

DESIGN BRIEF

Submitted To:

**Development Review, Central
Planning, Infrastructure and Economic
Development Department
City of Ottawa**

In Consideration for Project:

**1806 Scott Street, Ottawa
16-unit Low-Rise Apartment Building**

November 23, 2022



Open Plan Architects Inc.
2305 Hillary Ave.
Ottawa, ON K1H 7J2
613-883-5090

OPA open plan
architects inc.
architecture | interiors | concepts

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Section I

This map has not been requested; however, the context is provided to assist with associating the vantage points used in the context photos and perspective massing views.

1.1 Context Plan:

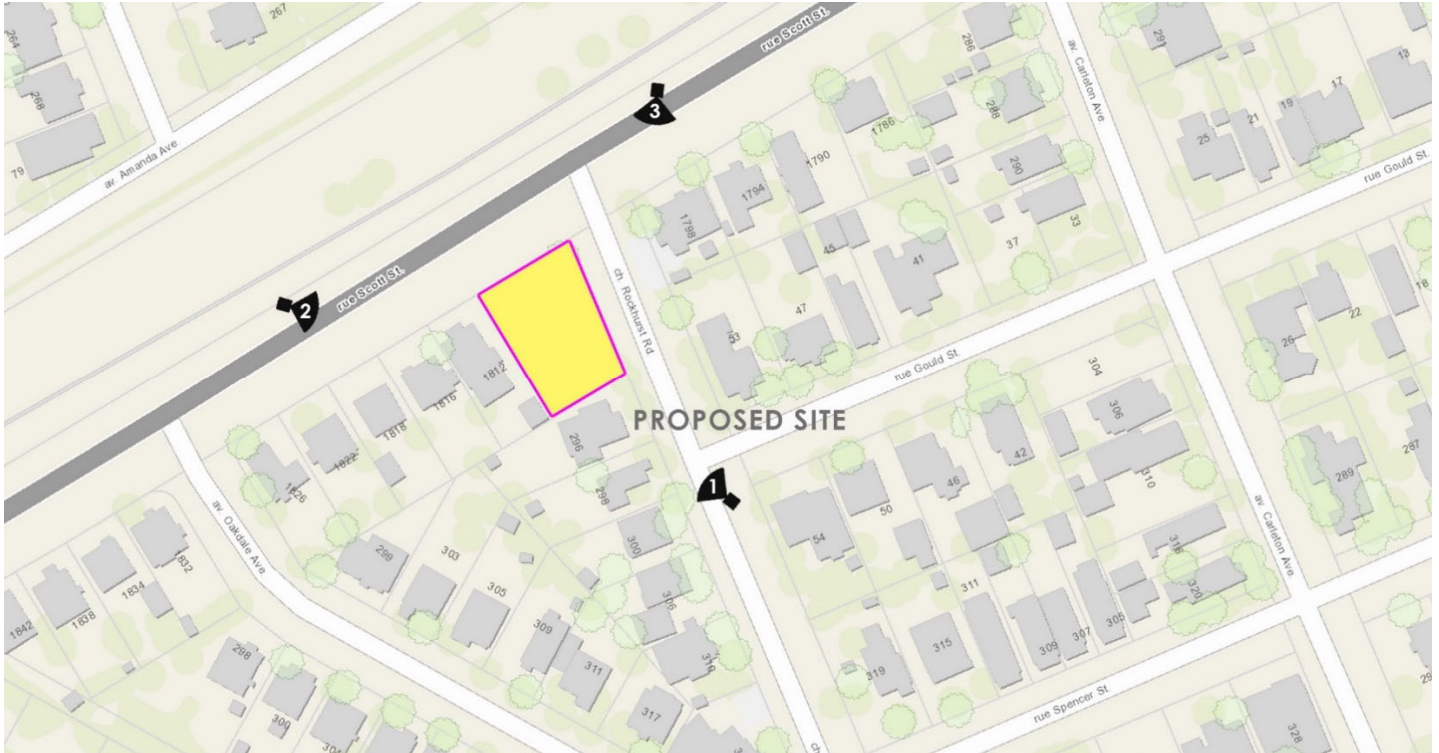


Figure 1.1.1. Context map

Refer to images 1.1.2. to 1.1.5. below which correspond with the vantage points shown.



Image 1.1.2. Looking north from corner of Gould St. and Rockhurst Rd. towards Scott St.

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Image 1.1.3. Looking west from Scott St. towards Rockhurst Rd..



Image 1.1.4. Looking east from Scott St. towards Rockhurst Rd.



Image 1.1.5. (This area is outside of the study area shown on the context map) – looking west from Richmond Rd. near intersection of Western Ave. showing the vibrant main street, within walking distance of the proposed site. Shopping, services, and employment opportunities for tenants are easily accessible.

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Section II - Design Proposal:

2.1 Massing and Scale – Building Massing and Views:



Figure 2.1.1 Perspective looking southwest from Scott St. toward site



Figure 2.1.2. Perspective looking south from Scott St. toward site.



Figure 2.1.3. Perspective from Rockhurst Rd. looking north to Scott St.



Figure 2.1.4. Perspective from Rockhurst Rd. toward entrance.



Figure 2.1.5. Perspective detail of building façade from Scott St. showing side exit.



Figure 2.1.5. Perspective detail of building entrance from corner of Scott St. and Rockhurst Rd.

2.2 Massing and Scale – Building Transition:



Figure 2.2.1 Building transition

The proposed building steps down towards the property at 49 Rockhurst. The roof parapet also slopes away from the neighbouring lot. Due to the site's location north of the low-density dwellings, the shadow impact is minor. Landscape elements including trees and planting soften the mass at the street level allowing a gentler fit.

The proposed intensification transitions appropriately between the 2-storey fabric to the south and the Tunney's Pasture site to the northeast (which includes high-rise buildings). Please also reference the streetscape section (figure 2.4.1. and a larger format version is included in the appendix).

2.3 Massing and Scale - Grading:

Please refer to the proposed sloping grading plan prepared by Stantec, which is appended to this document.

