

NEUF

ARCHITECT(E)S

SPC - LIST OF DRAWINGS	
SHEET NUMBER	SHEET NAME
SPC-00	COVER PAGE
SPC-01	SITE PLAN
SPC-02	FLOOR PLANS - BASEMENT @ GROUND FLOOR
SPC-03	FLOOR PLANS - 2ND @ 3RD FLOORS
SPC-04	FLOOR PLANS - 4TH @ 7TH FLOORS
SPC-05	FLOOR PLANS - 8TH @ 9TH FLOORS
SPC-06	FLOOR PLANS - MECHANICAL FLOOR @ ROOF
SPC-07	NORTH & EAST ELEVATIONS
SPC-08	SOUTH & WEST ELEVATIONS



211-231 BANK

211-231 BANK STREET, OTTAWA
CLIENT : SMART LIVING PROPERTIES



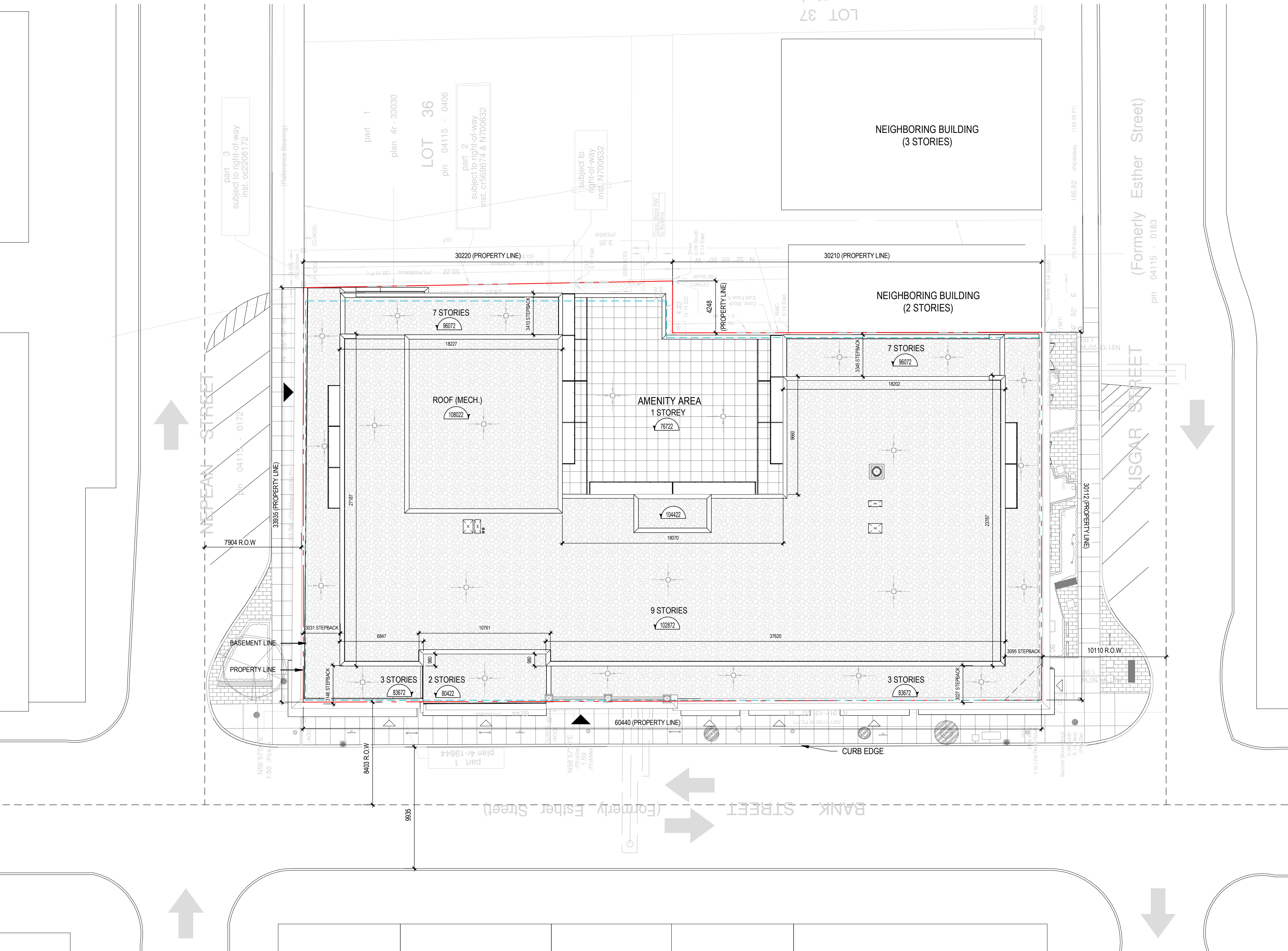
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ARCHITECT(E)S

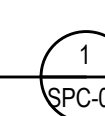
- SITE PLAN CONTROL
- COORDINATION Coordination
- PERMIS Permit
- SOUSSION Tender
- RÉVISION GÉNÉRALE General revision
- CONSTRUCTION Construction
- FIN DES TRAVAUX Record Drawings

TM H(19) Zoning	Required	Provided
Front Yard	Bank Street	
Minimum Lot Area	No minimum	1943 m ²
Minimum Lot Width	No minimum	60.44 m
Minimum Building Height (m)	6.7 m within 20 m of front lot line	
Maximum Building Height (m)	19 meters as per height restriction in zoning	30 m
Minimum Front Yard Setback (Bank, west)	No minimum	0 m (existing condition)
	Above 15 m, min. front yard setback of 2 meters 2 meters from hydro poles; 5 meters from high-voltage power line	3 m setback above 15 m N/A
Maximum Front Yard Setback (Bank, west)	2 meters; does not apply to corner sight triangle; areas used for balcony above 2nd floor.	0m (existing condition)
Active Entrances	1 per ground floor occupancy	8
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	3 m for height up to 15 meters	0 m, up to 3rd floor
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	Above 15 m: Ground floor setback plus 2 meters (does not apply to corner site triangle), balconies not included	1.2 m past 3rd floor
Minimum Rear Yard Setback (Back Alley,east)	7.5 meters (abutting R-zone)	0m (existing condition)
Minimum Interior Yard Setback	3 m (mixed-use building abutting R Zone) does not apply, has no interior side yard	N/A
Amenity Space Requirements	6m ² per unit Min. 50% communal, aggregated into areas of 54 m ² and where more than one aggregated area is provided, at least one must be minimum 54 m ² . 263 units * 6 m ² = 1578 m ²	Provided: Balconies: 598 m ² Communal area(GF/basement): 767 m ² Communal area(2nd floor): 235 m ² Total amenity area = 1.600 m ²
Landscape Area	Abutting a residential zone = Min. 3 m; reduced to 1 m where 1.4 m high opaque fence is provided In all other cases = No minimum	N/A
Parking Requirements	Residents: 0.5 spaces/unit after the first 12 units for units above the 4th floor = 125 Visitor: 0.1 spaces/unit after the first 12 units = 25 Commercial: Not required if GFA is less than 200m ² per use	Provided: 0
Aisle and Driveway Width	3m for parking lots with less than 20 parking spaces; 6m for parking lots with more than 20 spaces	N/A
Bicycle Parking	0.5/unit x 263 units=132	Provided: 264

