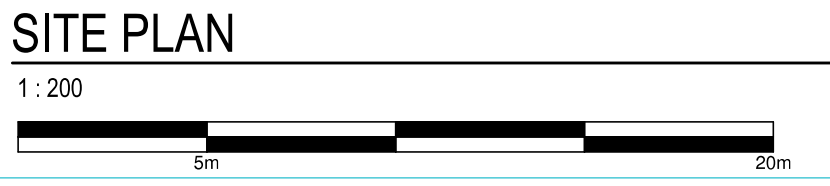
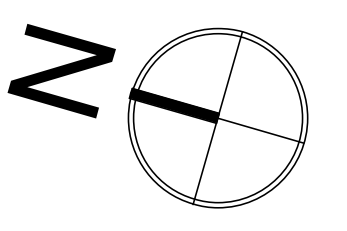
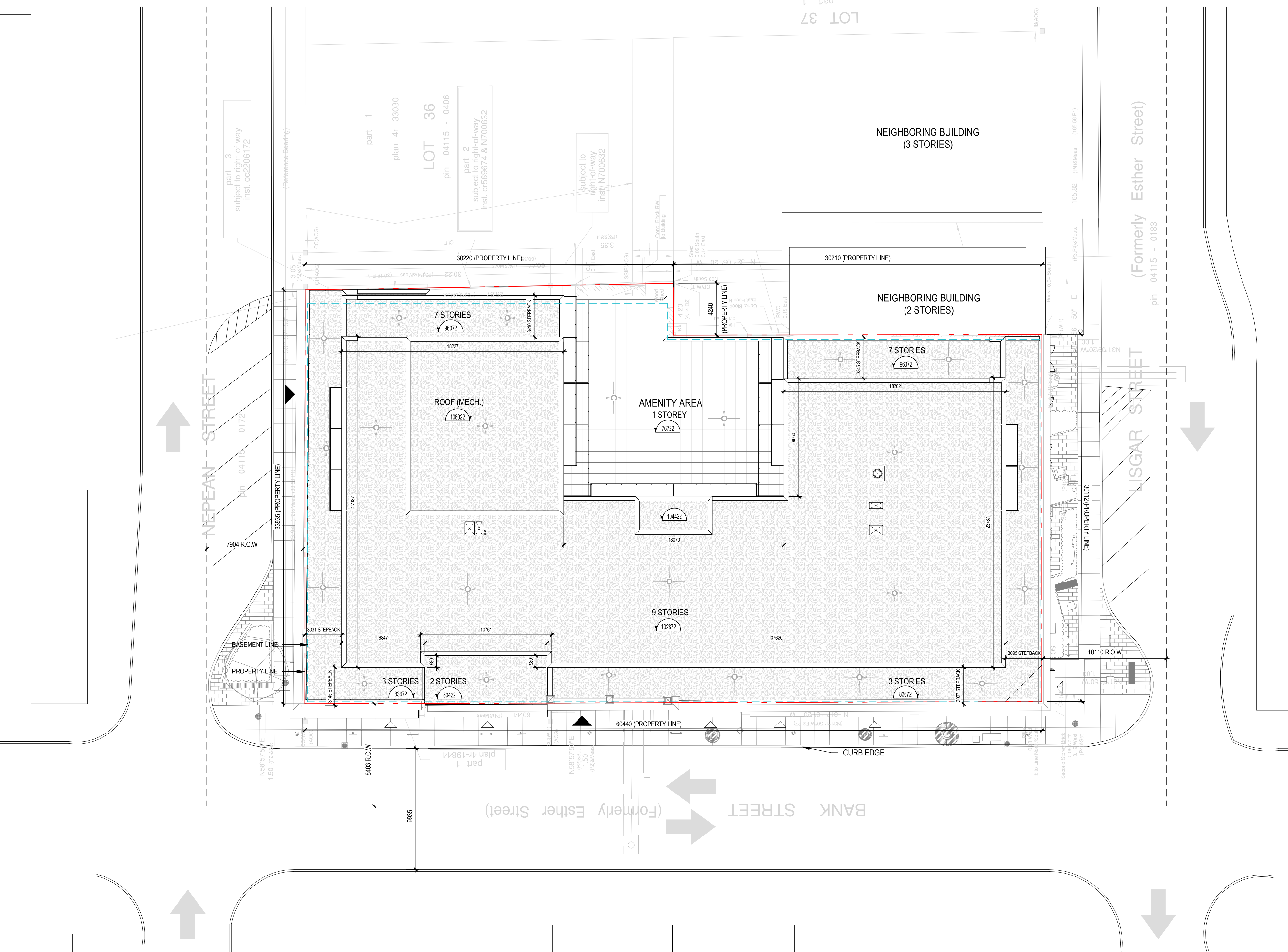


