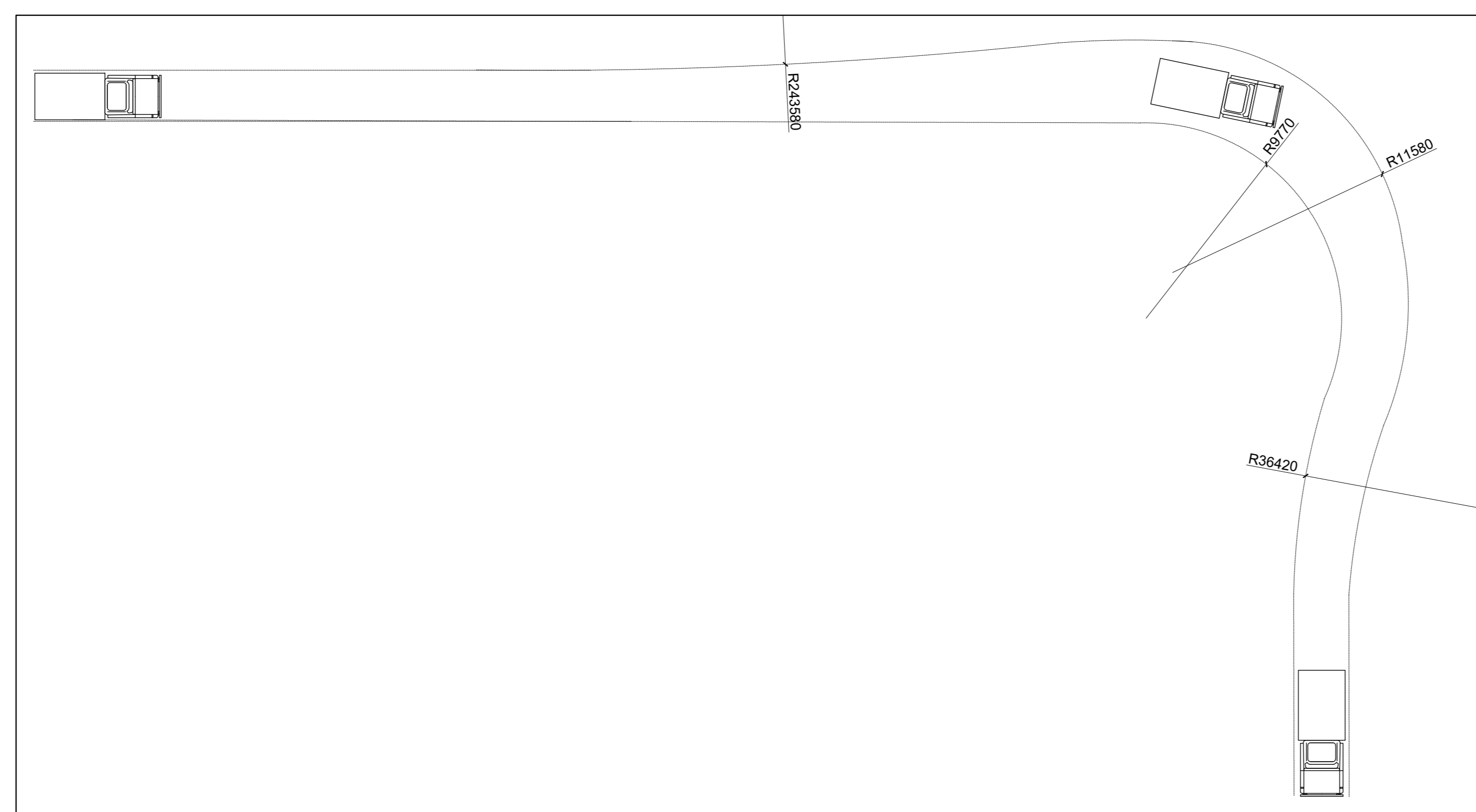


1 SITE PLAN
SCALE = 1:200 (1/16" = 1'-0")



2 FIRE TRUCK ROUTE DIMENSIONS
SCALE = 1:200 (1/16" = 1'-0")

3 GARBAGE TRUCK ROUTE DIMENSIONS
SCALE = 1:200 (1/16" = 1'-0")

PROJECT INFORMATION
 PROJECT: NEW MEDICAL CLINIC BUILDING
 MUNICIPAL ADDRESS: 1545A MERVIALE RD, OTTAWA, ONTARIO
 PIN: 04678-0004
 ZONING USE: AM10 - ARTERIAL MAINSTREET ZONE, MEDICAL FACILITY
 PROPOSED CONSTRUCTION: NEW 1 - STOREY BUILDING
 PROPOSED USE: MEDICAL CLINIC
 BUILDING HEIGHT: ± 6.858m (± 22'-4")
 GROSS FLOOR AREA: 27,620 SQ FT (2,566 m²)
 SITE AREA: 74,293.150m²