NOTES	CONSTRUCTION LEGEND	ZONING MECHANISM	REGULATION	PROPOSED	AREA SUMMARY	RESIDENTIAL UNITS SUMMARY	LEGEND
SURVEY: PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM: • LOT 35 (SOUTH NEPEAN STREET) AND PART OF LOT 3 (EAST BANK STREET) AND PART OF LOT 35 (NORTH LISGAR STREET), REGISTERED PLAN 2996 CITY OF OTTAWA, DATED JULY 29TH, 2022. • SURVEYOR: ANNIS O'SULLIVAN, VOLLEBEKK LTD. (14 CONCOURSE GATE, SUITE 500, NEPEAN, ON, K2E 7S6)	 EXISTING TO BE CONSERVED NEW CONSTRUCTION	Residential Waste (Solid Waste Collection Design Guidelines for Multi-Unit Residential Development ; 4.2)	Garbage (Compacted) = 0.053y ³ /unit Require 15y ³ Recycling (GMP) = 0.016y ³ /unit Require 6y ³ Recycling (Fibres) = 0.038y ³ /unit Require 12y ³ Organics = 240L containers/ 50 units Require 6 containers	Garbage (Compacted) = (0.053y ³ /263 units) = 14y ³ Total = 5x 3y ³ containers Recycling (GMP) = (0.016y ³ /263 units) = 5y ³ Total = 2x 3y ³ containers Recycling (Fibres) = (0.038y ³ /263 units) = 10y ³ Total = 4x 3y ³ containers Organics = 263 units : 50 = 6 Total = 6 containers	LOT AREA: 1943 m ² LOT COVERAGE: 98% GFA: 1895 m ²	GROUND FLOOR: 2 UNITS 2ND FLOOR: 32 UNITS 3RD FLOOR: 33 UNITS 4TH TO 7TH FLOOR: (34 UNITS x 4) = 136 UNITS 8TH TO 9TH FLOOR: (30 UNITS x 2) = 60 UNITS TOTAL: 263 UNITS	 PROPERTY LINE PROJECTION LINE BASEMENT RESIDENTIAL ENTRANCE COMMERCIAL ENTRANCE



SITE PLAN
1 : 200



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188
PLAN NUMBER: 18910

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LANDSCAPE ARCHITECT Architecture de Paysage
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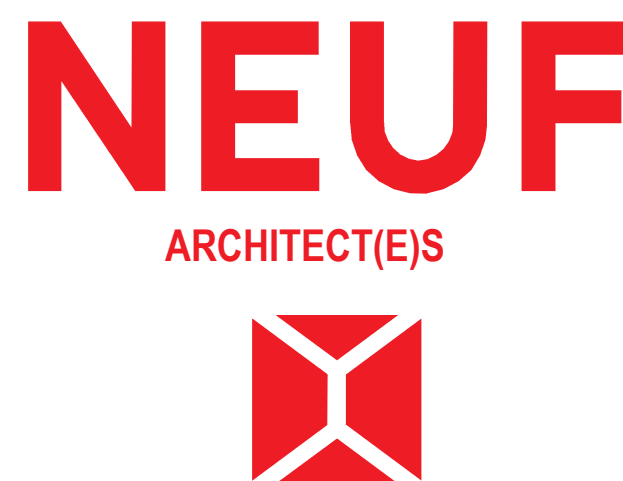
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SCEAU / Seal



CLIENT Client

SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE Project
211-231 BANK

EMPLACEMENT Location NO. PROJET No.
 211-231 BANK STREET, OTTAWA 13369

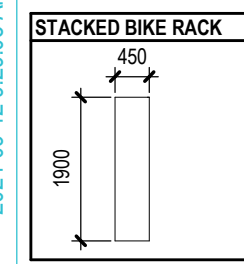
NO REVISION DATE (aaaa.mm.jj)
 1 SPC 2024.09.10

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 S.W. M.M., H.G.
 DATE (aaaa.mm.jj) 2024.09.10 ECHELLE Scale As
 TITRE DU DESSIN Drawing Title indicated

SITE PLAN

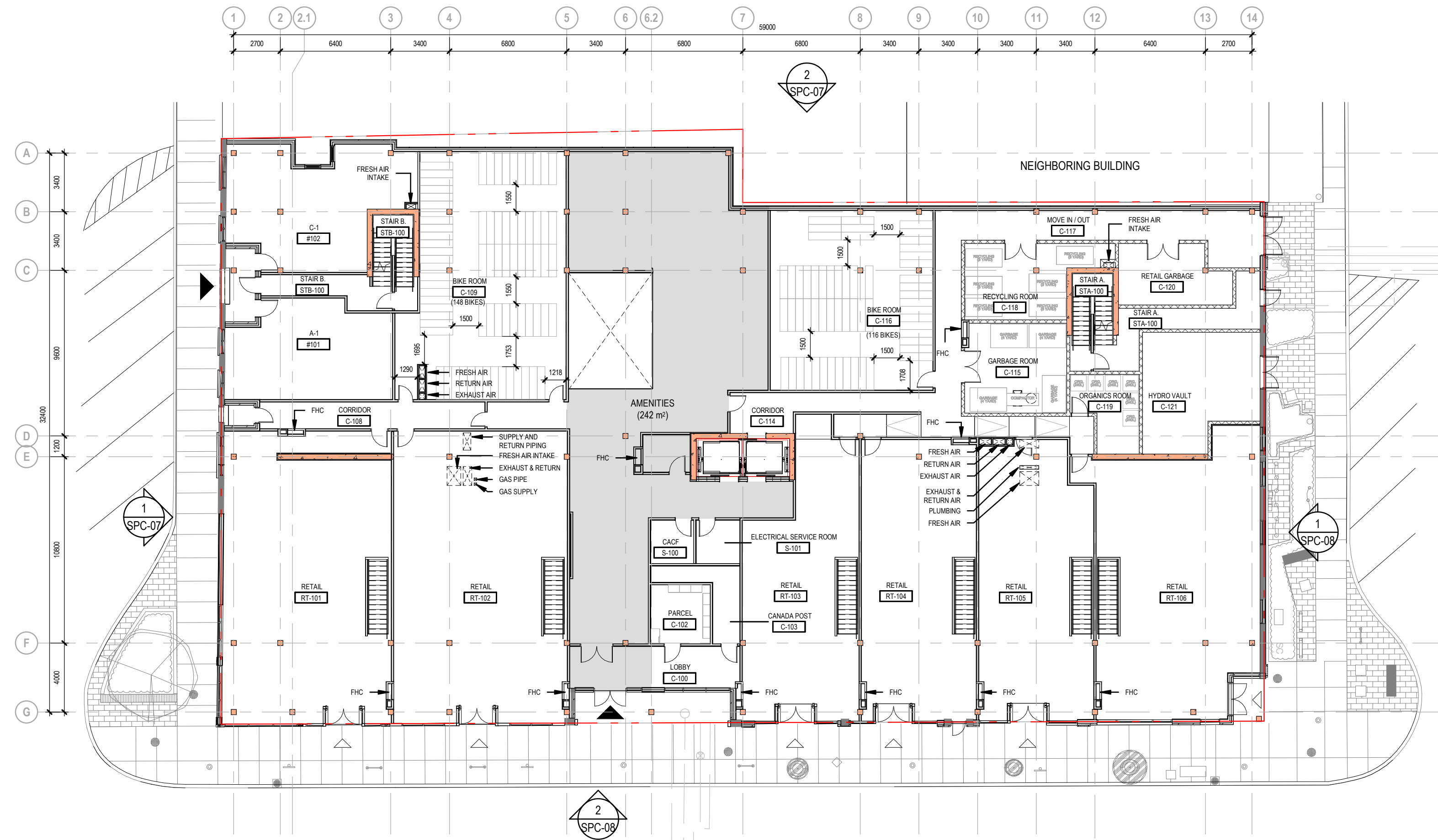
REVISION Revision NO. DESSIN Dwg Number

1 SPC-01



Level	Count
GROUND FLOOR	264

RESIDENTIAL UNITS (GROUND FLOOR)	
UNIT TYPE	TOTAL
2-BD	1
STUDIO	1
Grand total:	2



LEGEND		CONSTRUCTION LEGEND	
	PROPERTY LINE		EXISTING TO BE CONSERVED
	RESIDENTIAL ENTRANCE		NEW CONSTRUCTION
	COMMERCIAL ENTRANCE		

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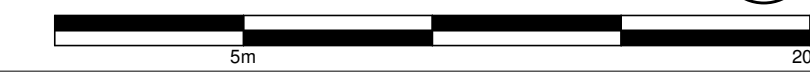
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SCEAU / Seal



