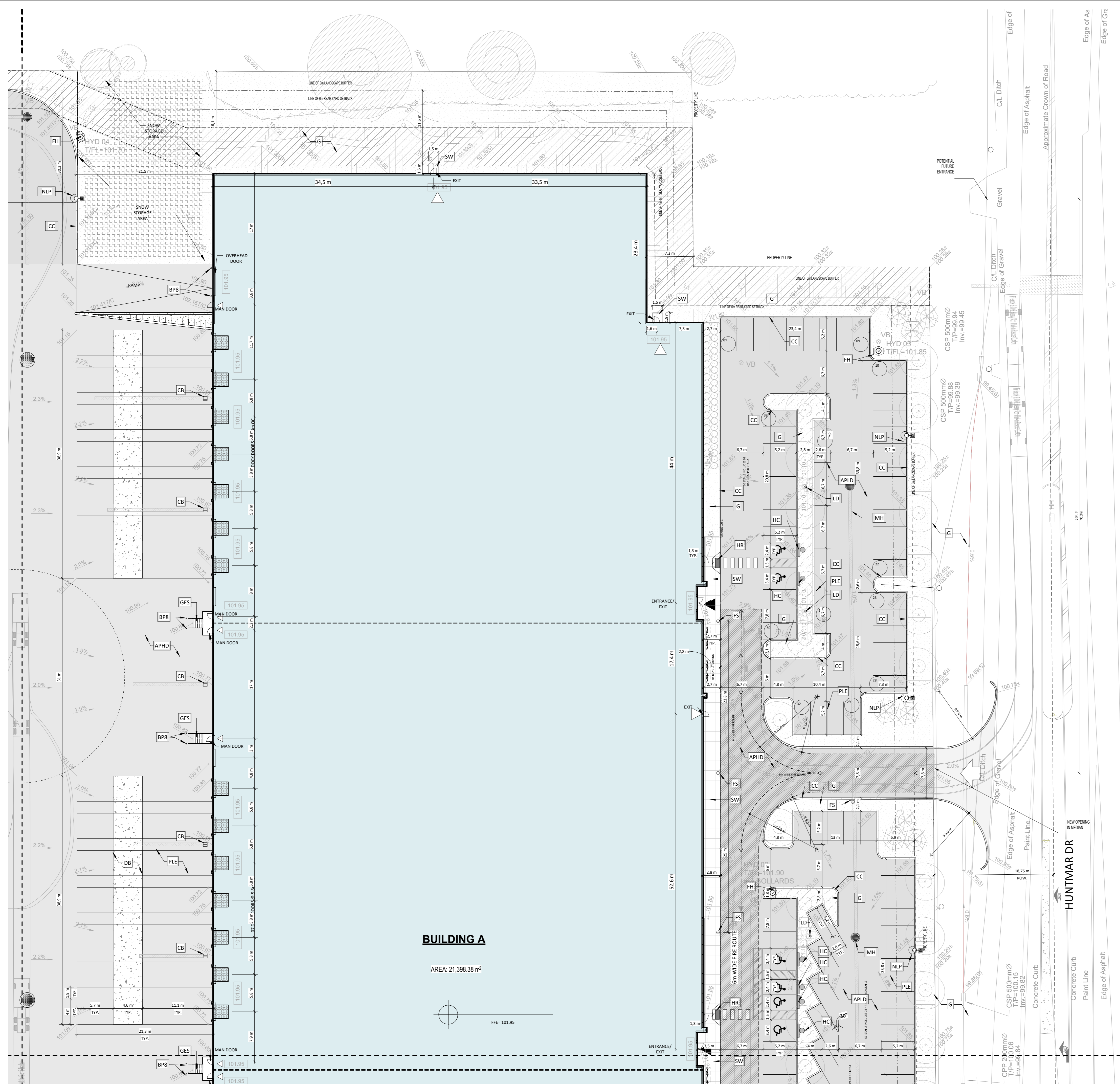
A	C
B	D



SYMBOLS LEGEND - SITE

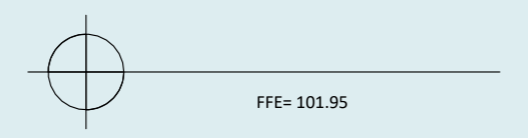
DETAIL

- NEW BUILDINGS
- APHD ASPHALT PAVING, HEAVY DUTY, SEE CIVIL
- APLD ASPHALT PAVING, LIGHT DUTY, SEE CIVIL
- CC EXTERIOR CONCRETE CURB, SEE CIVIL
- G GRASS OR OTHER LANDSCAPING, SEE LANDSCAPE
- ECB EXTERIOR CONCRETE BASE, SEE STRUCTURE FOR DETAILS
- NLP NEW LIGHT POLE REFER TO ELECTRICAL
- EXSW EXISTING SIDEWALK
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- YELLOW PAINTED BOLLARD, 6"Ø x 4'-0" HT. OR 8"Ø x 4'-0" HT., 1'-0" DEPTH, FULL WITH CONCRETE, CLOSED END WITH CAP.
- GALVANIZED EXIT STAIR