PARKING STATISTICS
 STANDARD PARKING:
 53 SPACES OF 2.6m W x 5.2m L (± 7'10" x 17'-0")
 COMPACT CAR PARKING:
 13 SPACES OF 2.4m W x 5.2m L
 ACCESSIBLE PARKING:
 2 SPACES OF 3.6m W x 5.2m L (12'-0" W x 17'-0")
 TOTAL PARKING SPACES:
 AT GRADE: 70
 UNDERGROUND: 57
 TOTAL: 127

BICYCLE PARKING:
 ABOVE-GROUND: 9 SPACES
 BELOW-GROUND: 22 SPACES

LANDSCAPING:
 REQUIRED 15% OF PARKING AREA

TOTAL PARKING AREA: 3,633 m²
 15% LANDSCAPING REQUIRED: 545 m²
 TOTAL LANDSCAPED AREAS PROVIDED: 1,136.25 m²

GENERAL NOTES:

- REFER TO SURVEY BY FARLEY, SMITH AND DENIS SURVEYING LTD.
- ALL GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON SITE PLAN. NEW GRADES TO TIE INTO EXISTING GRADES.
- CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE PRESERVATION.
- REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHTING, AND MASTER SITE PLAN.
- ALL NOTES ARE AS PER CITY/PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.

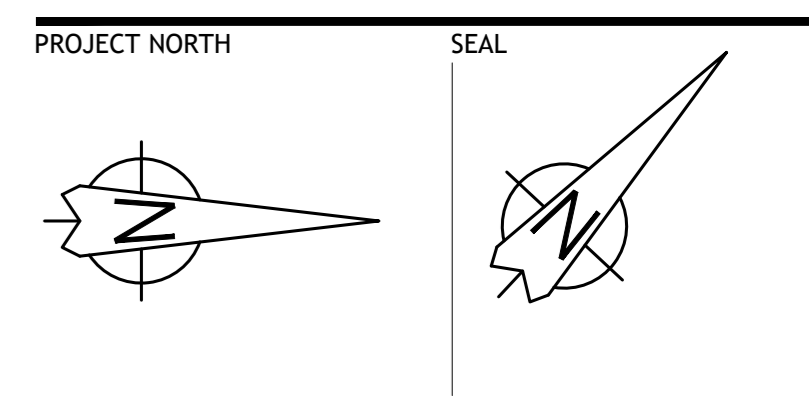
ZONE MECHANISM	ZONE PROVISION DEVELOPMENT	PROPOSED	IN COMPLIANCE (YES/NO)
MINIMUM LOT AREA (SQ)	NO MINIMUM	6,955 M ²	YES
MINIMUM LOT WIDTH	NO MINIMUM	4.7 M	YES
MINIMUM FRONT YARD SETBACK	5 M	7.8 M	YES
MINIMUM REAR YARD SETBACK (NOT APPLICABLE)	5 M	N/A	N/A
MINIMUM CORNER SIDE YARD SETBACK	5 M	N/A	N/A
MINIMUM INTERIOR SIDE YARD SETBACK (ANYING NON-RESIDENTIAL)	NO MINIMUM	13.5 M (TO 1545 MERVIALE ROAD) 1.83 M (TO 1545 MERVIALE ROAD)	YES
MINIMUM BUILDING HEIGHT	3 M	6.7 M	YES
MINIMUM FLOOR SPACE INDEX	NONE	0.36	YES
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT SECTION (SQ)	1.5 M	N/A	N/A
MINIMUM PARKING SECTION (SQ)	4 PER 100 M ² OF GFA (100 REQUIRED)	127 SPACES	YES
MINIMUM BIKE PARKING SECTION (SQ)	1 PER 1000 OF GFA (1 REQUIRED)	31 BICYCLES	YES

APPROVED REFUSED

THIS _____ DAY OF _____ 20__

MANAGER DEVELOPMENT REVIEW CENTRAL PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

ALL NOTES ARE AS PER CITY/PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.



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ROBERT E. DALE
 LICENSED PROFESSIONAL ENGINEER

CONSULTANTS - CIVIL ENGINEERING
NOVATECH
 Engineers, Planners & Landscape Architects

CONSULTANTS - LANDSCAPE ARCHITECTS
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DATE	DESCRIPTION	ISSUE	REV.
20/04/2023	ISSUED FOR SITE PLAN APPROVAL		01
12/05/2023	REVISED FOR SITE PLAN APPROVAL		02
21/12/2022	ISSUED FOR SITE PLAN APPROVAL		01

PROJECT NAME
MERVIALE MEDICAL IMAGING CLINIC

1545A Merviale Rd. Ottawa, On. K2G 3J1
 DRAWING TITLE

**SITE PLAN - REVISED
 NEW CONSTRUCTION**

DATE: 2022/09/20 PROJECT NO.:
20-021

SCALE: AS NOTED

DRAWN BY: MD DRAWING NO.:
A-100

REVIEWED BY: LCL