GROUND FLOOR

1:200

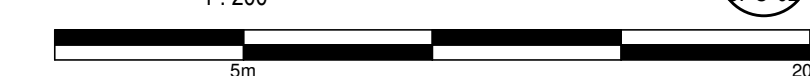


LOCKER SCHEDULE	
Level	Count
BASEMENT	85



BASEMENT

1:200



FILE NUMBERS: D02-02-22-0127
 D07-12-22-0188

PLAN NUMBER: 18910

CLIENT / Client



211-231 BANK

EMPLACEMENT / Location: 211-231 BANK STREET, OTTAWA
 NO PROJET / No.: 13369

NO	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

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 DATE (aaaa.mm.jj): 2024.09.10
 TITRE DU DESSIN / Drawing Title: FLOOR PLANS - BASEMENT @ GROUND FLOOR

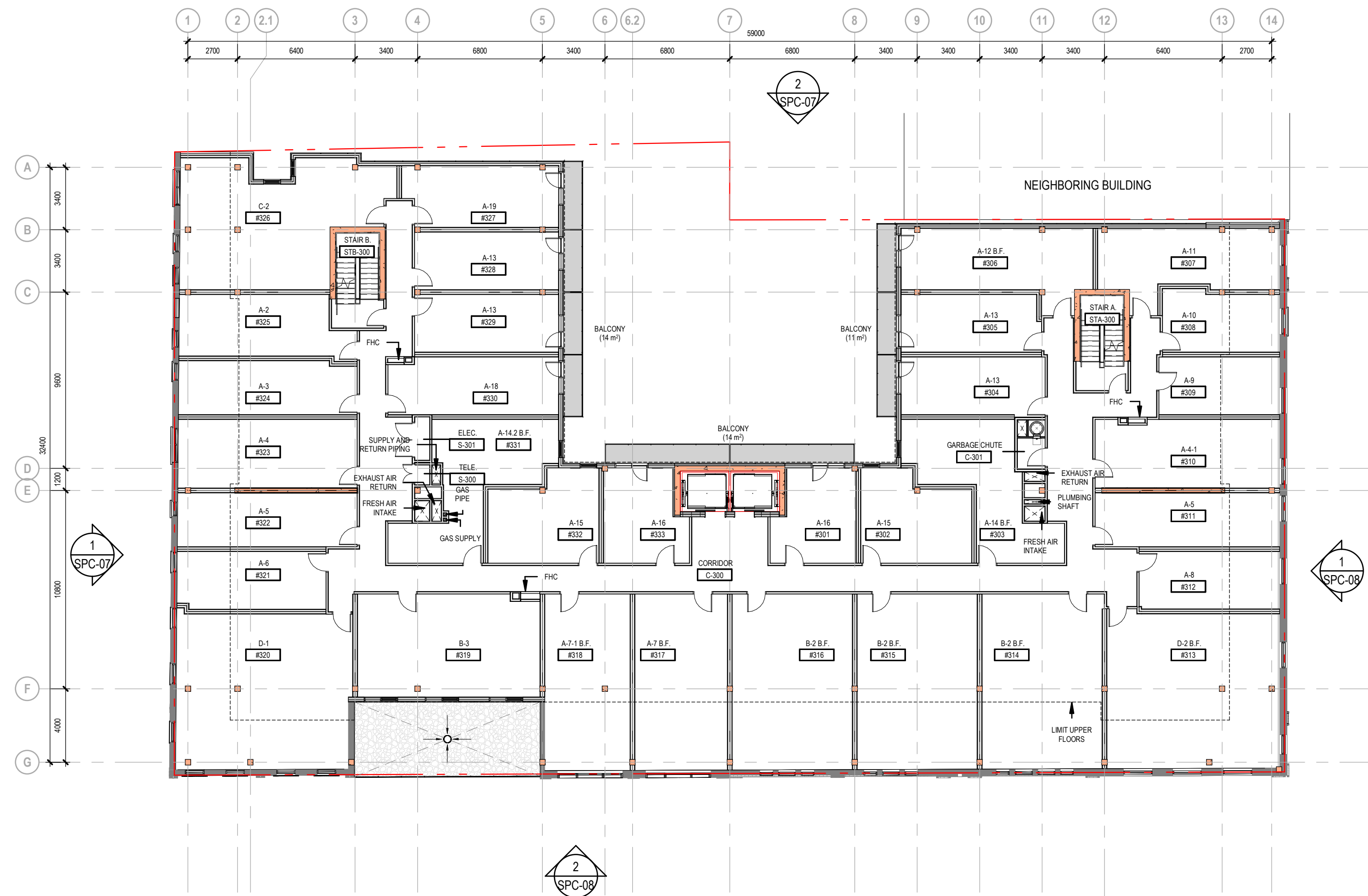
VERIFIÉ PAR / Checked by: M.M., H.G.
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FLOOR PLANS - BASEMENT @ GROUND FLOOR

NO. DESSIN / Drawing Number: 18910

1 SPC-02

RESIDENTIAL UNITS (3RD FLOOR)	
UNIT TYPE	TOTAL
1-BD	1
1-BD B.F.	5
2-BD	1
3-BD	1
3-BD B.F.	1
STUDIO	21
STUDIO B.F.	3
Grand total:	33



CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION

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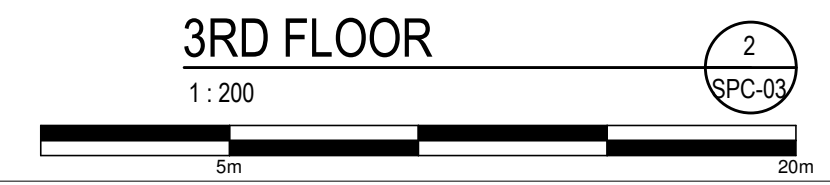
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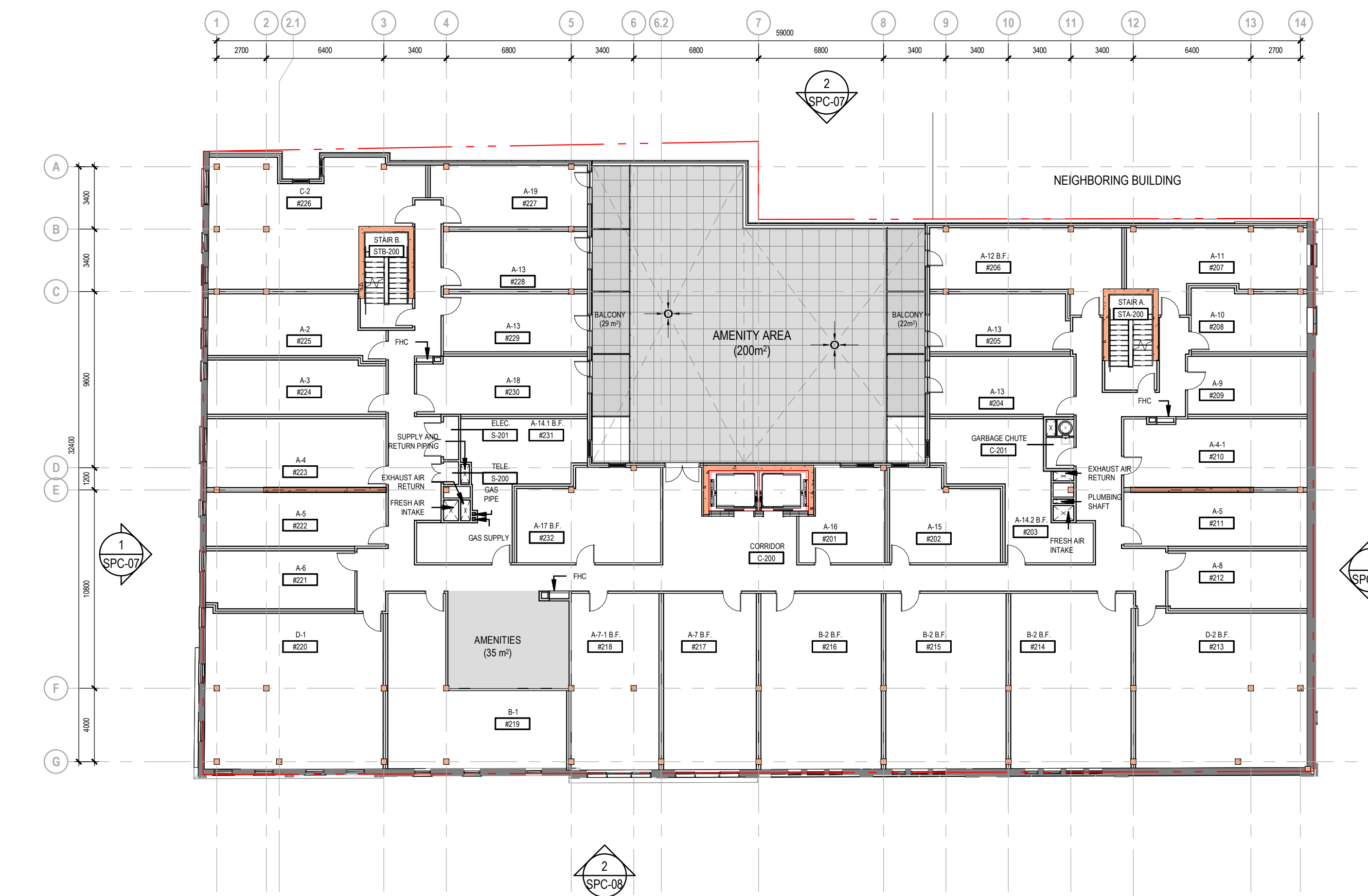
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SCEAU / Seal



