

NEUF

ARCHITECT(E)S

SPC - LIST OF DRAWINGS	
SHEET NUMBER	SHEET NAME
SPC-00	COVER PAGE
SPC-01	SITE PLAN
SPC-02	FLOOR PLANS - BASEMENT @ GROUND FLOOR
SPC-03	FLOOR PLANS - 2ND @ 3RD FLOORS
SPC-04	FLOOR PLANS - 4TH @ 7TH FLOORS
SPC-05	FLOOR PLANS - 8TH @ 9TH FLOORS
SPC-06	FLOOR PLANS - MECHANICAL FLOOR @ ROOF
SPC-07	NORTH & EAST ELEVATIONS
SPC-08	SOUTH & WEST ELEVATIONS



211-231 BANK

211-231 BANK STREET, OTTAWA
CLIENT : SMART LIVING PROPERTIES



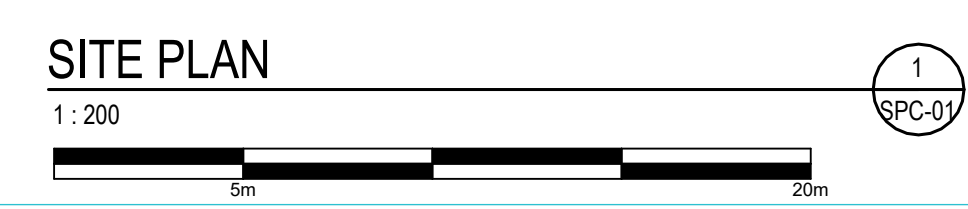
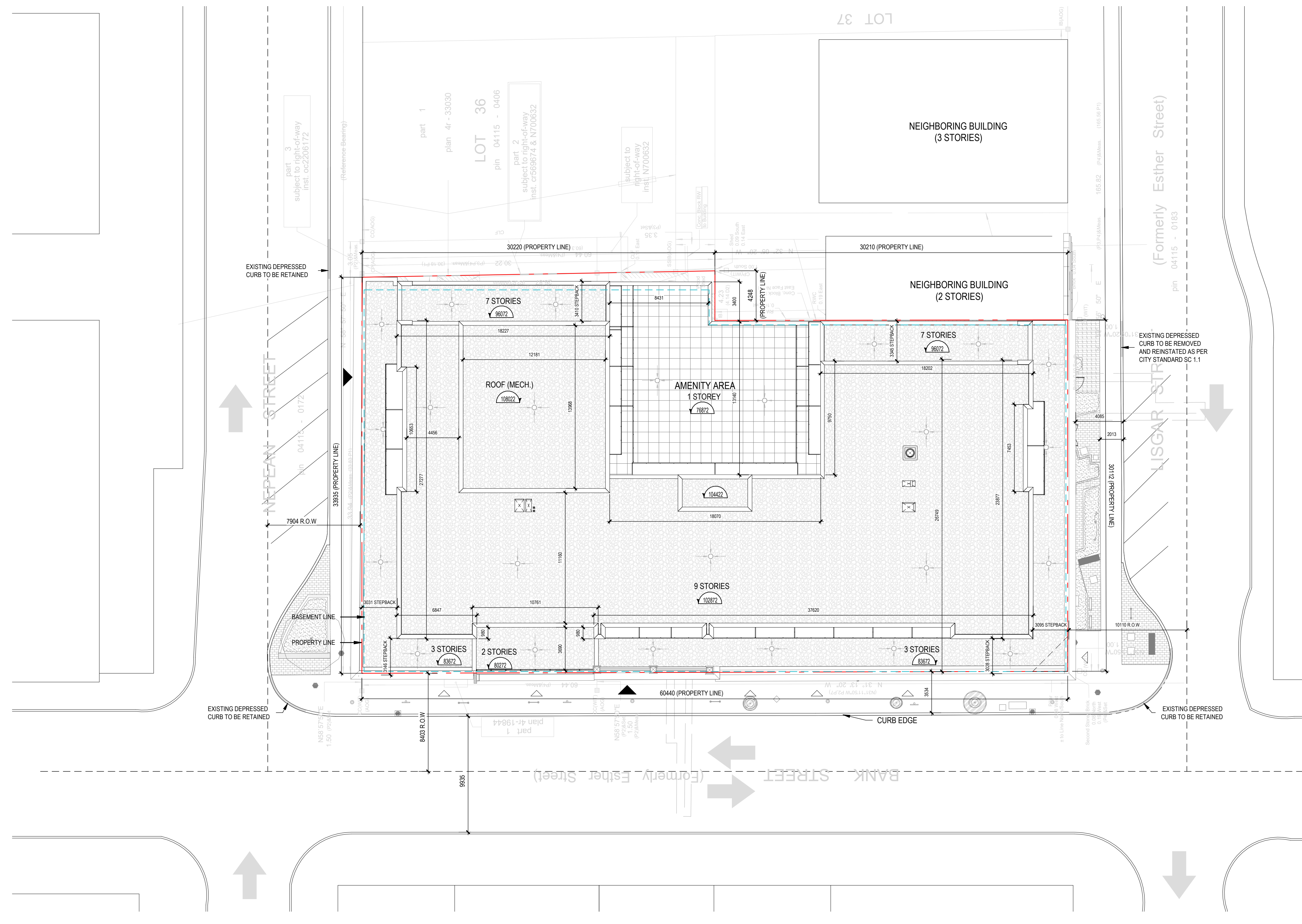
NEUF
ARCHITECT(E)S

- SITE PLAN CONTROL
- COORDINATION Coordination
- PERMIS Permit
- SOUSSION Tender
- RÉVISION GÉNÉRALE General revision
- CONSTRUCTION Construction
- FIN DES TRAVAUX Record Drawings

TM H(19) Zoning	Required	Provided
Front Yard	Bank Street	
Minimum Lot Area	No minimum	1943 m ²
Minimum Lot Width	No minimum	60.44 m
Minimum Building Height (m)	6.7 m within 20 m of front lot line	
Maximum Building Height (m)	19 meters as per height restriction in zoning	30 m
Minimum Front Yard Setback (Bank, west)	No minimum	0 m (existing condition)
	Above 15 m, min. front yard setback of 2 meters used for balcony above 2nd floor	3 m setback above 15 m
	2 meters from hydro poles; 5 meters from high-voltage power line	N/A
Maximum Front Yard Setback (Bank, west)	2 meters; does not apply to corner sight triangle; areas used for balcony above 2nd floor.	0m (existing condition)
Active Entrances	1 per ground floor occupancy	8
Minimum Side Yard Setback (Nepean, north) (Lisgar, south)	3 m for height up to 15 meters Above 15 m: Ground floor setback plus 2 meters (does not apply to corner site triangle), balconies not included	0 m, up to 3rd floor 1.2 m past 3rd floor
Minimum Rear Yard Setback (Back Alley, east)	7.5 meters (abutting R-zone)	0m (existing condition)
Minimum Interior Yard Setback	3 m (mixed-use building abutting R Zone) does not apply, has no interior side yard	N/A
Amenity Space Requirements	6m ² per unit Min. 50% communal, aggregated into areas of 54 m ² and where more than one aggregated area is provided, at least one must be minimum 54 m ² . 263 units * 6 m ² = 1 578 m ²	Provided: Balconies: 629 m ² Communal area(GF/basement): 716m ² Communal area(2nd floor): 235 m ² Total amenity area = 1 580 m ²
Landspace Area	Abutting a residential zone = Min. 3 m; reduced to 1 m where 1.4 m high opaque fence is provided In all other cases = No minimum	N/A
Parking Requirements	Residents: 0.5 spaces/unit after the first 12 units for units above the 4th floor = 125 Visitor: 0.1 spaces/unit after the first 12 units = 25 Commercial: Not required if GFA is less than 200m ² per use	Provided: 0
Aisle and Driveway Width	3m for parking lots with less than 20 parking spaces; 6m for parking lots with more than 20 spaces	N/A
Bicycle Parking	0.5/unit x 263 units=132	Provided: 264