2.4 Public Realm – Streetscape:

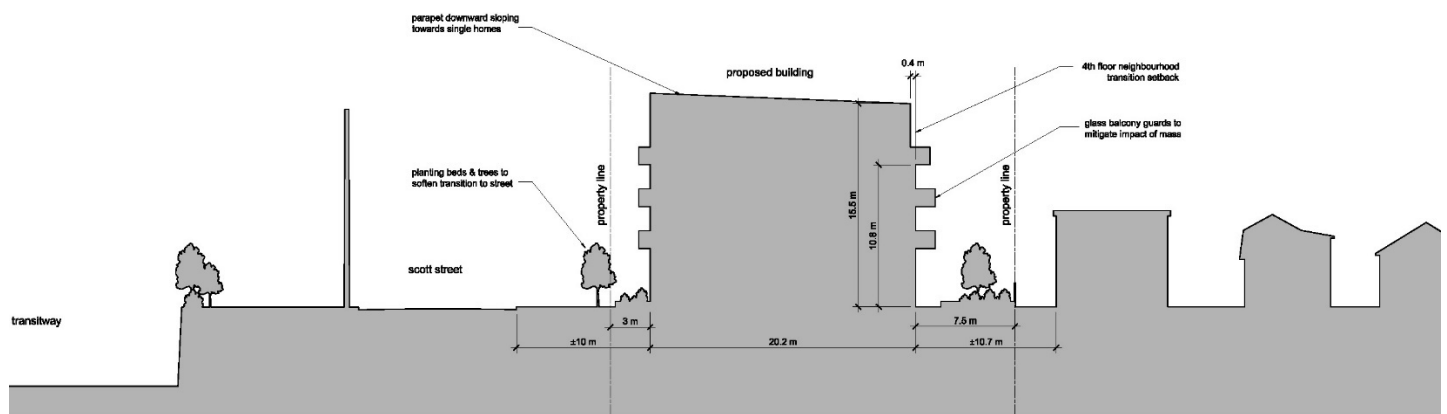


Figure 2.4.1 Streetscape Cross Section

The City of Ottawa's *Urban Design Guidelines for Low-Rise Infill Housing* were used in the development of this design. A selection of some of the guidelines to which this proposal adheres is highlighted below:

1. Contributes to an inviting, safe, and accessible streetscape. The development locates principal entries, windows, porches and key internal uses at street level and has no steps before the lobby to create a zero-step accessible building (s. 2.1);
2. Reflects the desirable aspects of the established streetscape character, including predominantly shallow front yard setbacks (s. 2.2);
3. Designs zero-step, accessible walkways, from private entrances to public sidewalks (s. 2.6);
4. A sense of separation is created between the proposed building and the sidewalk with planting, which defines the public spaces (sidewalk and road) and the semi-public space of the front yard along Rockhurst Road (s. 3.7); and
5. Ensures that the new building faces and animates the public streets. Ground floors with windows that face both Rockhurst Road and Scott Street, and principal entries face onto Rockhurst Road, contributing to the animation, safety and security of the streets (s. 4.1.1).

Please also refer to section 4.4 of the Planning Rationale, which provides a more detailed response to these guidelines.

2.5 *Building Design:*

Please refer to the large-format plans, elevations and shadow study appended to this document, when referring to the below explanation of the design.

The property borders sites generally characterized by 2-storey single-family homes and fronts Scott Street, a busy arterial street. Although no development proposals could be found in the immediate context, the wider context is indicative of a neighbourhood in flux, characterized by a modern-rather-than classical aesthetic.

The proposal will provide a variety of suite types to serve the important need for rental housing opportunities. It is to be located in a walkable community, with convenient access to shops and services (i.e. image 1.1.5. above) and is near the Tunney's Pasture LRT station, offering convenient commuter access to the city at large. The 16-unit apartment building is an appropriate intensification of this land that is of benefit to the community.

The building's expression is characterized by a playful aesthetic. Interest is generated through a rhythm of fenestration and solid wall panels, juxtaposed with the colour / texture of wood accent panels. The building mass remains within the proposed re-zoned building height, per the R4UD zone, and rises a modest two-to-three floors over the adjacent buildings. Owing to its location north of the low-rise neighbourhood, shadow impacts are minimal and affect primarily at early and late times of day.

The building engages the street level using planting beds filled with shrubs, with the addition of 6 new trees, and quality treatments such as precast pavers, all to soften the transition between the walls and ground plane. Together with the accent-coloured entrance canopy and door, which signal the main entrance, these high-quality landscape interventions also serve to establish a human scale for the building (refer to image 2.1.5. and 2.1.6.) and create a pleasant place where residents can recreate and interact.



Figure 2.5.1 East Front Elevation



Figure 2.5.2 West Rear Elevation



Fig. 2.5.3 South Elevation



Fig. 2.5.4 North Elevation

2.6 Sustainability:

The proposal offers a compact building footprint with a high-density of dwelling units as compared with the building it replaces. It is within close proximity to public transit and within walking distance to local retail establishments, all consistent with the City's infill priorities, and which reduces dependency on personal vehicles.

The building typology by virtue of its compactness and shared walls (minimization of exterior wall surface area) will have improved energy performance over a less compact form.

The size and diversity of units (bachelor, 1-bed, 1-bed-plus-den, and 2-bed units) also supports social sustainability with a range of high-quality rental options being available to renters.

Finally, the site will benefit from a net increase in the number trees after development, which together with a light-coloured roof membrane, will contribute to mitigation of heat-island effect.

2.7 Response to City Urban Design comments:

Comment 1:

Site layout/amenity: *This is the first change in an existing context of low-rise single detached houses and will be better understood/supported if the modelling includes the existing context and the surrounding future context. One of the measures we use to determine an appropriate level of intensification is the size of site and how well it can accommodate the requirements of the development;*

Response: The revised context massing images are included below and illustrate the existing surrounding buildings. No applications for infill buildings in the immediate context area could be found.

It is also worth noting that at four storeys, the proposed development is considered low-rise. It therefore fits into the existing and future context of the broader neighbourhood. Moreover, the lot size is a sufficient size to accommodate this proposed infill building.

Comment 2:

Balconies: *Although we appreciate the articulation these provide to the stark massing they should be reasonably designed to mitigate over-look on neighbouring properties and not negatively impinge on the street facing facade. Perhaps the columns could be removed?*

Response: The balconies, which were previously facing west, have been reoriented to the south. The balcony columns have been removed in favour of cantilevered balconies as recommended.

Additionally, the 7.5-metre setback to the south helps to mitigate concerns related to overlook, as it provides a suitable buffer between the proposed building and the adjacent neighbour.

Comment 3:

Garbage/bike storage: *In a context as sensitive as this we recommend the storage of garbage and bikes be internal to the building envelope;*

Response: Waste and bicycle storage rooms have been reintegrated into the interior of the building and are positioned at grade level to make circulation most effective.