TM H(19) Zoning	Required	Provided
Front Yard	Bank Street	
Minimum Lot Area	No minimum	1943 m ²
Minimum Lot Width	No minimum	60.44 m
Minimum Building Height (m)	6.7 m within 20 m of front lot line	
Maximum Building Height (m)	19 meters as per height restriction in zoning	30 m
Minimum Front Yard Setback (Bank, west)	No minimum	0 m (existing condition)
	Above 15 m, min. front yard setback of 2 meters	3 m setback above 15 m
	2 meters from hydro poles; 5 meters from high-voltage power line	N/A
Maximum Front Yard Setback (Bank, west)	2 meters; does not apply to corner sight triangle; areas used for balcony above 2nd floor.	0m (existing condition)
Active Entrances	1 per ground floor occupancy	8
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	3 m for height up to 15 meters	0 m, up to 3rd floor
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	Above 15 m: Ground floor setback plus 2 meters (does not apply to corner site triangle), balconies not included	1.2 m past 3rd floor
Minimum Rear Yard Setback (Back Alley,east)	7.5 meters (abutting R-zone)	0m (existing condition)
Minimum Interior Yard Setback	3 m (mixed-use building abutting R zone) does not apply, has no interior side yard	N/A
Amenity Space Requirements	6m ² per unit Min. 50% communal, aggregated into areas of 54 m ² and where more than one aggregated area is provided, at least one must be minimum 54 m ² . 263 units * 6 m ² = 1578 m ²	Provided: Balconies: 598 m ² Communal area(GF/basement): 767 m ² Communal area(2nd floor): 235 m ² Total amenity area = 1 600 m ²
Landspace Area	Abutting a residential zone = Min. 3 m; reduced to 1 m where 1.4 m high opaque fence is provided In all other cases = No minimum	N/A
Parking Requirements	Residents: 0.5 spaces/unit after the first 12 units for units above the 4th floor = 125 Visitor: 0.1 spaces/unit after the first 12 units= 25 Commercial: Not required if GFA is less than 200m ² per use	Provided: 0
Aisle and Driveway Width	3m for parking lots with less than 20 parking spaces; 6m for parking lots with more than 20 spaces	N/A
Bicycle Parking	0.5/unit x 263 units=132	Provided: 264

NOTES	CONSTRUCTION LEGEND	ZONING MECHANISM	REGULATION	PROPOSED	AREA SUMMARY	RESIDENTIAL UNITS SUMMARY	LEGEND
SURVEY: PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM: • LOT 35 (SOUTH NEPEAN STREET) AND PART OF LOT 3 (EAST BANK STREET) AND PART OF LOT 35 (NORTH LISGAR STREET), REGISTERED PLAN 2996 CITY OF OTTAWA, DATED JULY 29TH, 2022. • SURVEYOR: ANNIS O'SULLIVAN, VOLLEBEKK LTD. (14 CONOURSE GATE, SUITE 500, NEPEAN, ON, K2E 7S6)	 EXISTING TO BE CONSERVED NEW CONSTRUCTION	Residential Waste (Solid Waste Collection Design Guidelines for Multi-Unit Residential Development ; 4.2)	Garbage (Compacted) = 0.053y ³ /unit Require 15y ³ Recycling (GMP) = 0.018y ³ /unit Require 6y ³ Recycling (Fibres) = 0.038y ³ /unit Require 12y ³ Organics = 240L containers/ 50 units Require 6 containers	Garbage (Compacted) = (0.053y ³ /263 units) = 14y ³ Total = 5x 3y ³ containers Recycling (GMP) = (0.018y ³ /263 units) = 5y ³ Total = 2x 3y ³ containers Recycling (Fibres) = (0.038y ³ /263 units) = 10y ³ Total = 4x 3y ³ containers Organics = 263 units : 50 = 6 Total = 6 containers	LOT AREA: 1943 m ² LOT COVERAGE: 98% GFA: 1895 m ²	GROUND FLOOR: 2 UNITS 2ND FLOOR: 32 UNITS 3RD FLOOR: 32 UNITS 4TH TO 7TH FLOOR: (34 UNITS x 4) = 136 UNITS 8TH TO 9TH FLOOR: (30 UNITS x 2) = 60 UNITS TOTAL: 263 UNITS	 PROPERTY LINE PROJECTION LINE BASEMENT RESIDENTIAL ENTRANCE COMMERCIAL ENTRANCE



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188
PLAN NUMBER: 18910

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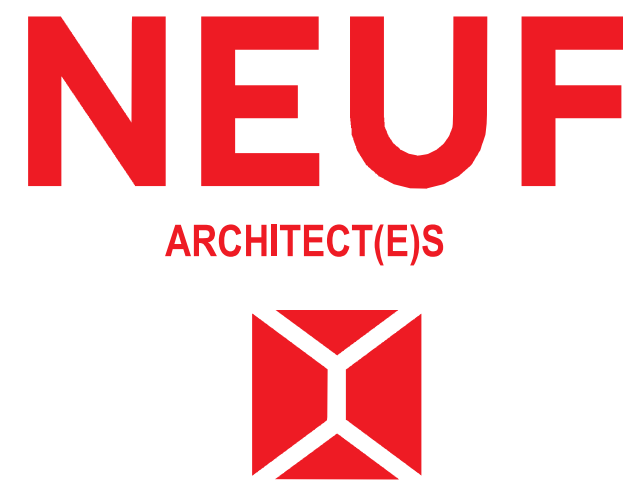
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OUVRAGE Project
211-231 BANK

EMPLACEMENT Location NO. PROJET No.
 211-231 BANK STREET, OTTAWA 13369

NO	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

DESSINÉ PAR Drawn by S.W.
 DATE (aaaa.mm.jj) 2024.09.10
 TITRE DU DESSIN Drawing Title
 VÉRIFIÉ PAR Checked by M.M., H.G.
 ECHELLE Scale As
 INDICÉ Indicated

SITE PLAN

REVISION Revision NO. DESSIN Drawing Number
1 SPC-01