LEVEL	STUDIO (23-45 m ²)	1 BR (39-46 m ²)	2 BR (59-61 m ²)	3 BR (68-105 m ²)	TOTAL
GROUND FLOOR	1	0	1	0	2
2nd FLOOR	25	4	1	2	32
3rd FLOOR	26	4	1	2	33
4th FLOOR	30	2	0	2	34
5th FLOOR	30	2	0	2	34
6th FLOOR	30	2	0	2	34
7th FLOOR	30	2	0	2	34
8th FLOOR	28	2	0	2	30
9th FLOOR	28	2	0	2	30
TOTAL	224	20	3	16	263
Required B.F (15%)	34	3	0	2	39
Provided B.F (15%)	35	6	0	2	43

NOTES	ZONING MECHANISM	REGULATION	PROPOSED	RESIDENTIAL UNITS SUMMARY	LEGEND
<p>SURVEY: PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM: • LOT 35 (SOUTH NEPEAN STREET) AND PART OF LOT 3 (EAST BANK STREET) AND PART OF LOT 35 (NORTH LISGAR STREET), REGISTERED PLAN 2996 CITY OF OTTAWA, DATED JULY 29TH, 2022. • SURVEYOR: ANNIS O'SULLIVAN, VOLLEBECK LTD. (14 CONCORSE GATE, SUITE 500, NEPEAN, ON, K2E 7S6)</p> <p>NOTE: REFER TO LANDSCAPE PLAN FOR DETAILS ON SURFACE TREATMENT OF PEDESTRIAN WALKWAYS.</p>	Residential Waste (Solid Waste Collection Design Guidelines for Multi-Unit Residential Development : 4.2)	<p>Garbage (Compacted) = 0.053y³/unit Require 15y³</p> <p>Recycling (GMP) = 0.018y³/unit Require 6y³</p> <p>Recycling (Fibres) = 0.038y³/unit Require 12y³</p> <p>Organics = 240L containers/ 50 units Require 6 containers</p>	<p>Garbage (Compacted) = (0.053y³)(263 units) = 14y³ Total = 5x 3y³ containers</p> <p>Recycling (GMP) = (0.018y³)(263 units) = 5y³ Total = 2x 3y³ containers</p> <p>Recycling (Fibres) = (0.038y³)(263 units) = 10y³ Total = 4x 3y³ containers</p> <p>Organics = 263 units : 50 = 6 Total = 6 containers</p>	<p>GROUND FLOOR: 2 UNITS 2ND FLOOR: 32 UNITS 3RD FLOOR: 33 UNITS 4TH TO 9TH FLOOR: (34 UNITS x 4) = 136 UNITS (30 UNITS x 2) = 60 UNITS</p> <p>TOTAL: 263 UNITS</p> <p>AREA SUMMARY LOT AREA: 1943 m² LOT COVERAGE: 98% GFA: 1895 m²</p>	<p>PROPERTY LINE</p> <p>PROJECTION LINE BASEMENT</p> <p>RESIDENTIAL ENTRANCE</p> <p>COMMERCIAL ENTRANCE</p> <p>EXISTING TO BE CONSERVED</p> <p>NEW CONSTRUCTION</p>



SITE PLAN
1 : 200

FILE NUMBERS: D02-02-22-0127
D07-12-22-0188

PLAN NUMBER: 18910

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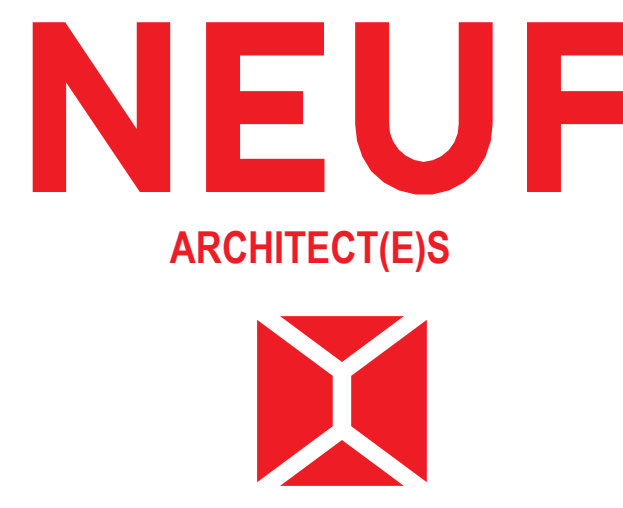
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OUVRAGE - Project
211-231 BANK

EMPLACEMENT - Location
211-231 BANK STREET,
OTTAWA

NO PROJET No. 13369

NO	REVISION	DATE (aaaa mm jj)
1	SPC	2024.09.10
2	SPC	2024.12.18

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DATE (aaaa mm jj) 2024.12.18
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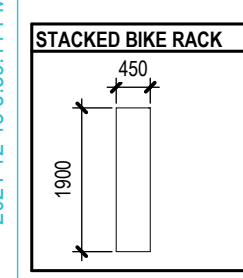
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ÉCHELLE - Scale As indicated

SITE PLAN

REVISION - Revision
NO. DESSIN - Drawing Number
2

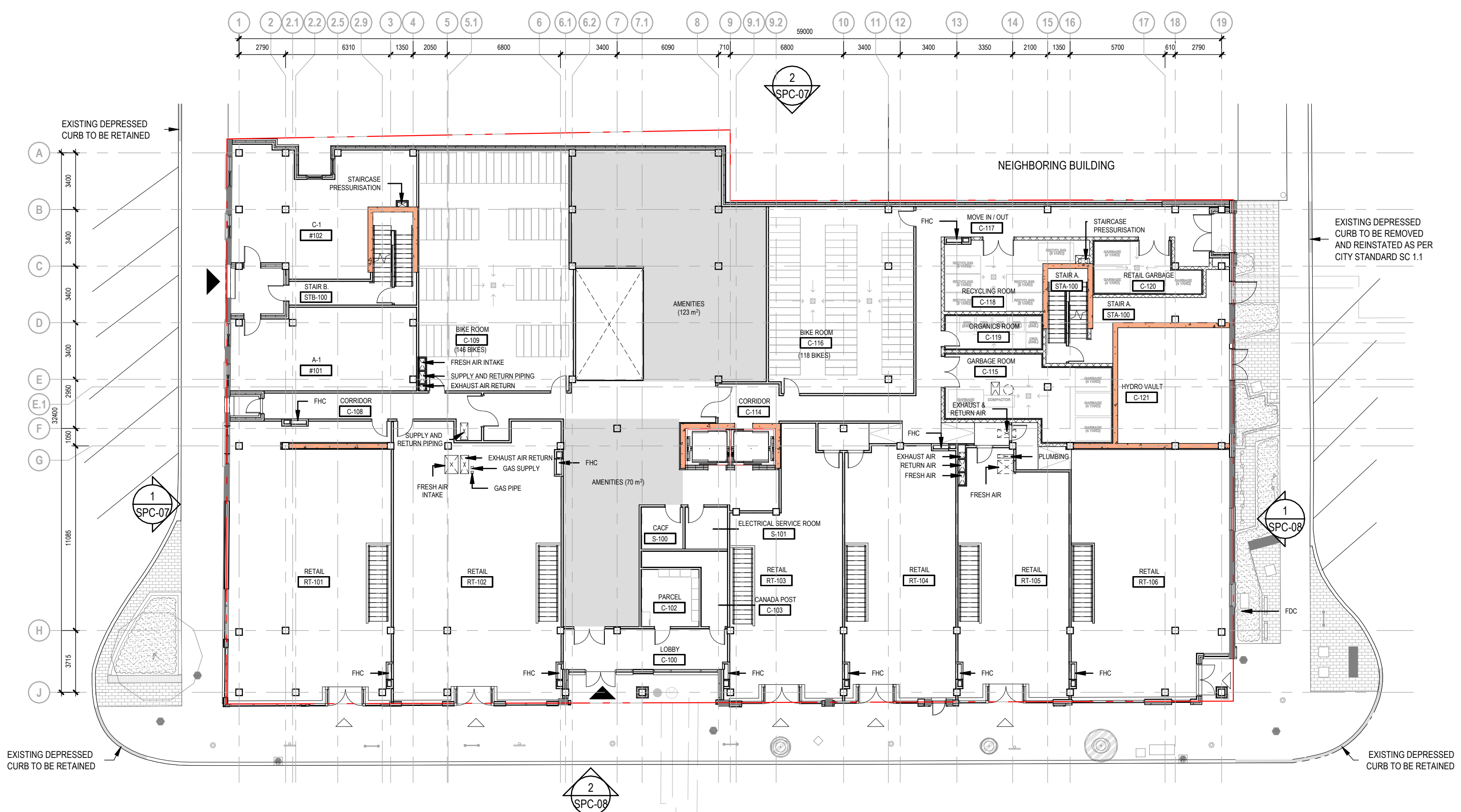
SPC-01

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BIKE PARKING SCHEDULE	
Level	Count
1 - GROUND FLOOR	264