Comment 4:

General massing: *We appreciate the creative use of material to help break down the form, however, we believe further articulation to soften the box expression may benefit the design such as providing stepping on the facade and/or setting back portions of the upper floors to help the jump in scale fit into the context;*

Response: The fourth level and balconies have been stepped back by 0.4 m. Together with the parapet, which slopes downward towards the lower lying buildings south of the site, these measures will assist with the desired visual transition.

Please also see the Planning Rationale, which responds to policies related to façade recession per s. 161(15)(h) in the Zoning By-law and provides a rationale for seeking relief from this performance standard.

Comment 5:

Rear yard amenity/landscaping: *We recommend this area be clearly defined for how it will be used and visually protected from the street;*

Response: Fencing will define the amenity area with respect to the neighbouring sites, and to soften the transition to the road and parking spaces, landscaping beds have been added.

Comment 6:

Trees: *We recommend efforts be made to preserve existing trees and for the Site Plan to indicate these and provide locations for new trees on the site.*

Response: 3 existing trees will be preserved (please refer to landscape plan) and the proposal includes a plan to add 7 additional trees. These will be located along Scott Street (3 new trees), at Rockhurst (3 small deciduous trees) and in the interior side yard (1 small deciduous tree).

Signature of Architect Representative,

Open Plan Architects Inc.:

p23 November 2022

Date



Kristopher Benes, OAA,

Principal Architect

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Appendix A
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1806 Scott Street North, Ottawa
16-unit Low-Rise Apartment Building

November 2, 2022

Appendix

Appendix A-1

Architectural site plan

1806 Scott Street, Ottawa

Zoning Data:

Zone: R1MM
 Adjacent zones:
 north: O1
 south: R1MM
 east: R1MM
 west: R1MM

Frontage: 22.87 (Scott Street)

Lot area: 629.87 m²

Proposed building area: 258.5 m²
 taken in accordance w/ OBC definition

Proposed GFA: 828.4 m²
 taken in accordance w/ zoning bylaw definition

level B	137.6
level 1	137.6
level 2	184.4
level 3	184.4
level 4	184.4

Proposed use: Apartment Dwelling, Low-Rise

Proposed number of units: 16

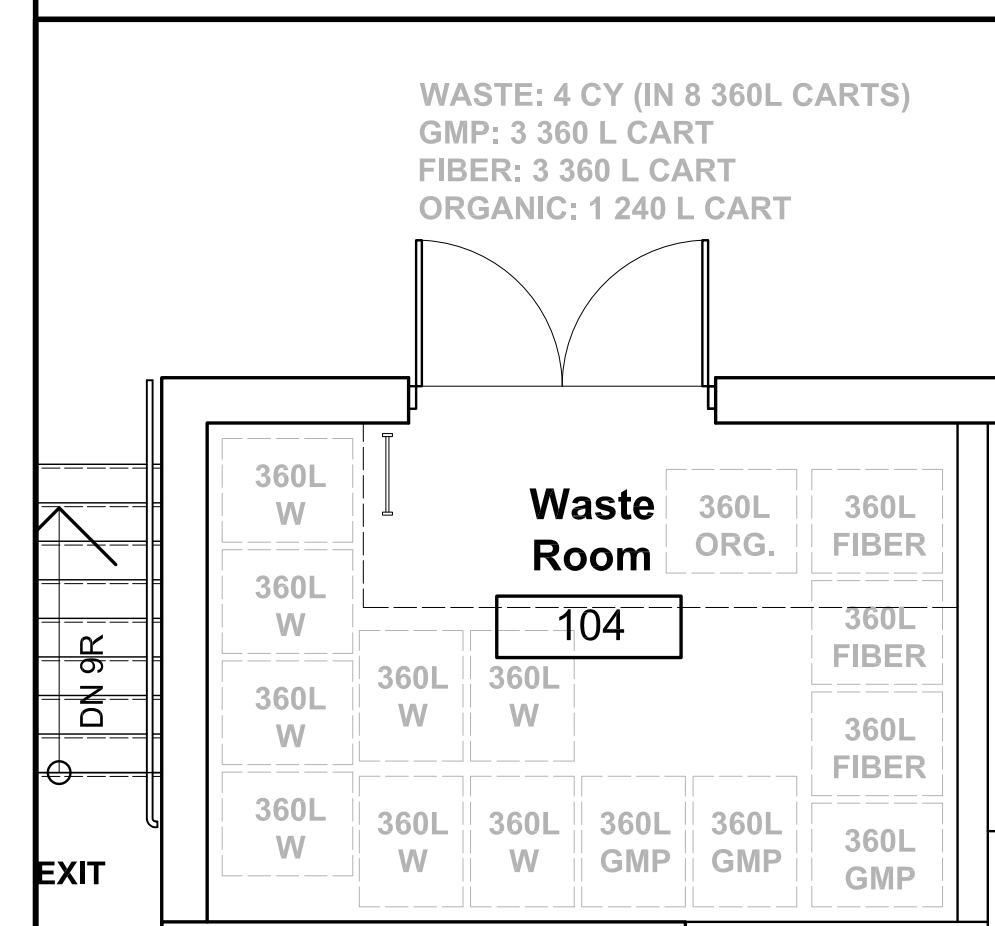
unit breakdown:

	bach.	1-bed	1-bed + d	2-bed	total
basement			1	1	2
1 st floor			1	1	2
2 nd floor	3	1			4
3 rd floor	3			1	4
4 th floor	3			1	4
total	9	1	2	4	16