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- FIRE HYDRANT
- SIAMESE FIRE DEPT. CONNECTION, SEE CIVIL AND FIRE PROTECTION
- MANHOLE. SEE CIVIL
- SEE CIVIL
- CATCH BASIN. SEE CIVIL
- CONCRETE SLAB (DOLLY PAD)
- FIRE ROUTE SIGNAGE
- WATERMAIN EASEMENT, SEE CIVIL



BUILDING A

AREA: 21,398.38 m²



SPA ENLARGED SITE PLAN 3/4 1
1:300 A103

No.	Date	Revision	By
5	2023-09-15	ISSUED FOR SPA R4	SG
4	2023-08-04	ISSUED FOR SPA R3	SG
3	2023-05-30	ISSUED FOR SPA R2	
2	2023-03-30	ISSUED FOR SPA R1	
1	2022-12-16	ISSUED FOR SPA	

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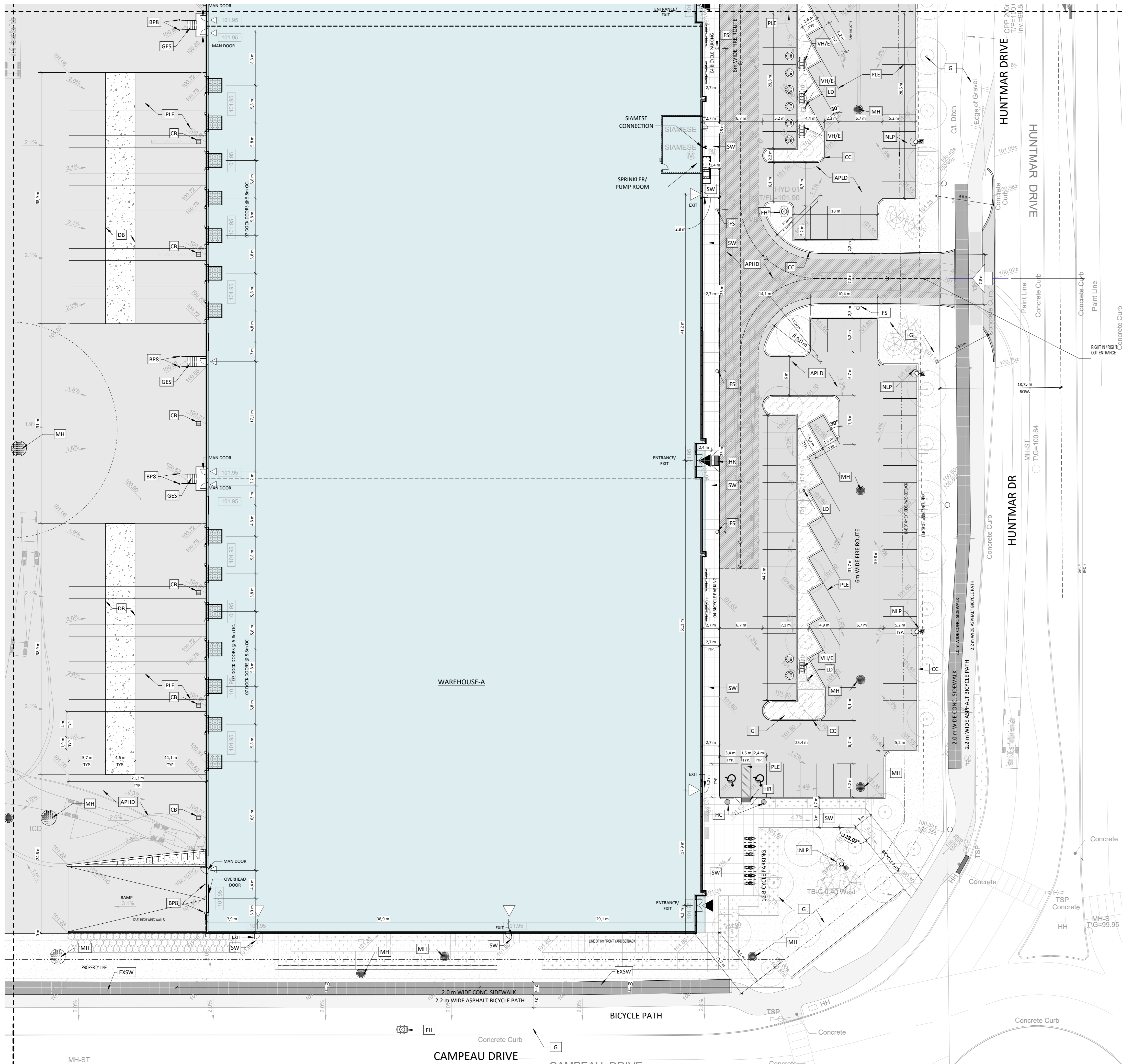