RESIDENTIAL UNITS (GROUND FLOOR)	
UNIT TYPE	TOTAL
2-BD	1
STUDIO	1
Grand total: 2	

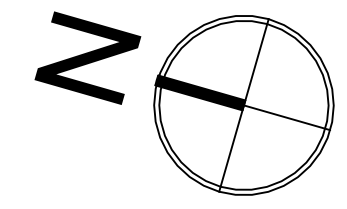


LEGEND

- PROPERTY LINE
- RESIDENTIAL ENTRANCE
- COMMERCIAL ENTRANCE

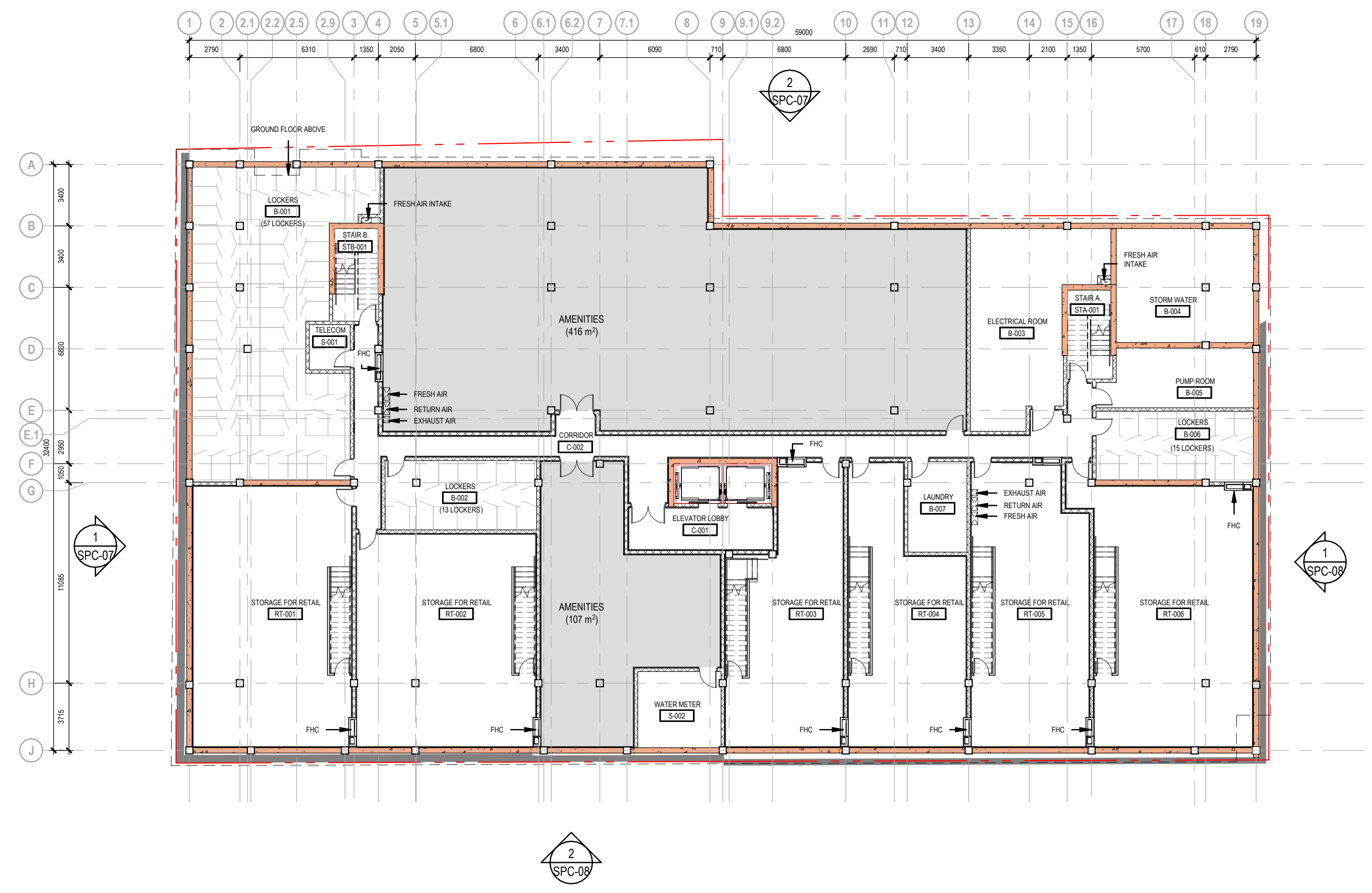
CONSTRUCTION LEGEND

- EXISTING TO BE CONSERVED
- NEW CONSTRUCTION



GROUND FLOOR
1:200

LOCKER SCHEDULE	
Level	Count
0 - BASEMENT	85



BASEMENT
1:200

FILE NUMBERS: D02-02-22-0127
D07-12-22-0188
PLAN NUMBER: 18910

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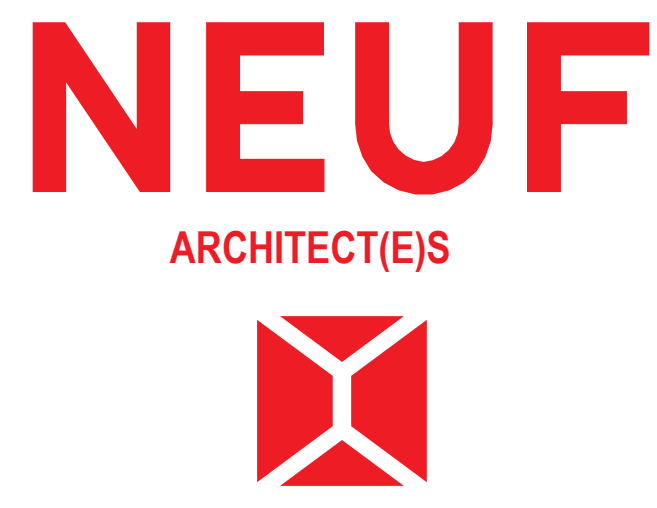
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OUVRAGE - Project
211-231 BANK
EMPLACEMENT Location: 211-231 BANK STREET, OTTAWA
NO PROJET No.: 13369