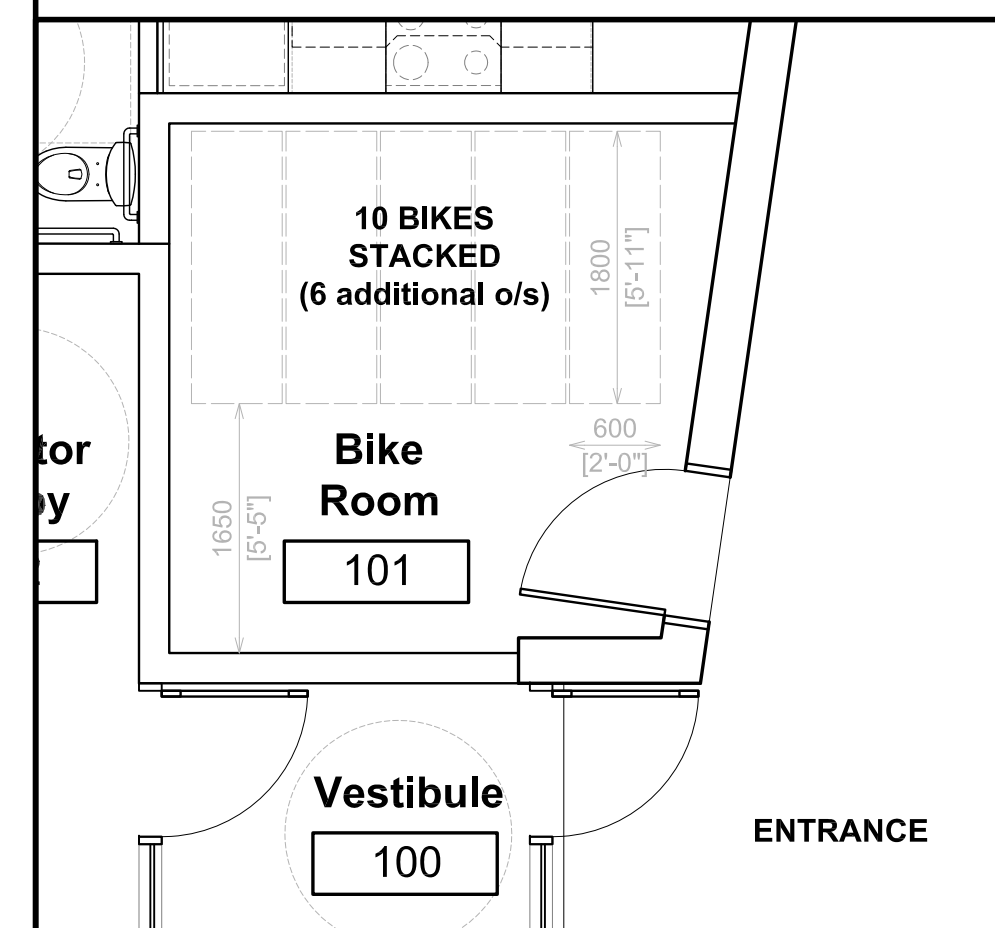
Proposed car parking: 2

Proposed amenity area: 186 m² (96 m² required)
 Communal: 134 m², exterior
 Private: 52 m², balconies

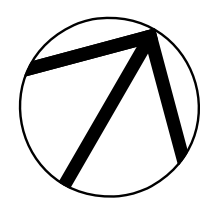
Bikes: 16
 10 stacked in bike room at lobby level
 06 at corner side yard



2 GARBAGE ROOM PART PLAN
 A000 1:50

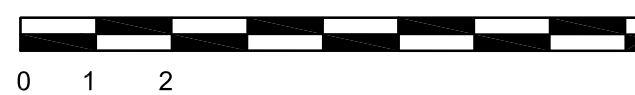


3 BIKE ROOM PART PLAN
 A000 1:50

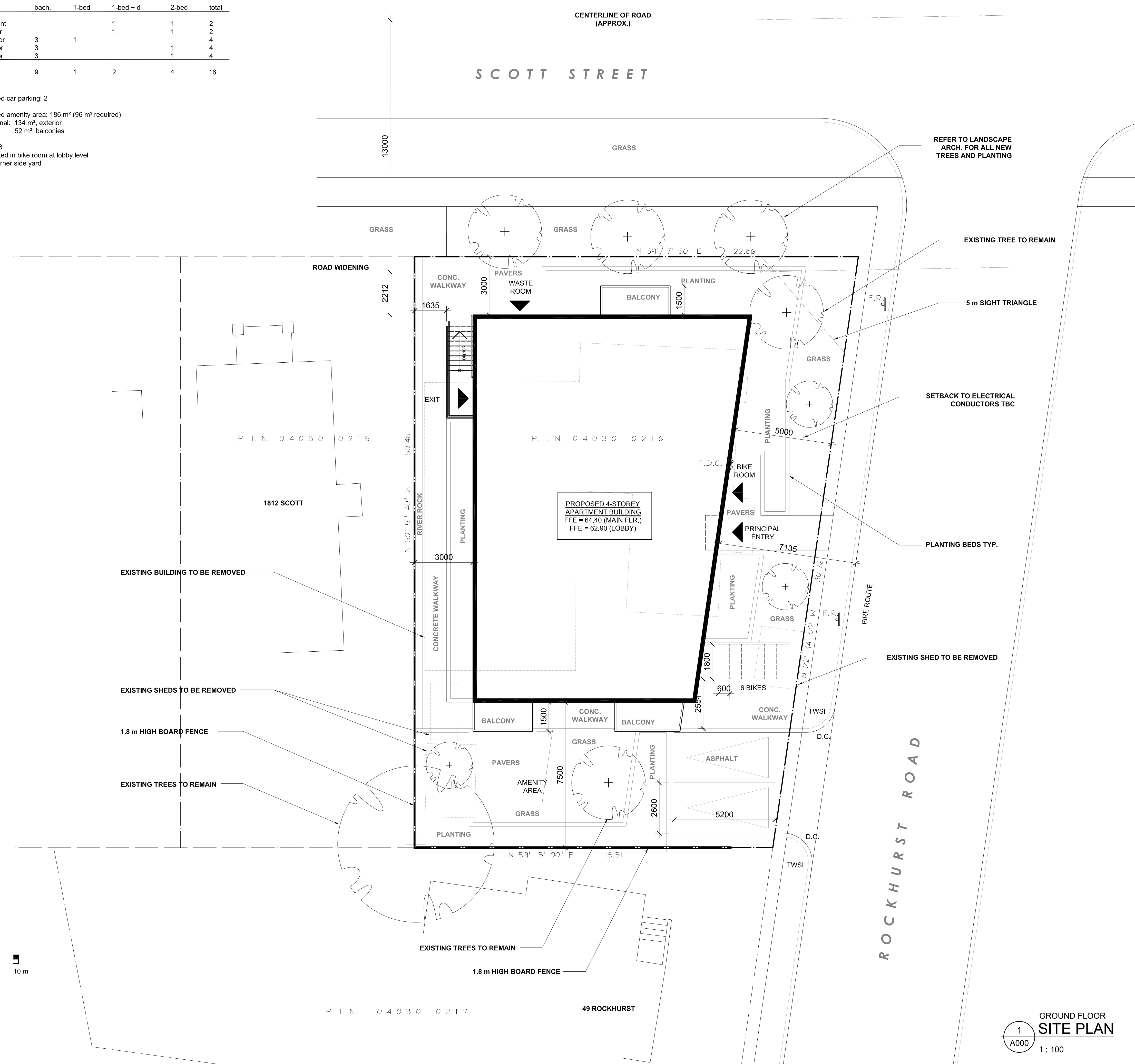


TRUE NORTH

SCALE: 1 : 100



SURVEY INFORMATION TAKEN FROM
 SURVEY PREPARED FARLEY, SMITH &
 DENIS SURVEYING LTD., DATED
 JANUARY 17, 2022, FILE NO. 650-21