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ARCHITECTURE

ENLARGED SITE PLAN 3/4

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FOLD: 22081 **A103** R5

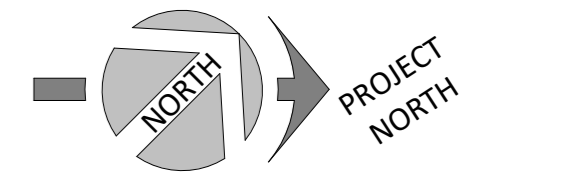


SYMBOLS LEGEND - SITE

DETAIL

- NEW BUILDINGS
- APHD ASPHALT PAVING, HEAVY DUTY, SEE CIVIL
- APLD ASPHALT PAVING, LIGHT DUTY, SEE CIVIL
- CC EXTERIOR CONCRETE CURB, SEE CIVIL
- GRASS OR OTHER LANDSCAPING, SEE LANDSCAPE
- ECB EXTERIOR CONCRETE BASE, SEE STRUCTURE FOR DETAILS
- NEW LIGHT POLE REFER TO ELECTRICAL
- EXSW EXISTING SIDEWALK
- SW CONCRETE SIDEWALK, SEE CIVIL
- HC HANDICAP PARKING SIGN
- PLE YELLOW PAINTED LINE - EXTERIOR
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- FIRE HYDRANT
- SIAMESE FIRE DEPT. CONNECTION, SEE CIVIL AND FIRE PROTECTION
- MANHOLE. SEE CIVIL
- SEE CIVIL
- CATCH BASIN. SEE CIVIL
- CONCRETE SLAB (DOLLY PAD)
- FIRE ROUTE SIGNAGE
- WATERMAIN EASEMENT, SEE CIVIL

A	C
B	D



No.	Date	Revision	By
5	2023-09-15	ISSUED FOR SPA R4	SG
4	2023-08-04	ISSUED FOR SPA R3	SG
3	2023-05-30	ISSUED FOR SPA R2	
2	2023-03-30	ISSUED FOR SPA R1	
1	2022-12-16	ISSUED FOR SPA	

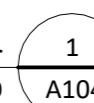
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ARCHITECTURE
 ENLARGED SITE PLAN 4/4

SPA ENLARGED SITE PLAN 4/4
 1:300



DRAWN BY: AT	CHECKED BY: AH/EB
SCALE: As indicated	FILE NUMBER: D07-12-22-0186
	TRAIN NUMBER: 18906
FOLD: 22081	A104 R5