RESIDENTIAL UNITS (2ND FLOOR)	
UNIT TYPE	TOTAL
1-BD	1
1-BD B.F.	5
2-BD	1
3-BD	1
3-BD B.F.	1
STUDIO	19
STUDIO B.F.	4
Grand total:	32



CLIENT / Client

SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE / Project
211-231 BANK

EMPLACEMENT / Location
211-231 BANK STREET, OTTAWA

NO	REVISION	DATE (aaaa.mm.jj)
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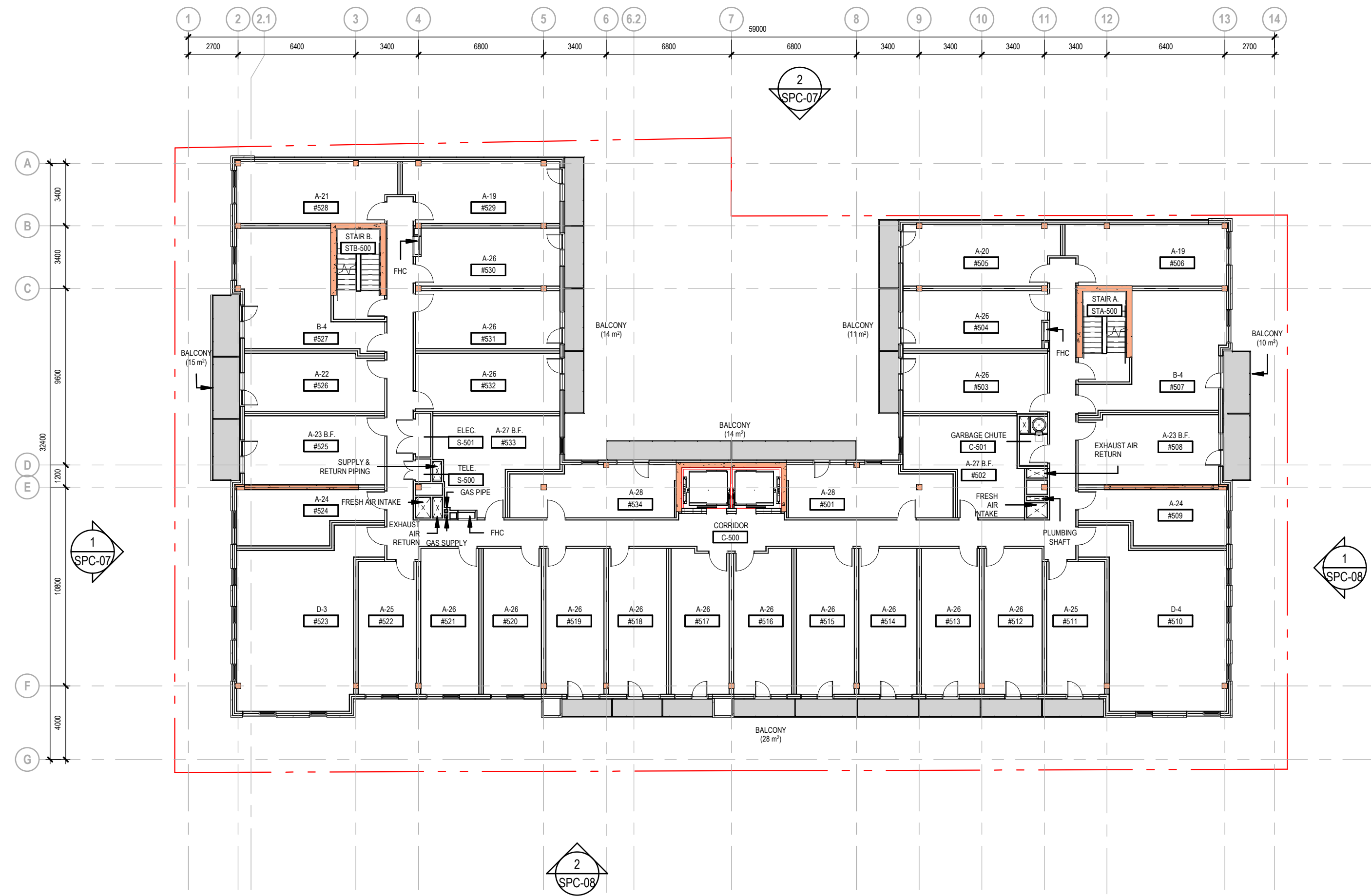
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FLOOR PLANS - 2ND @ 3RD FLOORS

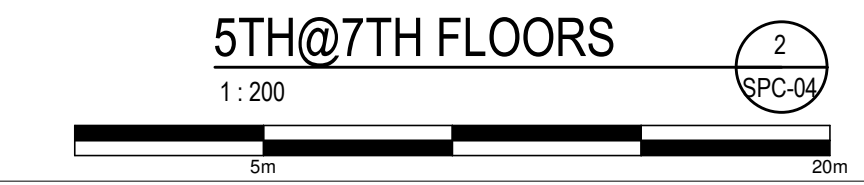
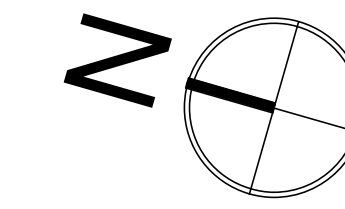
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FILE NUMBERS: D02-02-22-0127
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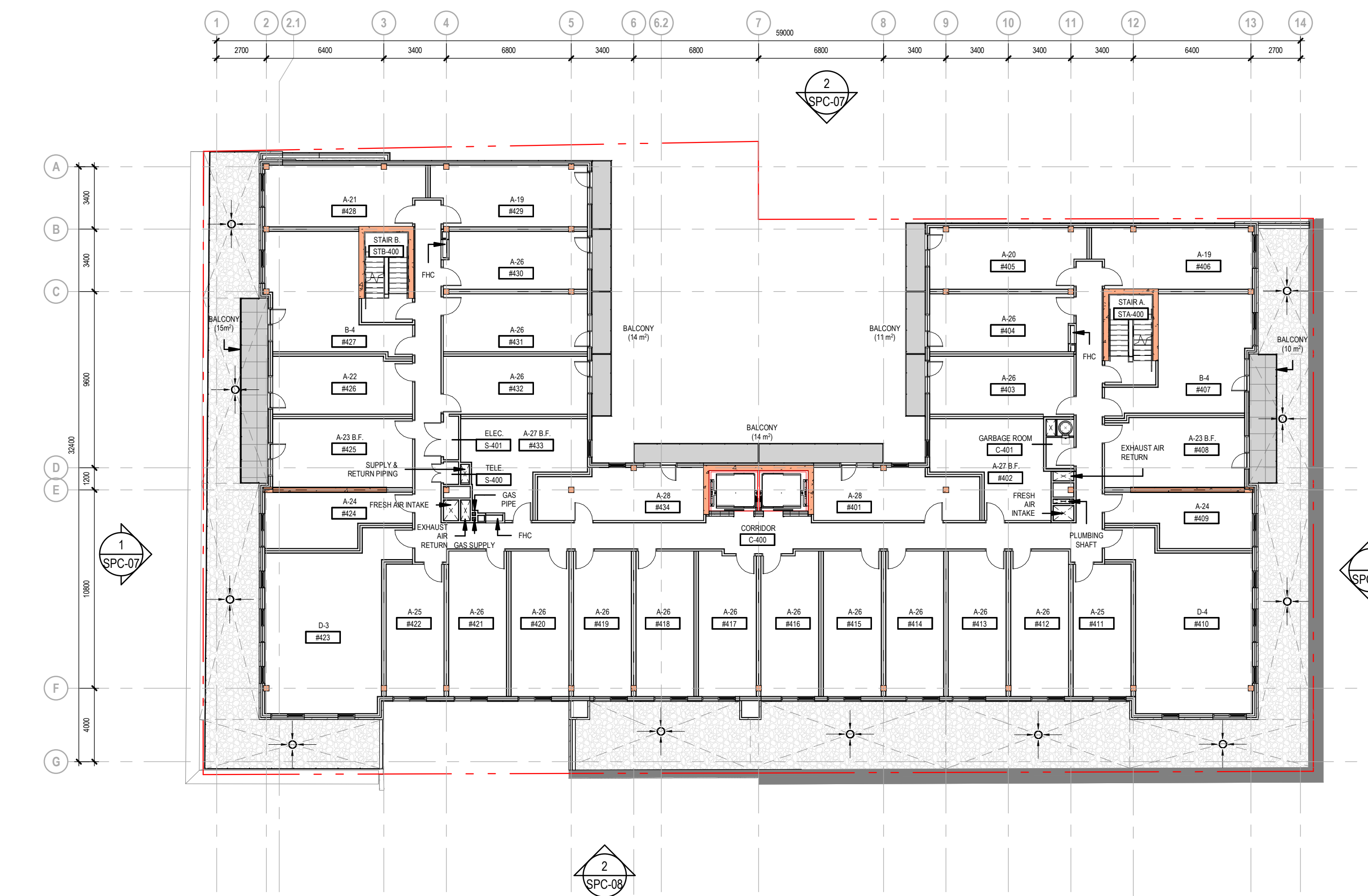
RESIDENTIAL UNITS (5TH@7TH FLOORS)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	26
STUDIO B.F.	4
Grand total: 34	



CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION



RESIDENTIAL UNITS (4TH FLOOR)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	26
STUDIO B.F.	4
Grand total: 34	



FILE NUMBERS:	D02-02-22-0127
	D07-12-22-0188
PLAN NUMBER:	18910

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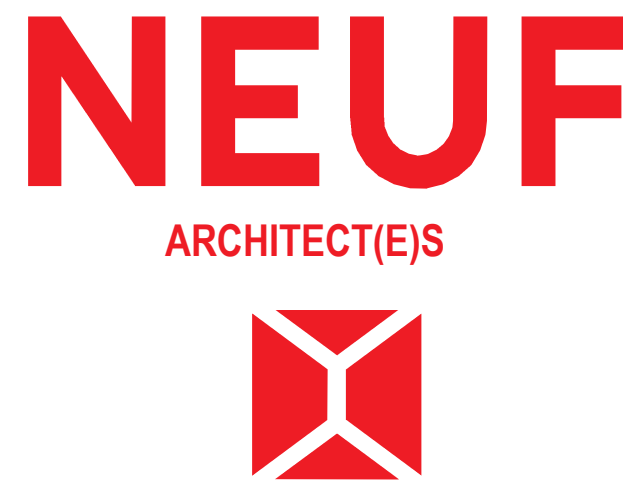
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CLIENT / Client
SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE / Project
211-231 BANK

EMPLACEMENT / Location
 211-231 BANK STREET, OTTAWA

NO. PROJET / No.
 13369

NO.	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

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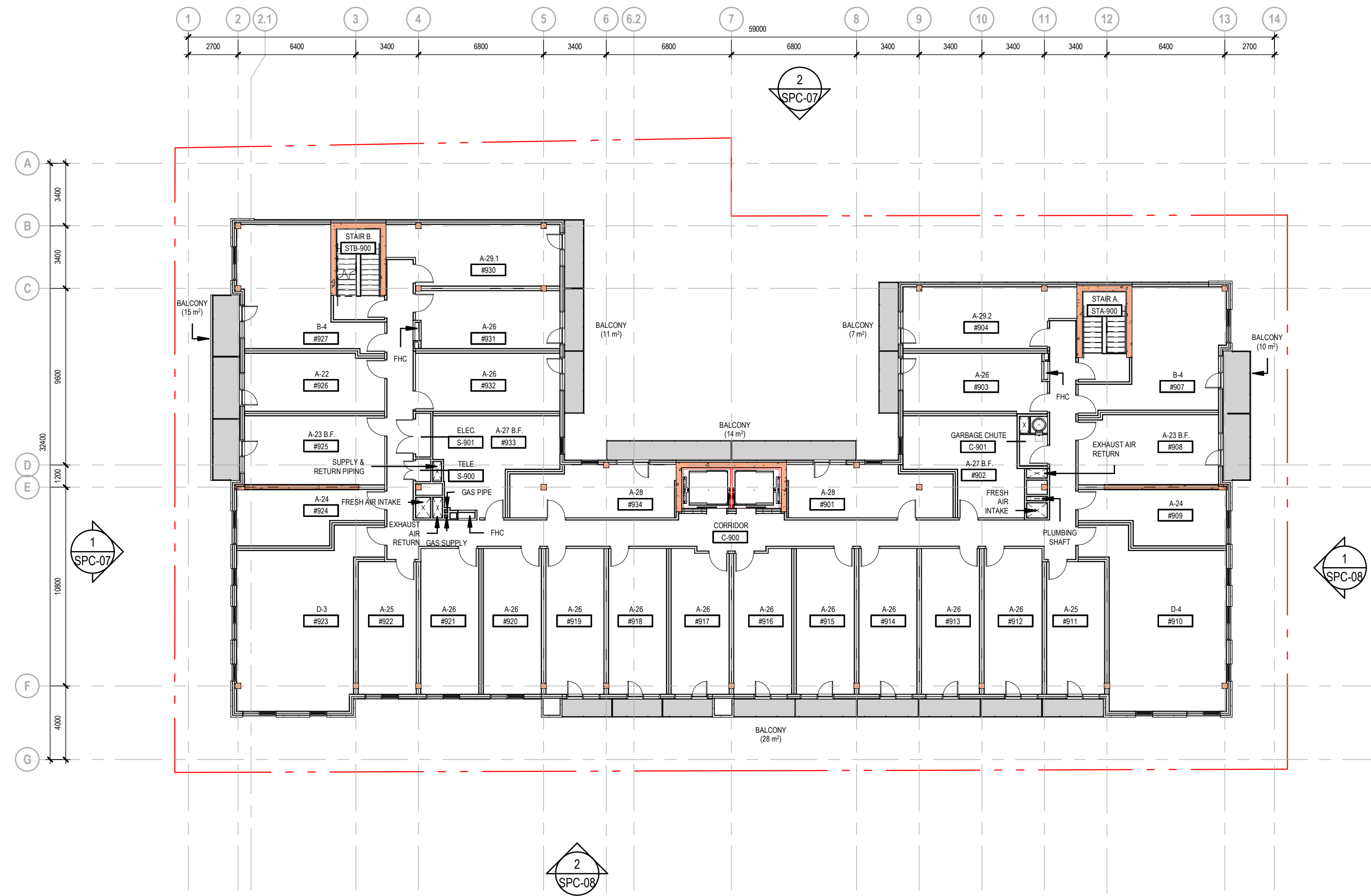
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FLOOR PLANS - 4TH @ 7TH FLOORS

REVISION / Revision
1

NO. DESSIN / Drawing Number
SPC-04

RESIDENTIAL UNITS (9TH FLOOR)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	22
STUDIO B.F.	4
Grand total: 30	