1 GROUND FLOOR SITE PLAN
 A000 1:100

CLIENT / OWNER :
 GABRIELA GODINEZ-LAVERTY
 AND COLIN LAVERTY
 14 BREADNER BOULEVARD,
 TRENTON, ON K8V 1E2
 613-274-2872

STRUCTURAL ENGINEER :
 ALTRA DESIGN AND CONSTRUCTION LTD.
 2445 CLOVER STREET
 OTTAWA, ON K1V 8G4
 613-697-6974

**CONSULTING PLANNER
 & LANDSCAPE ARCHITECT:**
 FOTENN
 396 COOPER STREET, SUITE 300
 OTTAWA, ON K2P 2H7
 613-730-5709

SURVEYOR :
 FARLEY SMITH & DENIS SURVEYING LTD.
 1331 CLYDE AVENUE, SUITE 300
 OTTAWA, ON K2C 3G4
 613-722-4420

CIVIL ENGINEER :
 STANTEC
 30 COLONNADE ROAD, SUITE 275
 OTTAWA, ON K2E 7J6
 613-727-8226

rev. / issue	description	date
01	ISSUED FOR SITE PLAN CONTROL & ZBA	23 NOV. 2022

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS A BUILDING PERMIT IN RESPECT OF THIS PROJECT HAS BEEN GRANTED BY AUTHORITIES AND THEY ARE ISSUED FOR CONSTRUCTION.

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professional stamp

project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

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 613.883.5090 | info@openplan.ca

project

1806 SCOTT STREET, OTTAWA
 RENTAL APARTMENT BUILDING

drawing

SITE PLAN

drawn	KDB	date	JANUARY 2022
approved	KDB	revision	1
project no.	2120	scale	AS SHOWN
drawing no.			A000

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Appendix

Appendix A-2

Landscape plan

Client / Client

CLIENT NAME / LOGO

key plan / plan repère

legend / légende

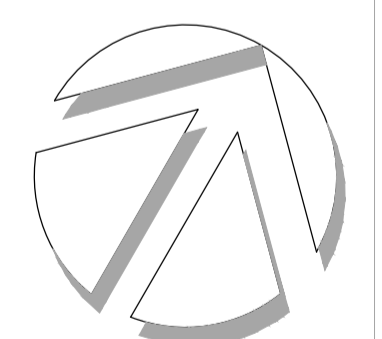
- SCOPE OF APPLICATION
- SMALL DECIDUOUS TREE (REFER TO PLANTING SCHEDULE FOR SPECIES AND QUANTITIES)
- XX MEDIUM DECIDUOUS TREE (REFER TO PLANTING SCHEDULE FOR SPECIES AND QUANTITIES)
- YY LARGE DECIDUOUS TREE (REFER TO PLANTING SCHEDULE FOR SPECIES AND QUANTITIES)
- ZZ CONIFEROUS TREES (REFER TO PLANTING SCHEDULE FOR SPECIES AND QUANTITIES)
- QQ WW POST AND RAIL FENCE
- 2.1m HIGH WOOD PRIVACY FENCE
- × 1.8m HIGH CHAIN LINK FENCE (BLACK)
- 1.8m CEDAR PRIVACY FENCE
- TYP. CAST-IN-PLACE CONCRETE BICYCLE STORAGE PADS (CAPACITY - # BICYCLES)

NOTE: LANDSCAPE REQUIREMENTS PER ZONING BY-LAW:
 # OF DWELLING UNITS: xxx
 REQUIRED BICYCLE SPACES (0.5/UNIT): xx
 PROVIDED SPACES: xx

rev'n	description / la description	yyyy/mm/dd
00	Issue for Client review	yyyy/mm/dd

FOTENN Planning + Design
 396 Cooper Street, Suite 300
 Ottawa, ON, CANADA K2P 2H7
 613.730.5709
 fotenn.com