NO	REVISION	DATE (aaaa mm jj)
1	SPC	2024.09.10
2	SPC	2024.12.18

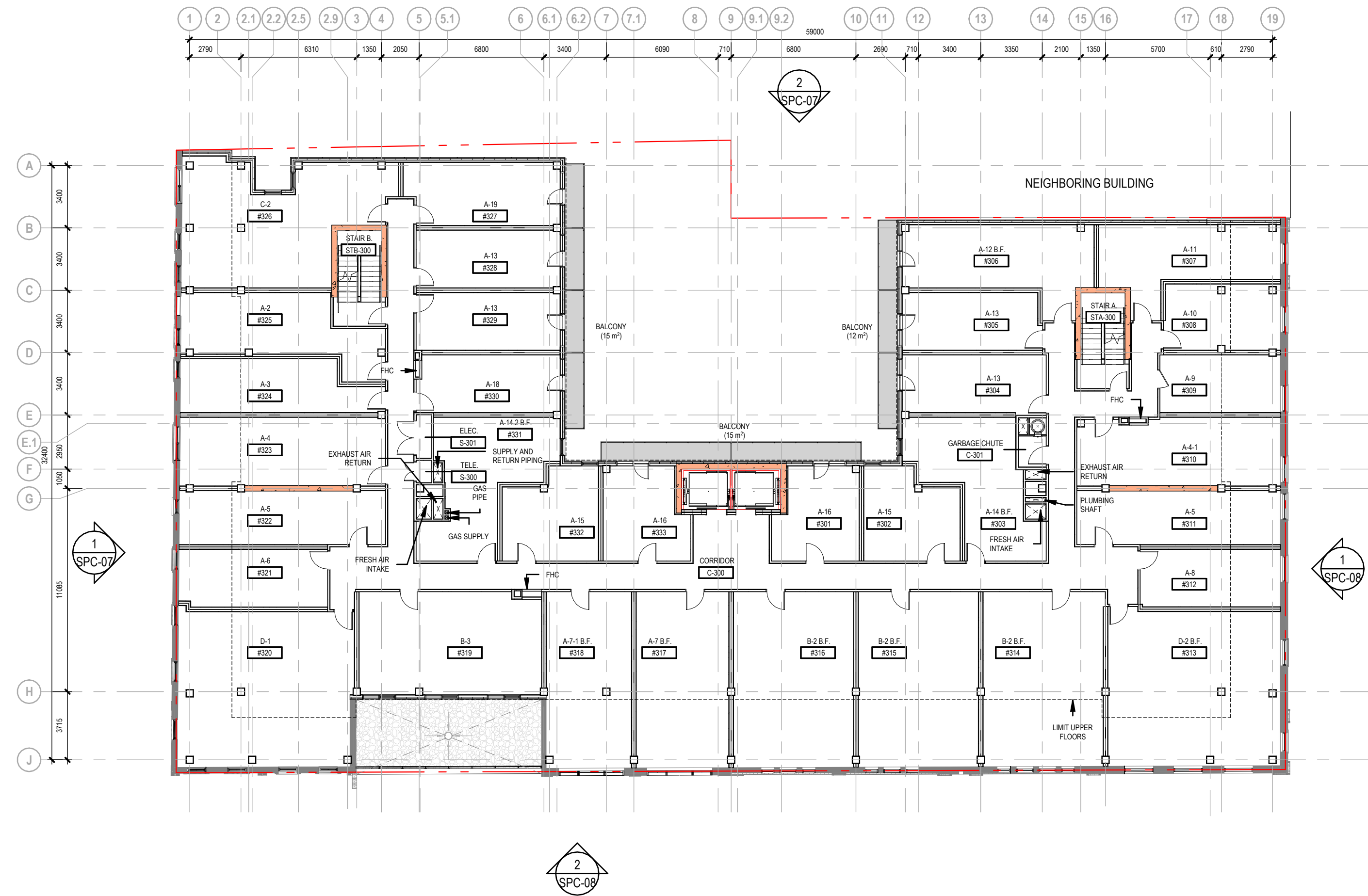
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DATE (aaaa mm jj): 2024.12.18
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VÉRIFIÉ PAR Checked by: M.M., H.G.
ECHELLE Scale: As indicated

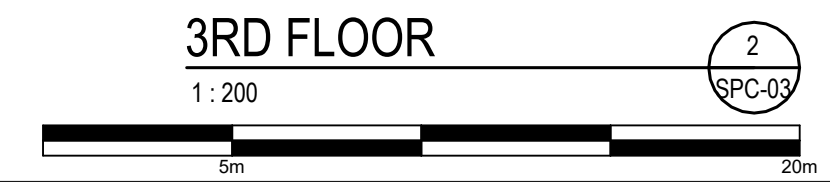
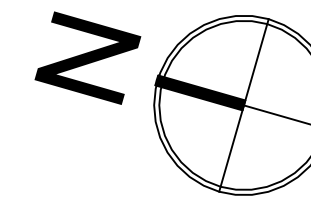
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NO. DESSIN Drawing Number: 18910
REVISION Revision: 2
SPC-02

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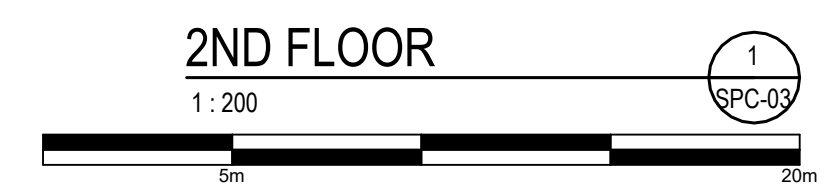
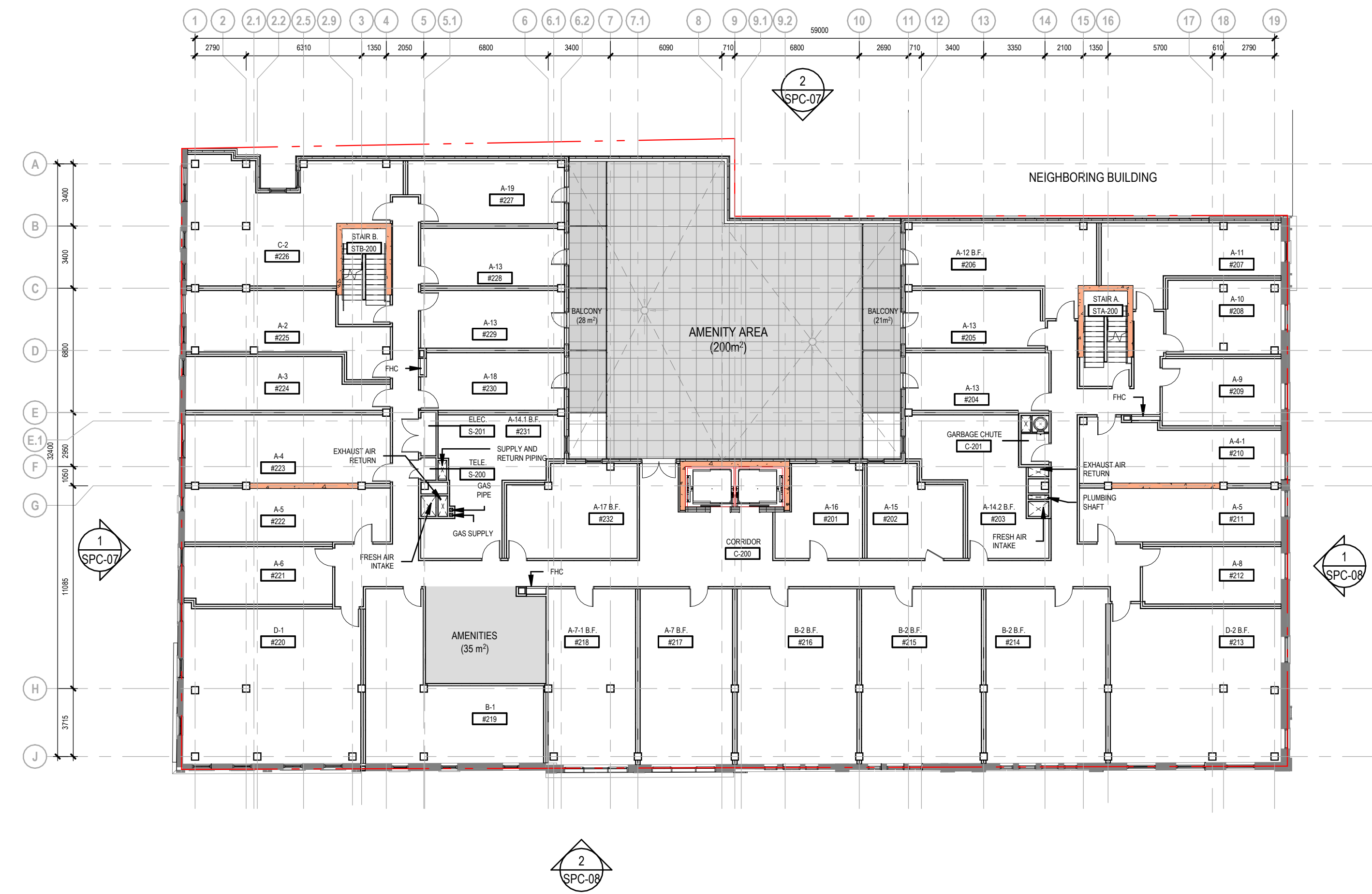
RESIDENTIAL UNITS (3RD FLOOR)	
UNIT TYPE	TOTAL
1-BD	1
1-BD B.F.	3
2-BD	1
3-BD	1
3-BD B.F.	1
STUDIO	21
STUDIO B.F.	5
Grand total:	33



CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION



RESIDENTIAL UNITS (2ND FLOOR)	
UNIT TYPE	TOTAL
1-BD	1
1-BD B.F.	3
2-BD	1
3-BD	1
3-BD B.F.	1
STUDIO	19
STUDIO B.F.	6
Grand total:	32



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188
PLAN NUMBER: 18910

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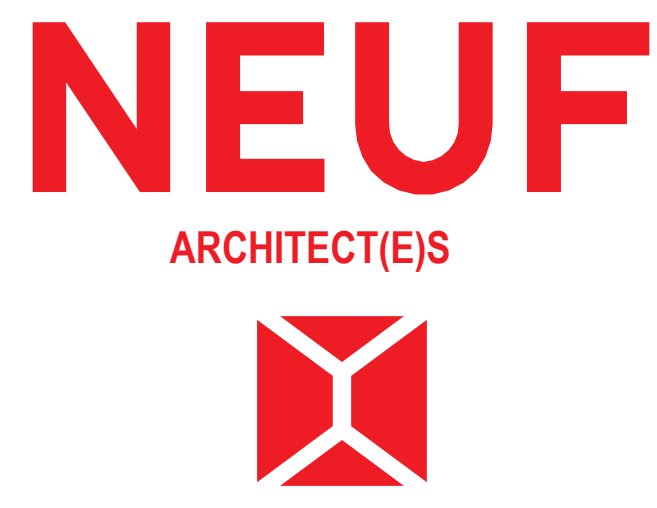
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CLIENT Client



OUVRAGE Project
211-231 BANK

EMPLACEMENT Location NO PROJET No.
 211-231 BANK STREET, OTTAWA 13369

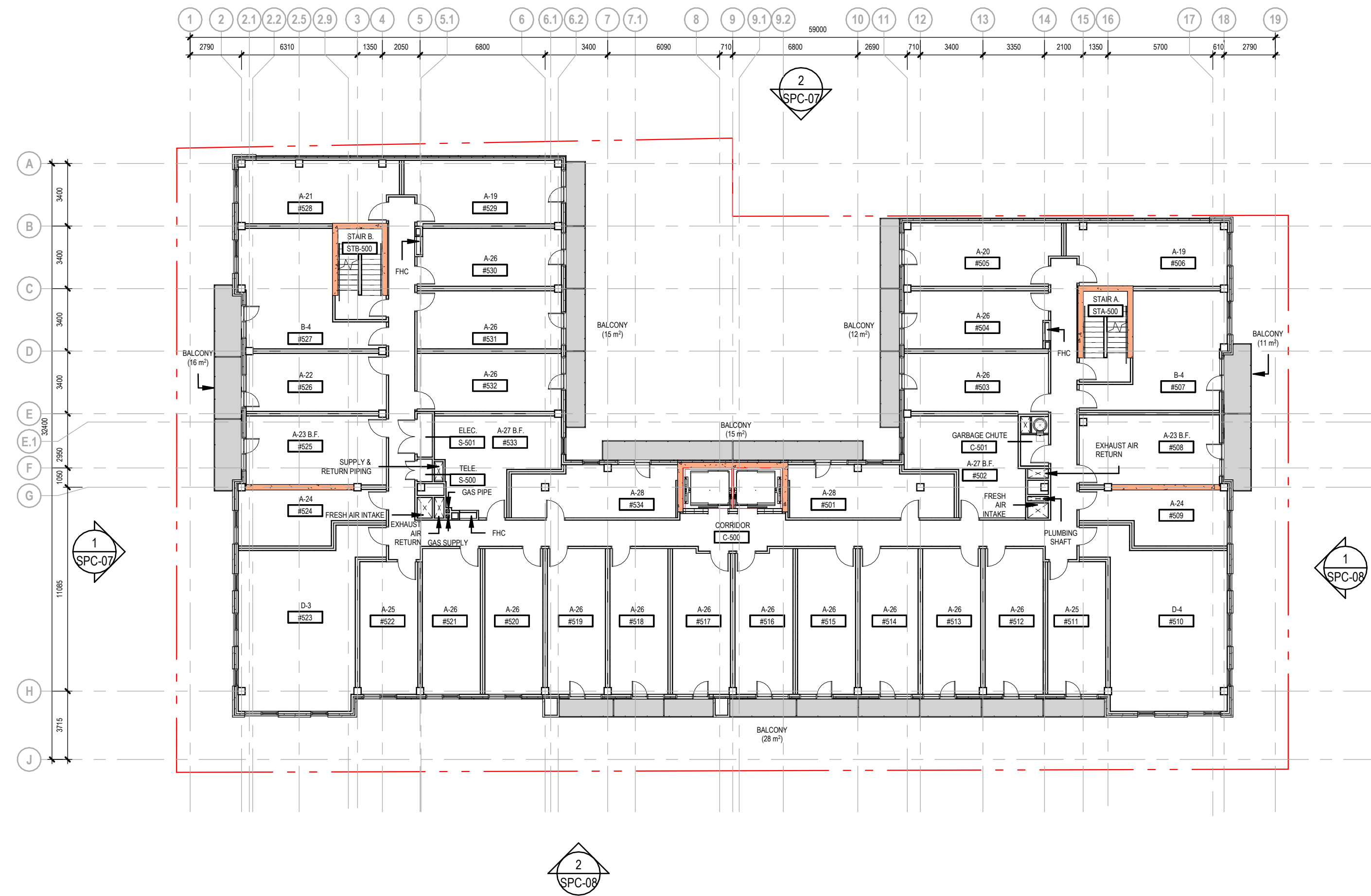
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1	SPC	2024.09.10
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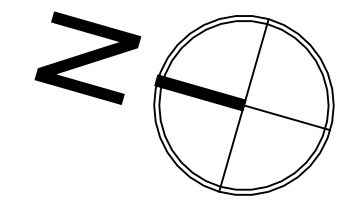
FLOOR PLANS - 2ND @ 3RD FLOORS

REVISION Revision NO. DESSIN Dwg Number
2 SPC-03

RESIDENTIAL UNITS (5TH@7TH FLOORS)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	26
STUDIO B.F.	4
Grand total: 34	