CONSTRUCTION LEGEND	
	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION

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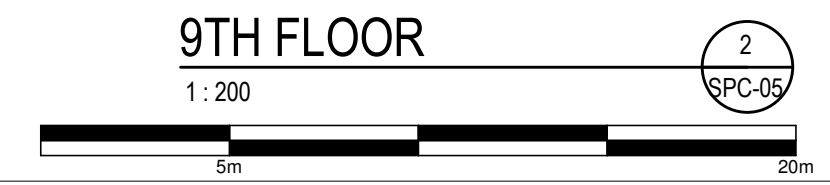
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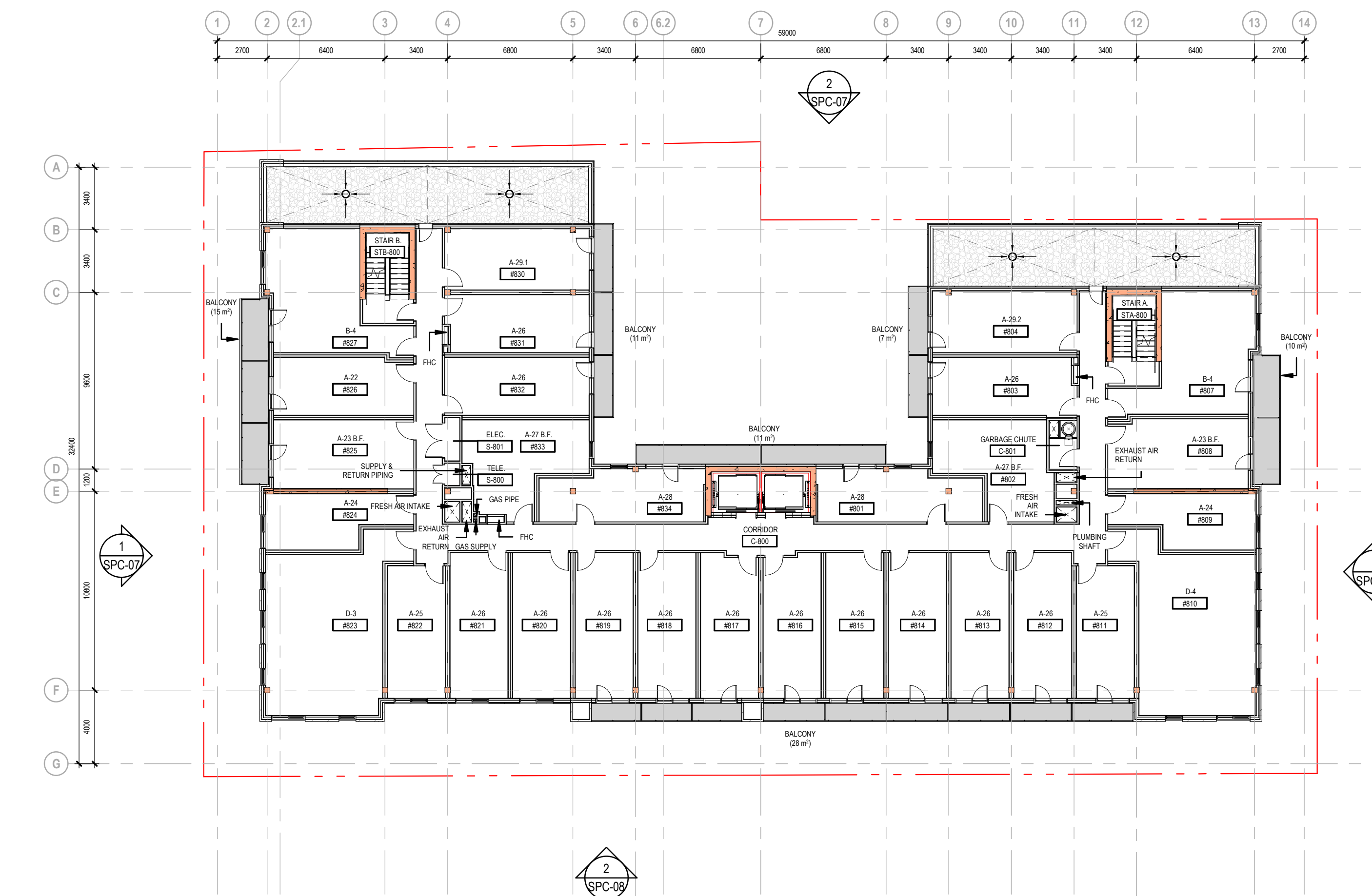
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SCEAU / Seal



RESIDENTIAL UNITS (8TH FLOOR)	
UNIT TYPE	TOTAL
1-BD	2
3-BD	2
STUDIO	22
STUDIO B.F.	4
Grand total: 30	



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 D07-12-22-0188
 PLAN NUMBER: 18910

CLIENT / Client

SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE / Project
211-231 BANK

EMPLACEMENT / Location
 211-231 BANK STREET, OTTAWA

NO. / REVISION
 1 SPC

DATE (aaaa.mm.jj)
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DATE (aaaa.mm.jj)
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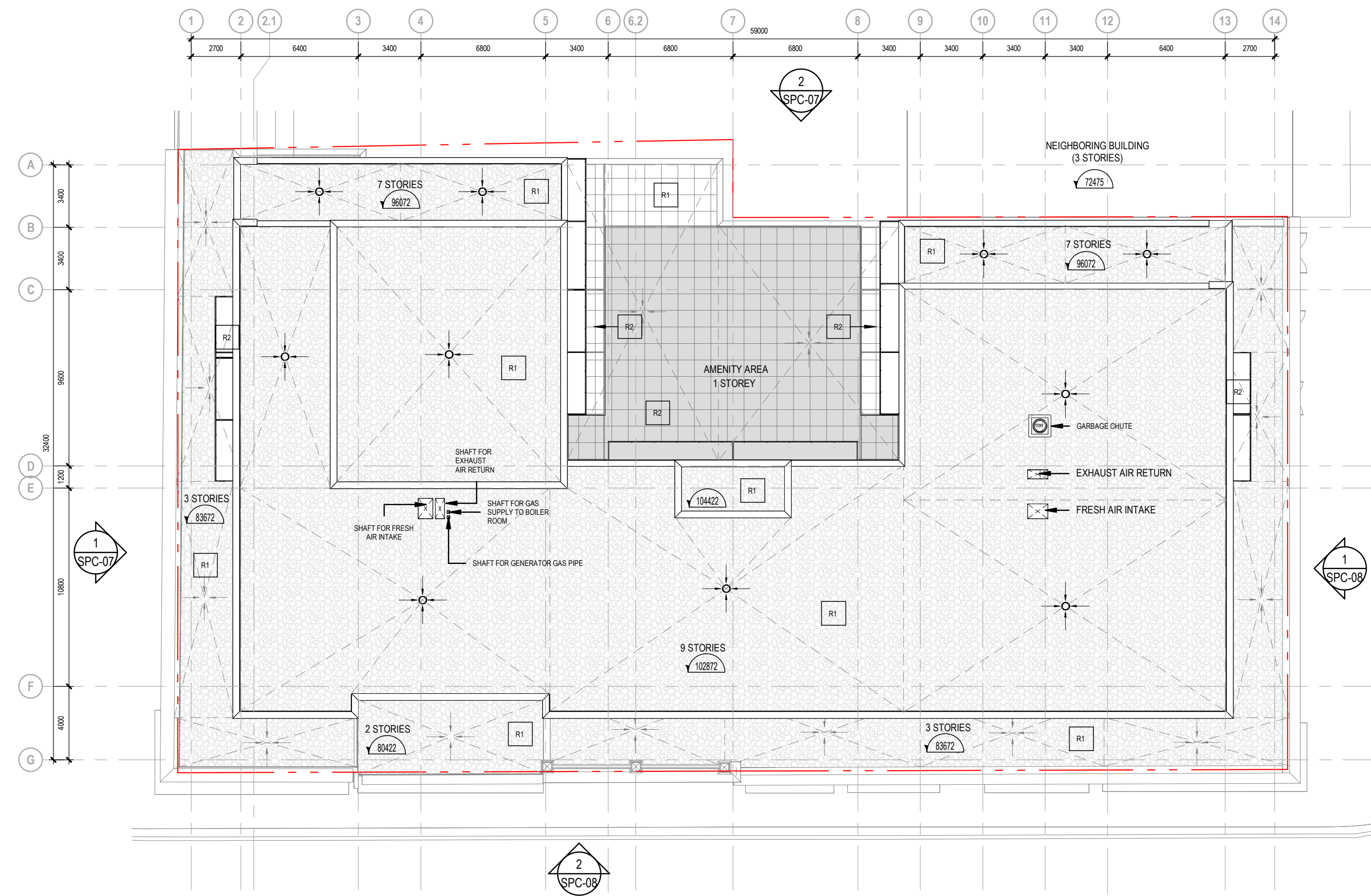
TITRE DU DESSIN / Drawing Title
 FLOOR PLANS - 8TH @ 9TH FLOORS