north / le nord stamp / le cachet



project / projet

1806 Scott Street

drawing / dessin

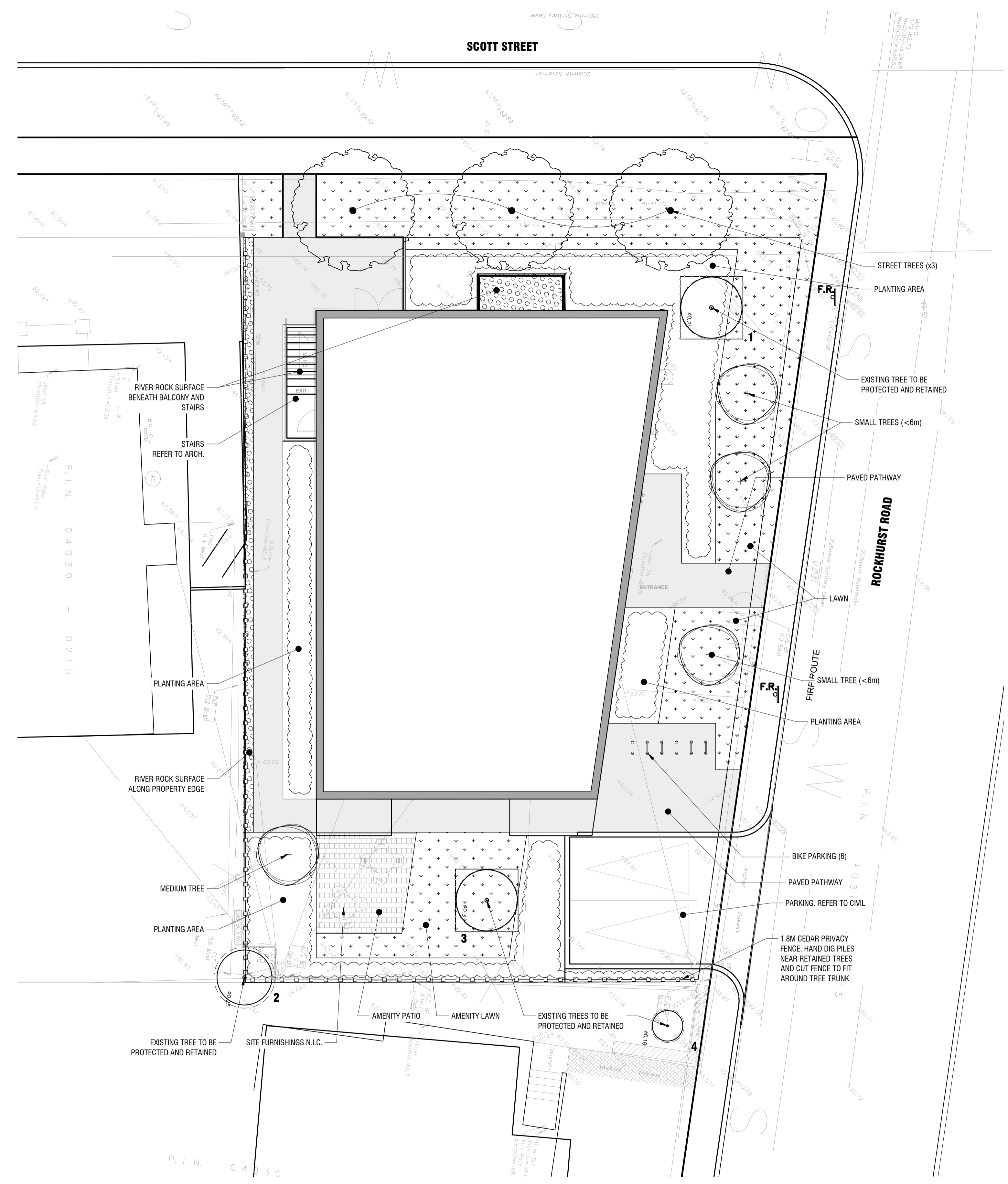
LANDSCAPE PLAN

designed / conçu	drawn / dessiné	reviewed / examiné
BM	BM	SM / DF
date	project number / No. du projet	

June 2022

drawing number / No. du dessin

L1 of 1



1 LANDSCAPE PLAN

L1 1:xxx

PRELIMINARY
 NOT FOR CONSTRUCTION

PLOT INFORMATION: DWG NAME: P:\PROJECTS\Landscaping\1806_Scott\LANDSCAPE_ARCH\1806_LANDSCAPE_ARCH.dwg PLOT DATE: 2022-11-09 11:52:27 PM SHEET SIZE: ISO (A1) (841x1189) PLOTTED BY: Barbara Mitchell - LACS CAD/BY: barbamit
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DESIGN BRIEF

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Appendix

Appendix A-3

Grading plan



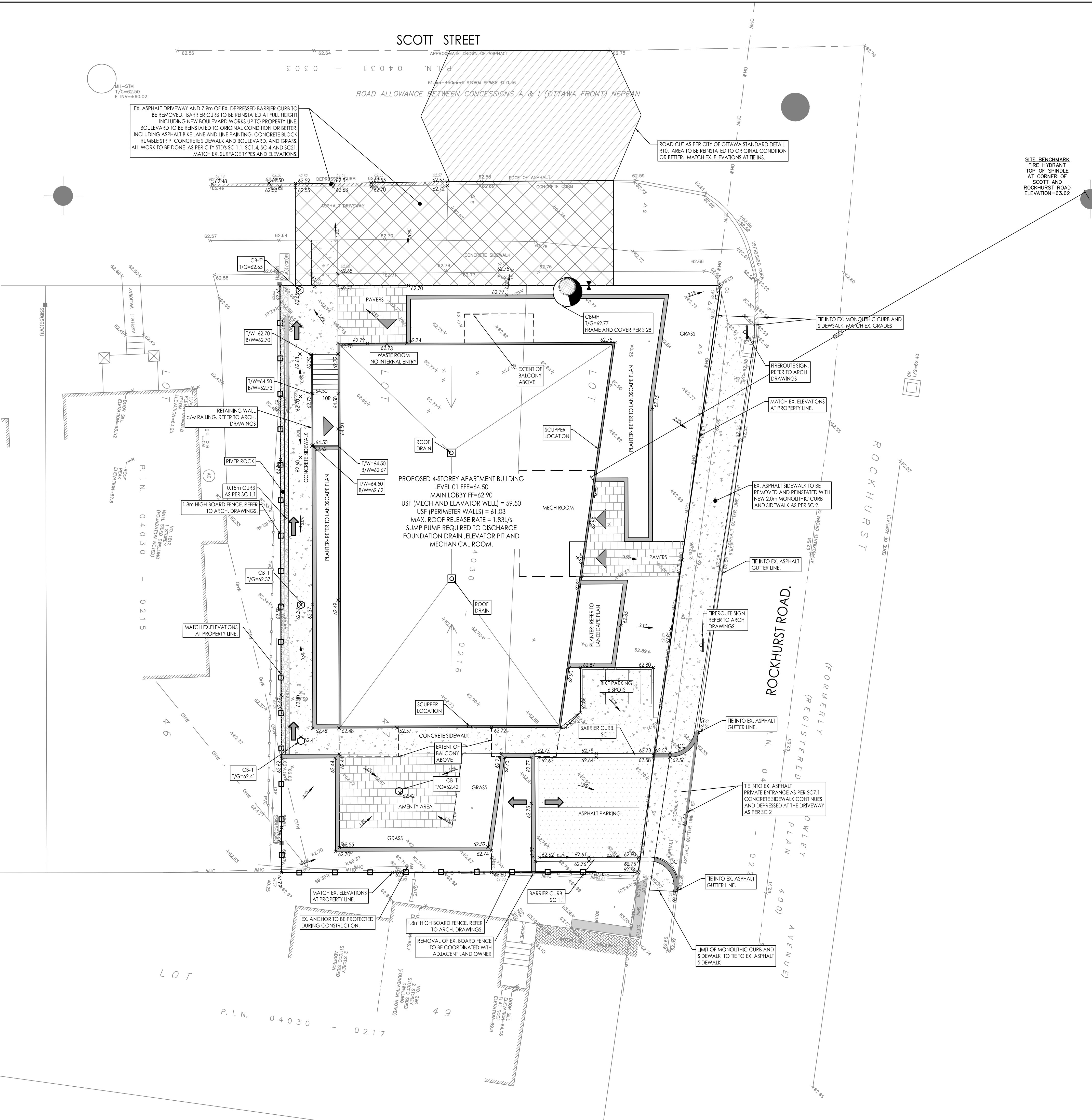
SCOTT STREET

EX. ASPHALT DRIVEWAY AND 7.9m OF EX. DEPRESSURED BARRIER CURB TO BE REMOVED. BARRIER CURB TO BE REINSTATED AT FULL HEIGHT INCLUDING NEW BOULEVARD WORKS UP TO PROPERTY LINE. BOULEVARD TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER, INCLUDING ASPHALT BIKE LANE AND LINE PAINTING, CONCRETE BLOCK RUMBLE STRIP, CONCRETE SIDEWALK AND BOULEVARD, AND GRASS. ALL WORK TO BE DONE AS PER CITY STD'S SC 1.1, SC 1.4, SC 4 AND SC 2.1. MATCH EX. SURFACE TYPES AND ELEVATIONS.