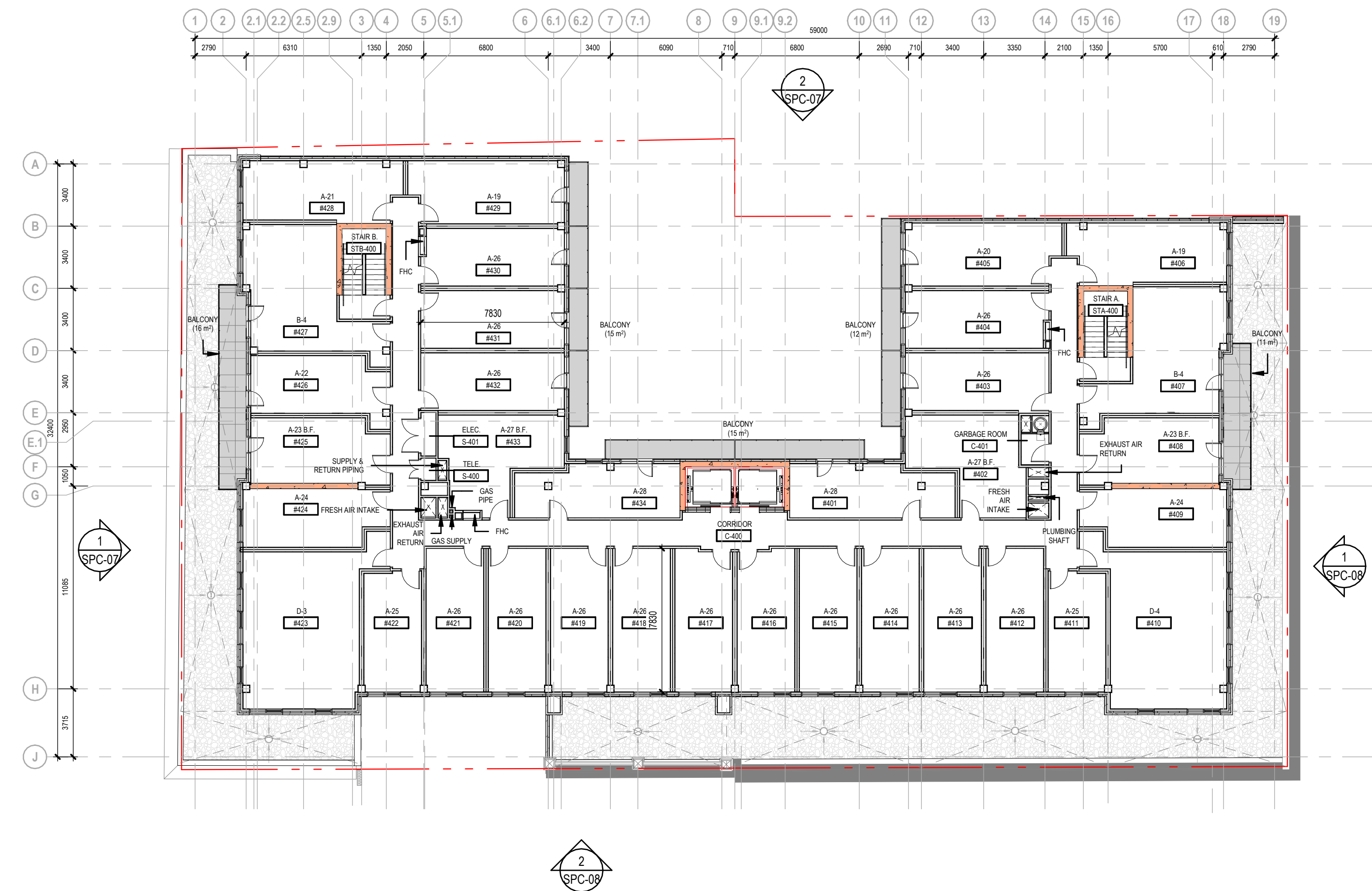


CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION



5TH@7TH FLOORS
1:200

RESIDENTIAL UNITS (4TH FLOOR)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	26
STUDIO B.F.	4
Grand total: 34	



4TH FLOOR
1:200

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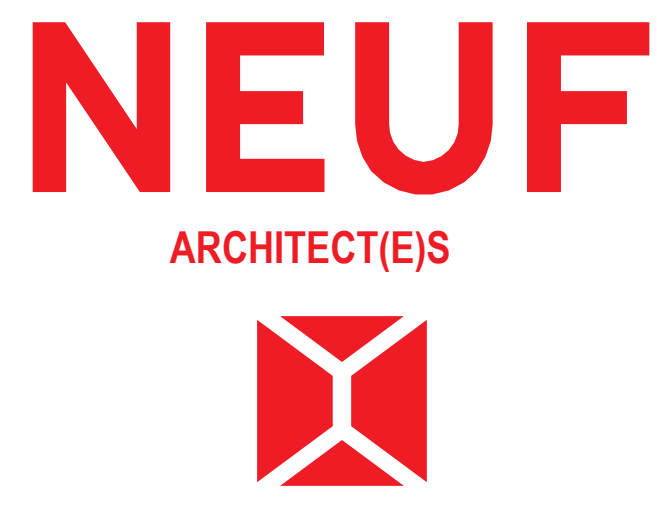
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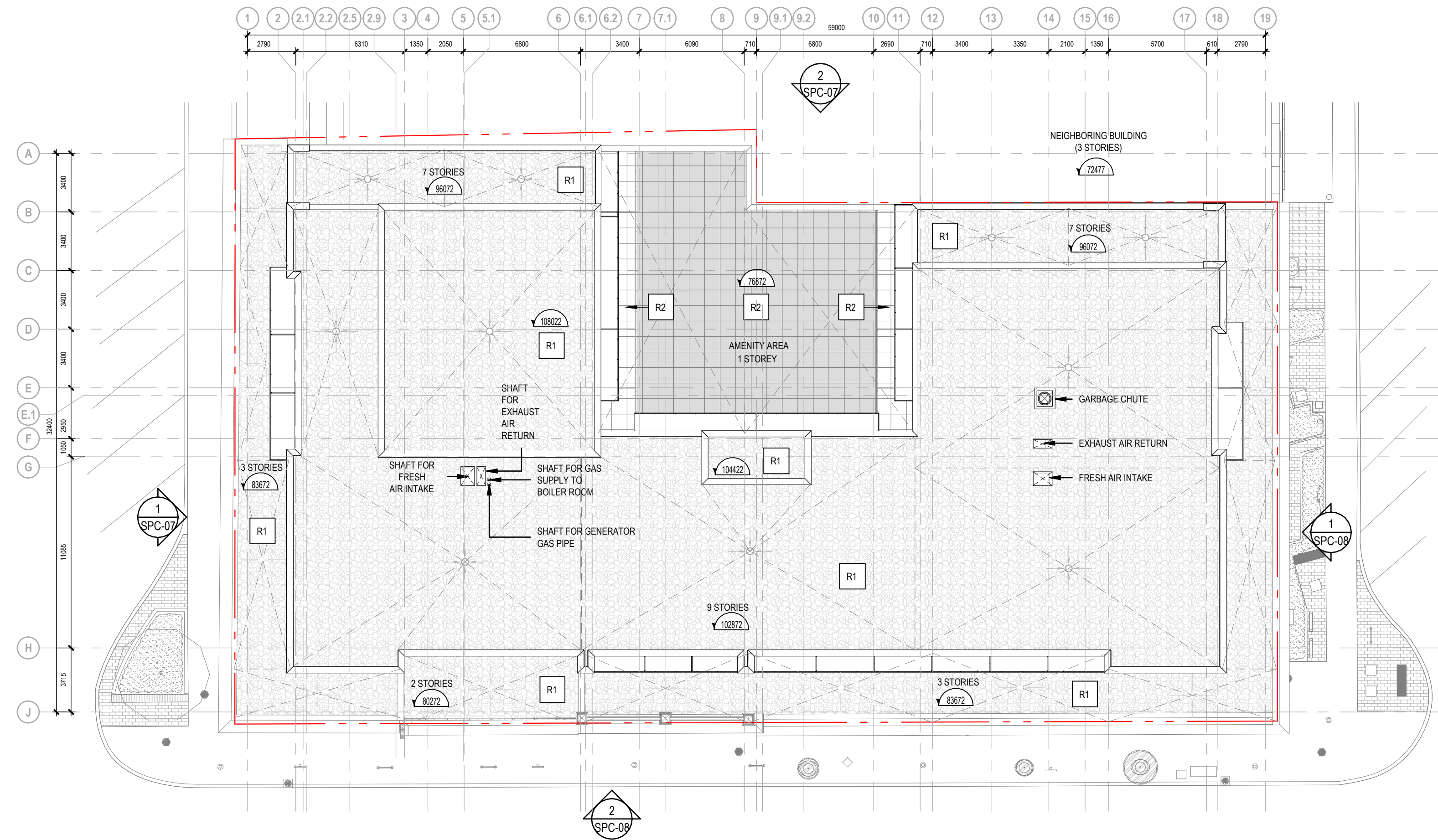
EMPLACEMENT - Location
 211-231 BANK STREET, OTTAWA

NO	REVISION	DATE (aaaa mm jj)
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2	SPC	2024.12.18

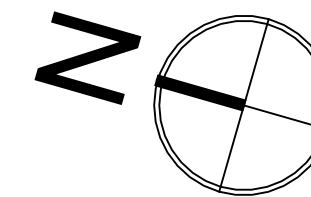
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 S.W.
DATE (aaaa mm jj)
 2024.12.18
TITRE DU DESSIN - Drawing Title
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VERIFIÉ PAR - Checked by
 M.M., H.G.
ECHELLE - Scale
 As
INDICATED