NO. DESSIN / Drawing Number
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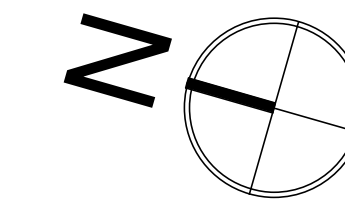
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1 SPC-05

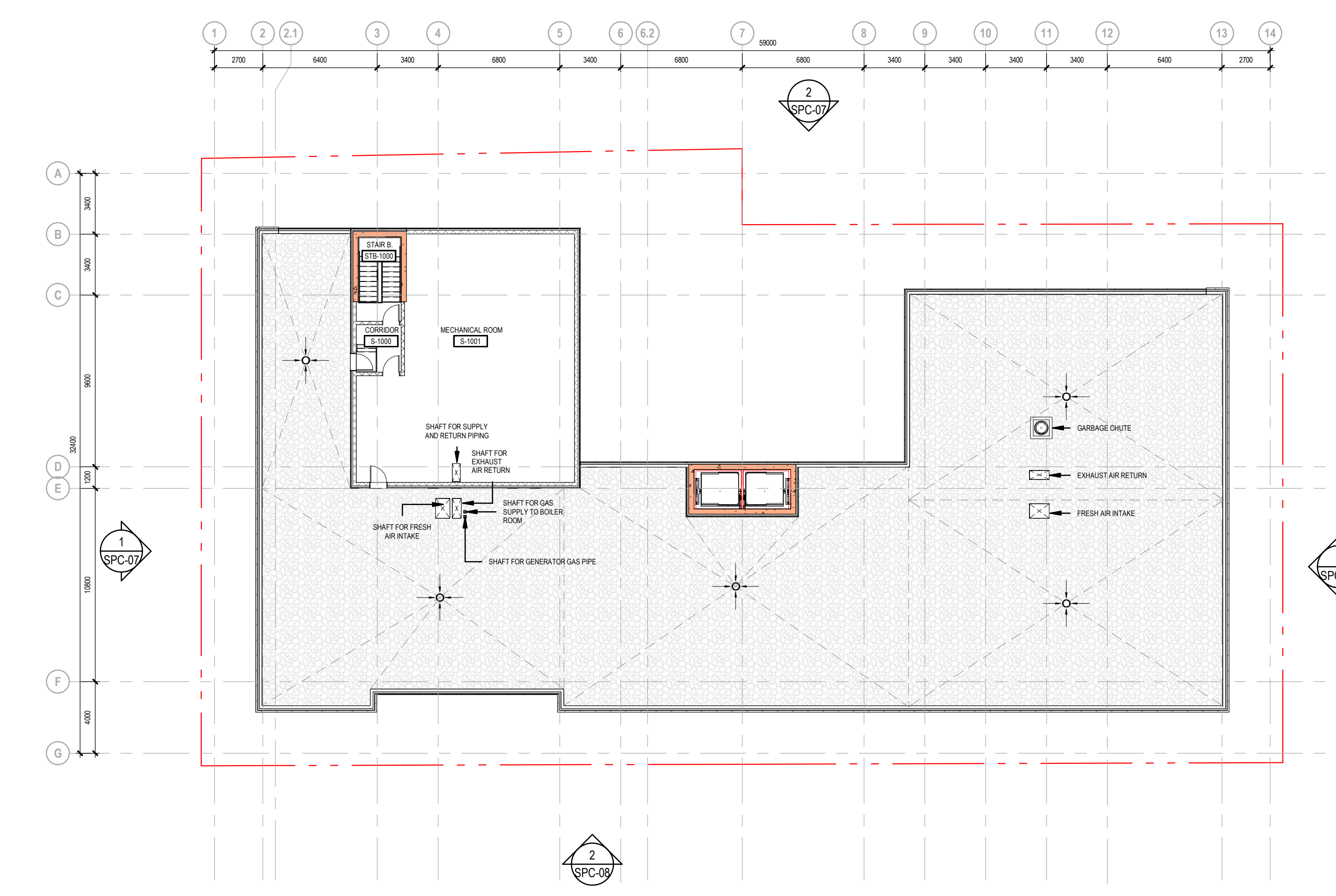


CONSTRUCTION LEGEND

	EXISTING TO BE CONSERVED
	NEW CONSTRUCTION



ROOF PLAN
1: 200
5m 20m



MECHANICAL FLOOR
1: 200
5m 20m

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336 Cooper St. Suite 300, Ottawa, ON K2P 2H7
T 613 730 5709

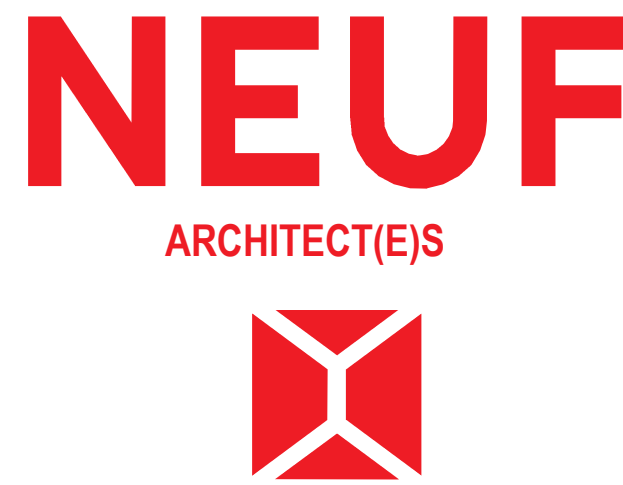
CIVIL / Civil
EXP
2550 Queenview Dr Suite 100
T 613 688 1899

MECHANICAL/ELECTRICAL / Mécanique/Électrique
Jain Sustainability Consultants
7105 East Galtway Crescent Mississauga, Ontario L5N 6P6
T 905 285 9600

URBAN PLANNER / Urbainisme
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630, Blvd. René-Lévesque O. 3^e étage, Montréal QC H3B 1S6
T 514 947 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
SMART LIVING PROPERTIES
226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE / Project
211-231 BANK