ROAD CUT AS PER CITY OF OTTAWA STANDARD DETAIL. R.O.D. AREA TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER. MATCH EX. ELEVATIONS AT TIE INS.

SITE BENCHMARK
FIRE HYDRANT
TOP OF SPINDLE
AT CORNER OF
SCOTT AND
ROCKHURST ROAD
ELEVATION=63.62

- SITE GRADING**
- ALL GRANULAR BASE & SUB-BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
 - ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOIL ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
 - INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERWAYS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
 - REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
 - CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
 - EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
 - ALL NECESSARY CLEANING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
 - SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
 - NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
 - ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS' AND 'URBAN TREES CONSERVATION BY-LAW'.
 - NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.
 - MATCH ELEVATIONS AT PROPERTY LINES



Legend

- × 99.99 ORIGINAL GROUND ELEVATION
- × 99.99 PROPOSED ELEVATION
- × 99.99 PROPOSED LOT CORNER ELEVATION
- × 99.99 EXISTING ELEVATION AT LOT CORNER
- 2.0% FLOW DIRECTION AND GRADE
- FF=99.99 FINISHED FIRST FLOOR ELEVATION
- TF=99.99 TOP OF FOUNDATION ELEVATION
- USF=99.99 UNDERSIDE OF FOOTINGS ELEVATION
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- PROPOSED SWALE
- DIRECTION OF FLOW ROUTE OVERLAND/ DRAINAGE ROUTE
- PROPOSED VALVE BOX
- PROPOSED CATCHBASIN MANHOLE AND COVER
- PROPOSED LANDSCAPE CATCH BASIN AS PER S30.531
- DEPRESSURED CURB LOCATION
- PROPOSED DOOR LOCATIONS
- PROPOSED RETAINING WALL
- PROPOSED BOULEVARD REINSTATEMENT AREA

- Notes**
- TOPOGRAPHIC SURVEY AND BENCHMARK COMPLETED FARLEY, SMITH & DENIS SURVEYING LTD. COMPLETED JAN 04, 2022; REGISTERED ON JAN 17, 2022. BENCHMARK LOCATION, TOP OF SPINDLE ELEVATION ON HYDRANT AT INTERSECTION OF SCOTT STREET AND ROCKHURST ROAD, ELEVATION=63.62
 - SITE PLAN PREPARED BY OPEN PLAN ARCHITECT, DATED NOV 1, 2022.

Revision	By	Appd.	YY.MM.DD
1	JP	AG	22.11.17

Client/Project
2851944 Ontario Inc.
14 Breadner Blvd.
4 STOREY APARTMENT
1806 SCOTT STREET
OTTAWA, ONTARIO

Title
GRADING PLAN

Project No. 160401747
Scale 1:100
Drawing No. GP-1
Sheet 3 of 6
Revision 1

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2022/11/17 11:31 AM J.P. - 036.dwg

DESIGN BRIEF

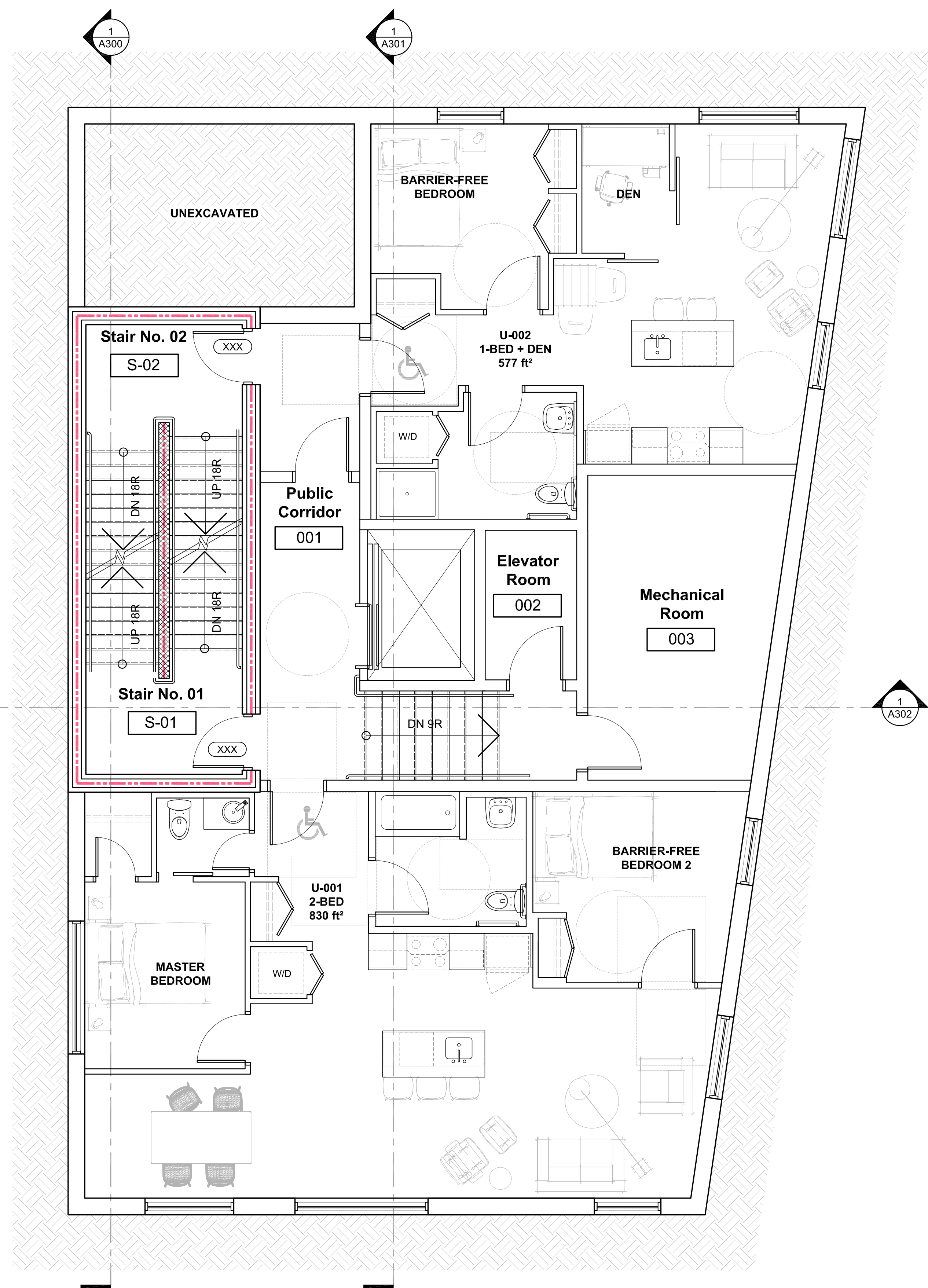
1806 Scott Street North, Ottawa
16-unit Low-Rise Apartment Building