REVISION - Revision
NO. DESSIN - Dwg Number
2 SPC-04

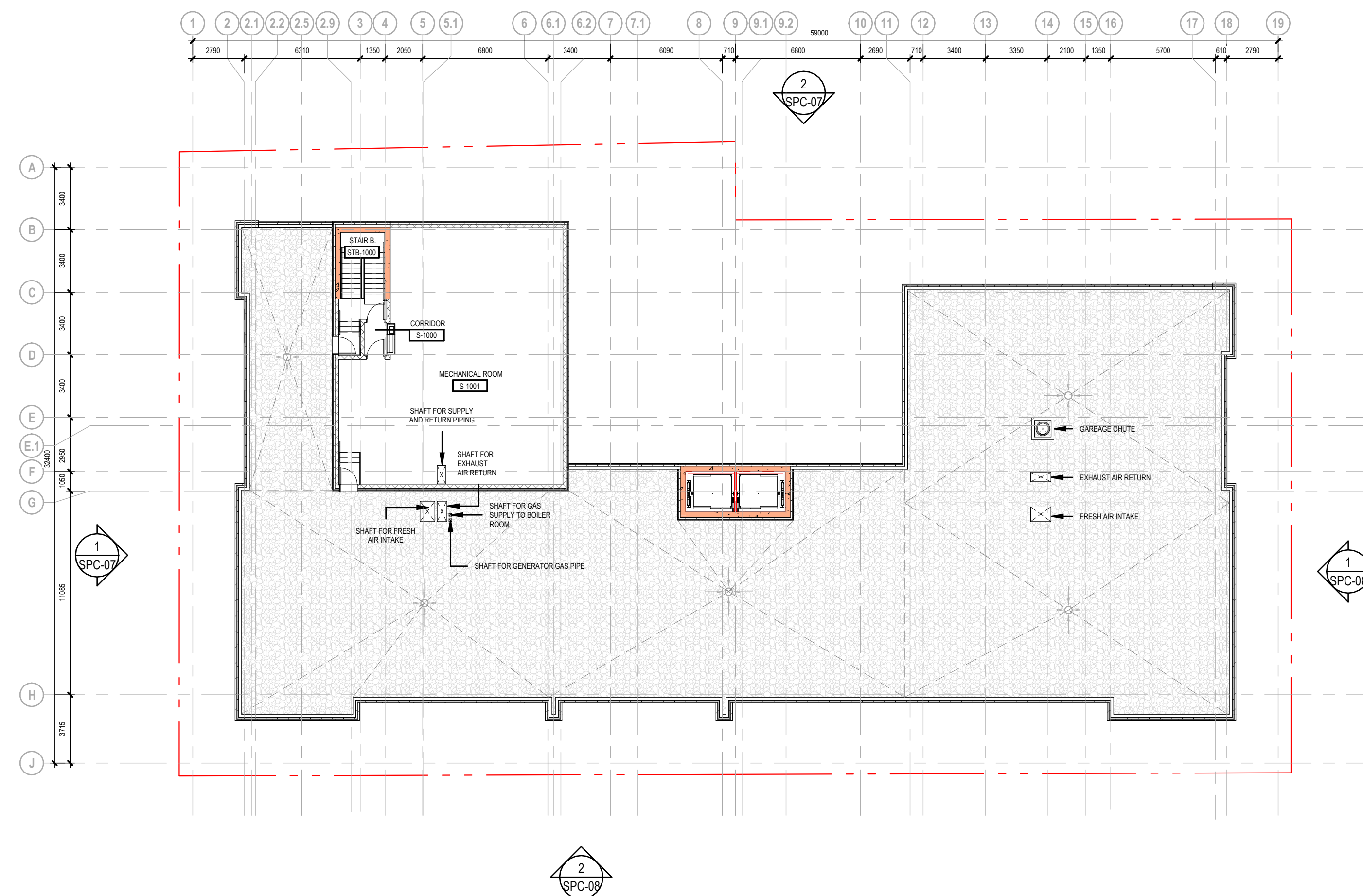
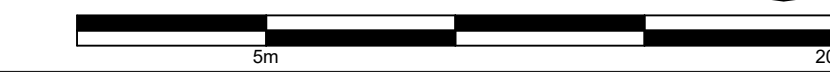


CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION



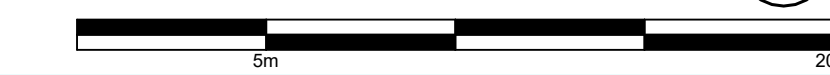
ROOF PLAN

1:200



MECHANICAL FLOOR

1:200



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HERITAGE CONSULTANT

Commonwealth Historic Resource Management

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NEUF architect(e)s

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T 514 947 1117 NEUFarchitectes.com

SCEAU / Seal



NEUF

ARCHITECT(E)S



CLIENT / Client



228 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE / Project

211-231 BANK

EMPLACEMENT / Location

211-231 BANK STREET,
OTTAWA

NO PROJET / No.

13369

NO REVISION DATE (aaaa mm jj)

1 SPC 2024.09.10

2 SPC 2024.12.18

DESSINÉ PAR / Drawn by

S.W.

VERIFIÉ PAR / Checked by

M.M., H.G.

DATE (aaaa mm jj)