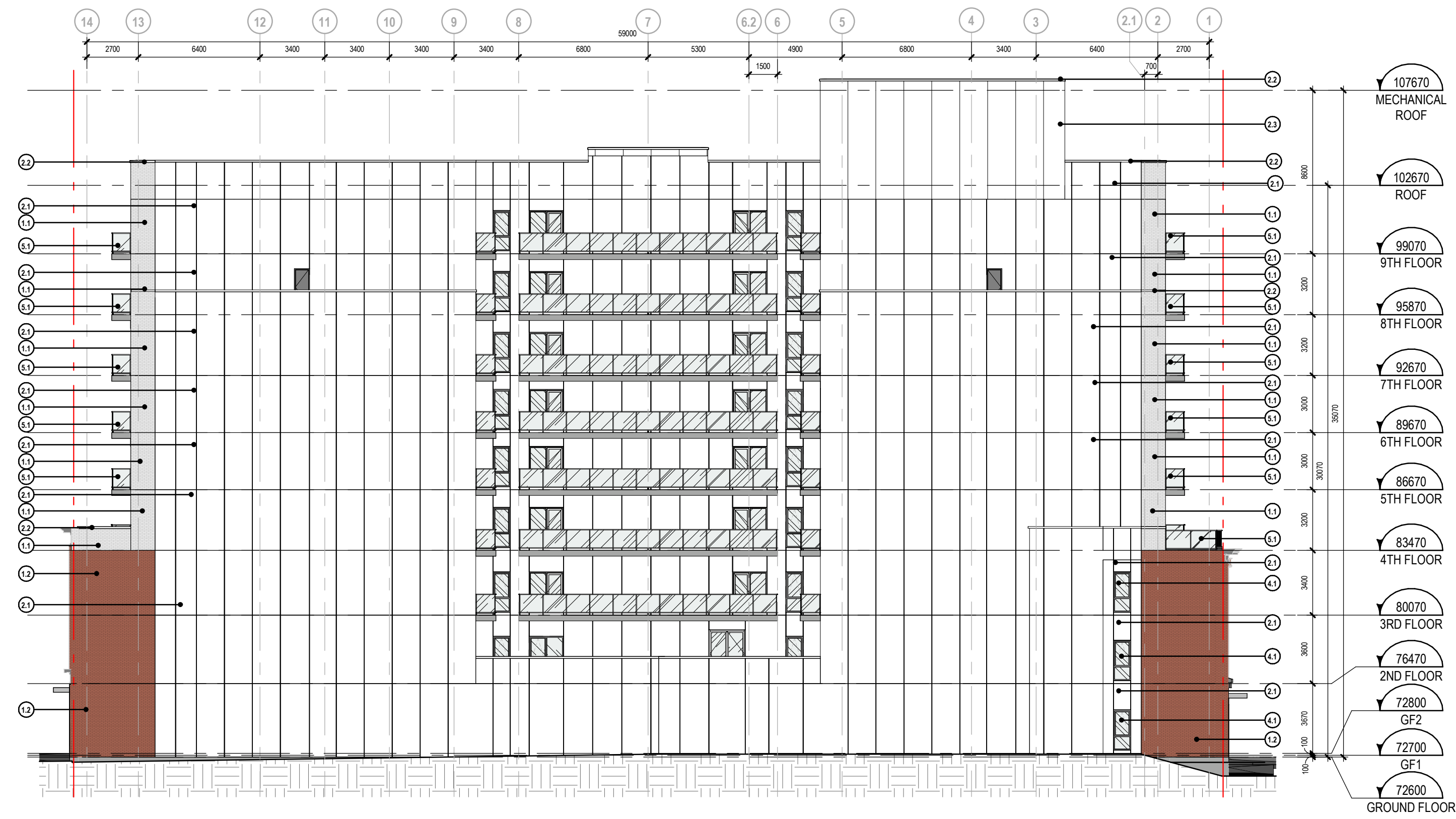
EMPLACEMENT / Location
211-231 BANK STREET, OTTAWA

NO. REVISION **DATE (aaaa.mm.jj)**
1 SPC 2024.09.10

DESSINÉ PAR / Drawn by S.W. **VÉRIFIÉ PAR / Checked by** M.M., H.G.
DATE (aaaa.mm.jj) 2024.09.10 **ECHELLE / Scale** As indicated
TITRE DU DESSIN / Drawing Title **indicated**

FLOOR PLANS - MECHANICAL FLOOR @ ROOF

1 SPC-06



EXTERIOR MATERIALS LEGEND

MASONRY

11 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)

12 EXISTING MASONRY

13 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)

METAL CLADDING

21 PRE-PAINTED ALUMINIUM PANELS
FINISH : GREY (COLOR CODE TBC)

22 PRE-PAINTED METAL FLASHING
FINISH : OFF-WHITE (COLOR CODE TBC)

23 PRE-PAINTED STEEL PANEL
FINISH : OFF-WHITE (COLOR CODE TBC)

WINDOWS, DOORS AND CURTAIN WALLS

4.1 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

4.2 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
FINISH : GREY (COLOR CODE TBC)

4.3 DOOR : PAINTED STEEL
FINISH : OFF-WHITE (COLOR CODE TBC)

RAILINGS AND SCREENS

5.1 ANODIZED ALUMINIUM FRAME & NATURAL CLEAR GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

5.2 ANODIZED ALUMINIUM FRAME & PATTERNED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

EAST ELEVATION
1 : 200



NORTH ELEVATION
1 : 200

FILE NUMBERS: D02-02-22-0127
D07-12-22-0188

PLAN NUMBER: 18910

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4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

STRUCTURE / Structure
D+M Structural inc.
233 Madison St. Suite 110, Ottawa, ON K1S 5N4
T 613 651 9490

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T 613 730 5709

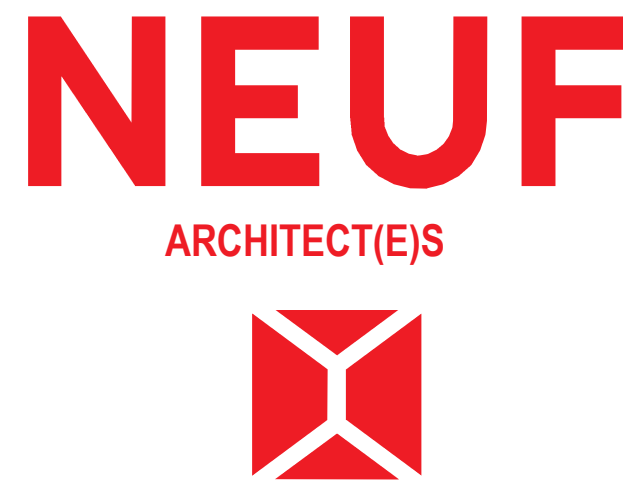
CIVIL / Civil
EXP
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T 613 688 1889

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SCEAU / Seal



CLIENT / Client



OUVRAGE / Project
211-231 BANK

EMPLACEMENT / Location
211-231 BANK STREET,
OTTAWA

NO. PROJET / No.
13369

NO.	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

DESSINÉ PAR / Drawn by
S.W.

DATE (aaaa.mm.jj)
2024.09.10

TITRE DU DESSIN / Drawing Title

VÉRIFIÉ PAR / Checked by
M.M., H.G.

ECHELLE / Scale
As indicated

NORTH & EAST ELEVATIONS

REVISION / Revision
1

NO. DESSIN / Drawing Number
SPC-07



EXTERIOR MATERIALS LEGEND

MASONRY

1.1 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)

1.2 EXISTING MASONRY

1.3 MASONRY
FINISH : OFF-WHITE (COLOR CODE TBC)

METAL CLADDING

2.1 PRE-PAINTED ALUMINIUM PANELS
FINISH : GREY (COLOR CODE TBC)

2.2 PRE-PAINTED METAL FLASHING
FINISH : OFF-WHITE (COLOR CODE TBC)

2.3 PRE-PAINTED STEEL PANEL
FINISH : OFF-WHITE (COLOR CODE TBC)

WINDOWS, DOORS AND CURTAIN WALLS

4.1 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

4.2 WINDOWS, CURTAIN WALLS AND DOORS : PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS
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4.3 DOOR : PAINTED STEEL
FINISH : OFF-WHITE (COLOR CODE TBC)

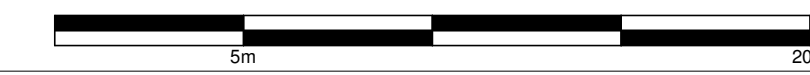
RAILINGS AND SCREENS

5.1 ANODIZED ALUMINIUM FRAME & NATURAL CLEAR GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

5.2 ANODIZED ALUMINIUM FRAME & PATTERNED GLASS
FINISH : OFF-WHITE (COLOR CODE TBC)

WEST ELEVATION

1:200



SOUTH ELEVATION

1:200



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188

PLAN NUMBER: 18910

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SCEAU / Seal



NEUF

ARCHITECT(E)S



CLIENT Client

SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

OUVRAGE Project

211-231 BANK

EMPLACEMENT Location NO PROJET No.
 211-231 BANK STREET, OTTAWA 13369

NO	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

DESSINÉ PAR Drawn by S.W. VÉRIFIÉ PAR Checked by M.M., H.G.
 DATE (aaaa.mm.jj) 2024.09.10 ÉCHELLE Scale As
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SOUTH & WEST ELEVATIONS

REVISION Revision NO. DESSIN Drawing Number

1 SPC-08