2024.12.18

ECHELLE / Scale

As

TITRE DU DESSIN / Drawing Title

indicated

FLOOR PLANS - MECHANICAL FLOOR @ ROOF

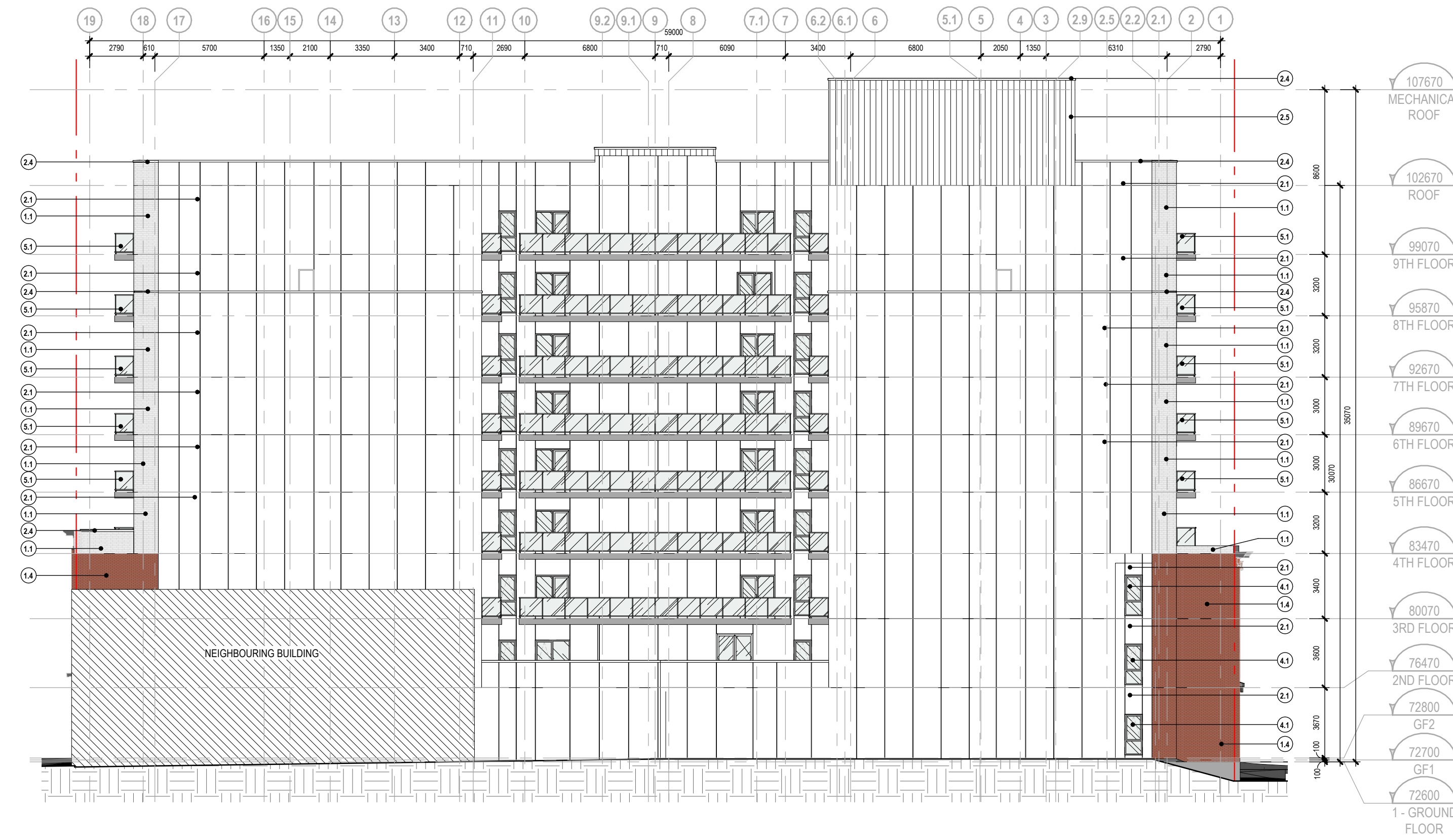
NO. DESSIN / Drawing Number

2 SPC-06

FILE NUMBERS: D02-02-22-0127

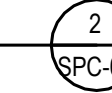
D07-12-22-0188

PLAN NUMBER: 18910



EAST ELEVATION

1 : 200



EXTERIOR MATERIALS LEGEND

MASONRY

- 1.1 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)
- 1.2 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)
- 1.3 CONSERVED EXISTING MASONRY
- 1.4 RECOVERATED MASONRY FROM DEMOLISHED WALLS
- 1.5 STONE

METAL CLADDING

- 2.1 PRE-PAINTED ALUMINIUM PANELS
FINISH : OFF-WHITE (COLOR CODE TBC)
- 2.2 PRE-PAINTED ALUMINIUM PANEL
FINISH : CHARCOAL (COLOR CODE TBC)
- 2.3 PRE-PAINTED ALUMINIUM PANEL
FINISH : LIGHT GREY (COLOR CODE TBC)
- 2.4 PRE-PAINTED METAL FLASHING
FINISH : OFF-WHITE (COLOR CODE TBC)
- 2.5 PRE-PAINTED STEEL PANEL
FINISH : OFF-WHITE (COLOR CODE TBC)

WINDOWS, DOORS AND CURTAIN WALLS

- 4.1 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)
- 4.2 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
FINISH : CHARCOAL (COLOR CODE TBC)
- 4.3 WINDOWS : PRE-PAINTED ALUMINIUM, CLEAR TEMPERED GLASS & METAL PANEL
FINISH : OFF-WHITE (COLOR CODE TBC)
- 4.4 DOOR : PAINTED STEEL
FINISH : OFF-WHITE (COLOR CODE TBC)

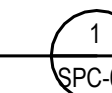
RAILINGS AND SCREENS

- 5.1 ANODIZED ALUMINIUM FRAME & NATURAL CLEAR GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)
- 5.2 ANODIZED ALUMINIUM FRAME & PATTERNED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)



NORTH ELEVATION

1 : 200



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188

PLAN NUMBER: 18910

NOTES GÉNÉRALES - General Notes

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STRUCTURE - Structures
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 333 Preston St. Suite 110, Ottawa, ON K1S 5M4
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LANDSCAPE ARCHITECT - Architecture de Paysage
Fotenn Planning + Design
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 T 613 730 5709

CIVIL - Civil
EXP
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 T 613 688 1659

MECHANICAL/ELECTRICAL - Mécanique/Électrique
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 SCEAU / Seal



NEUF
 ARCHITECT(E)S



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 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE - Project
211-231 BANK

EMPLACEMENT - Location NO PROJET No.
 211-231 BANK STREET, 13369
 OTTAWA

NO	RÉVISION	DATE (aaaa mm jj)
1	SPC	2024.10.03
2	SPC	2024.12.18

DESSINÉ PAR - Drawn by S.W.
 DATE (aaaa mm jj) 2024.12.18
 TITRE DU DESSIN - Drawing Title indicated

VERIFIÉ PAR - Checked by M.M., H.G.
 ÉCHELLE - Scale As indicated

NORTH & EAST ELEVATIONS

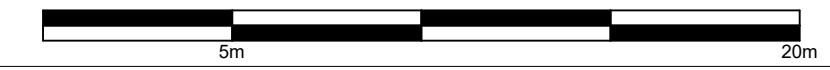
REVISION - Révision NO. DESSIN - Draw Number

2 **SPC-07**



WEST ELEVATION

1:200



EXTERIOR MATERIALS LEGEND	
MASONRY	
1.1	MASONRY FINISH : OFF-WHITE (COLOR CODE TBC)
1.2	MASONRY FINISH : OFF-WHITE (COLOR CODE TBC)
1.3	CONSERVED EXISTING MASONRY
1.4	RECUPERATED MASONRY FROM DEMOLISHED WALLS
1.5	STONE
METAL CLADDING	
2.1	PRE-PAINTED ALUMINIUM PANELS FINISH : OFF-WHITE (COLOR CODE TBC)
2.2	PRE-PAINTED ALUMINIUM PANEL FINISH : CHARCOAL (COLOR CODE TBC)
2.3	PRE-PAINTED ALUMINIUM PANEL FINISH : LIGHT GREY (COLOR CODE TBC)
2.4	PRE-PAINTED METAL FLASHING FINISH : OFF-WHITE (COLOR CODE TBC)
2.5	PRE-PAINTED STEEL PANEL FINISH : OFF-WHITE (COLOR CODE TBC)
WINDOWS, DOORS AND CURTAIN WALLS	
4.1	WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS FINISH : OFF-WHITE (COLOR CODE TBC)
4.2	WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS FINISH : CHARCOAL (COLOR CODE TBC)
4.3	WINDOWS : PRE-PAINTED ALUMINIUM, CLEAR TEMPERED GLASS & METAL PANEL FINISH : OFF-WHITE (COLOR CODE TBC)
4.4	DOOR : PAINTED STEEL FINISH : OFF-WHITE (COLOR CODE TBC)
RAILINGS AND SCREENS	
5.1	ANODIZED ALUMINIUM FRAME & NATURAL CLEAR GLASS FINISH : OFF-WHITE (COLOR CODE TBC)
5.2	ANODIZED ALUMINIUM FRAME & PATTERNED GLASS FINISH : OFF-WHITE (COLOR CODE TBC)

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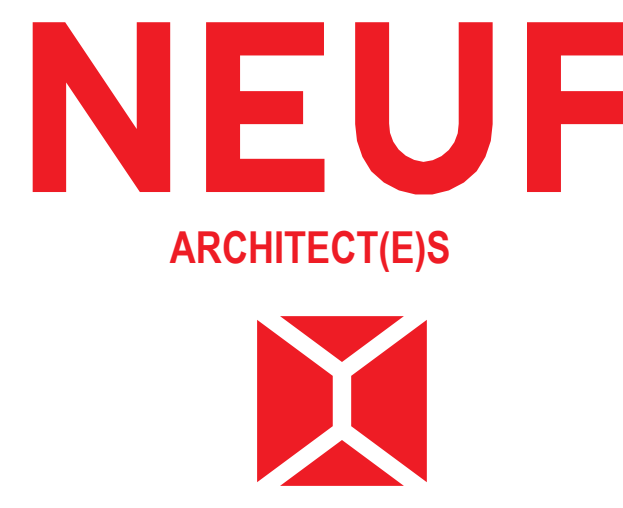
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OUVRAGE / Project
211-231 BANK

EMPLACEMENT / Location
 211-231 BANK STREET,
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NO PROJET No.
 13369

NO	RÉVISION	DATE (aaaa mm jj)
1	SPC	2024.10.03
2	SPC	2024.12.18

DESSINÉ PAR / Drawn by
 S.W.

VERIFIÉ PAR / Checked by
 M.M., H.G.

DATE (aaaa mm jj)
 2024.12.18

ECHELLE / Scale
 As indicated

SOUTH & WEST ELEVATIONS

REVISION / Revision
2

NO. DESSIN / Dwg Number
SPC-08



SOUTH ELEVATION

1:200



FILE NUMBERS: D02-02-22-0127
 D07-12-22-0188

PLAN NUMBER: 18910