November 2, 2022

Appendix

Appendix A-4

Floor plans



GFA THIS FLOOR: 137.6 m²

1
A100
BASEMENT FLOOR
FLOOR PLAN
1 : 50



GFA THIS FLOOR: 137.6 m²

2
A100
GROUND FLOOR
FLOOR PLAN
1 : 50

CLIENT / OWNER :
GABRIELA GODINEZ-LAVERY
AND COLIN LAVERY
14 BREADNER BOULEVARD,
TRENTON, ON K8V 1E2
613-274-2872

STRUCTURAL ENGINEER :
ALTRIA DESIGN AND CONSTRUCTION LTD.
2445 CLOVER STREET
OTTAWA, ON K1V 8G4
613-697-6974

CONSULTING PLANNER
& LANDSCAPE ARCHITECT:
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

SURVEYOR :
FARLEY SMITH & DENIS SURVEYING LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON K2C 3G4
613-722-4420

CIVIL ENGINEER :
STANTEC
30 COLONNADE ROAD, SUITE 275
OTTAWA, ON K2E 7J6
613-727-8226

01	ISSUED FOR SITE PLAN CONTROL & ZBA	23 NOV. 2022
rev. / issue	description	date
		MM/DD/YY

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project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

OPA open plan architects inc.
architecture | interiors | concepts

2305 HILLARY AVE. | OTTAWA | ON | K1H 7J2
613.883.5090 | info@openplan.ca

project

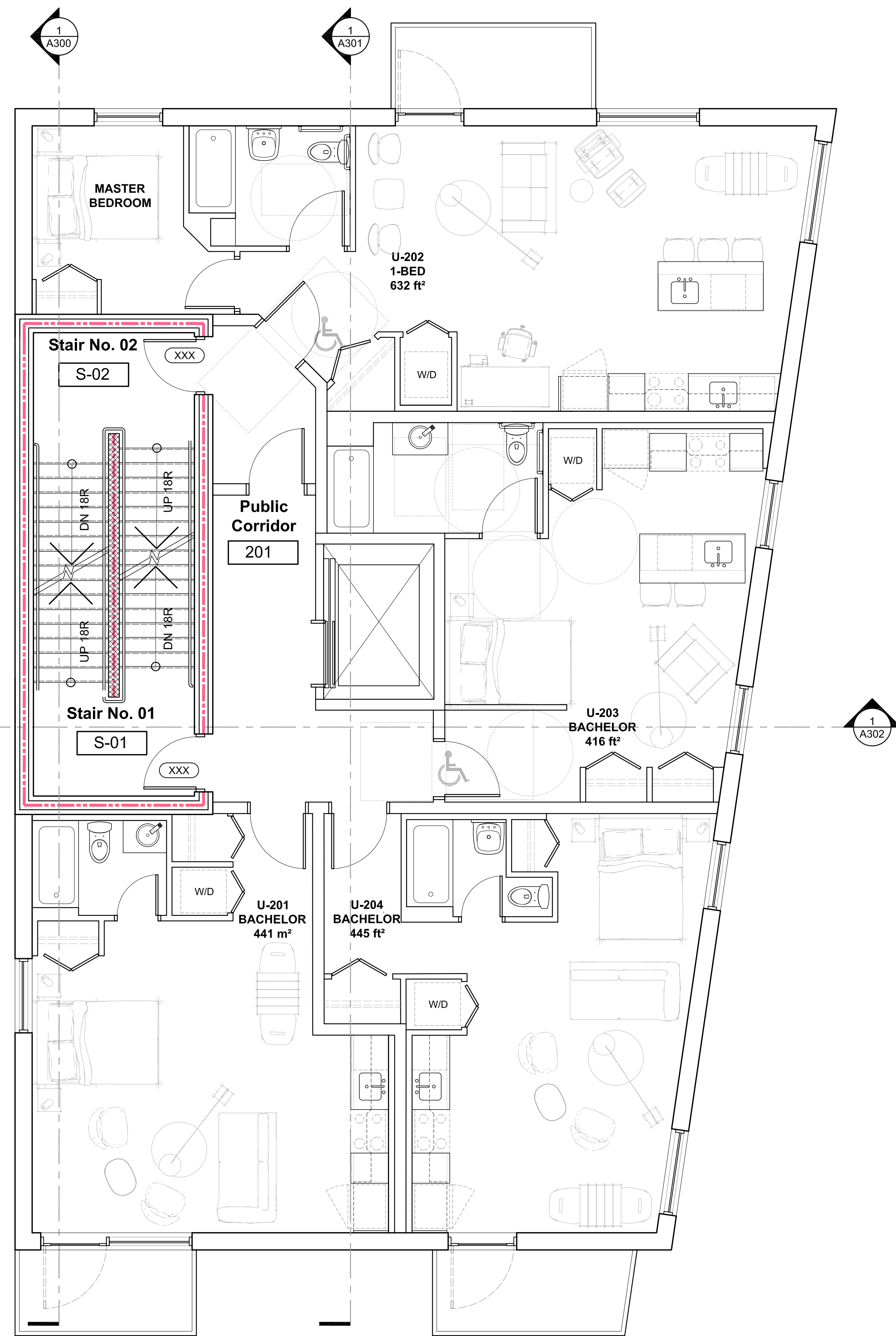
1806 SCOTT STREET, OTTAWA
RENTAL APARTMENT BUILDING

drawing

**FLOOR PLANS
BASEMENT & GROUND**

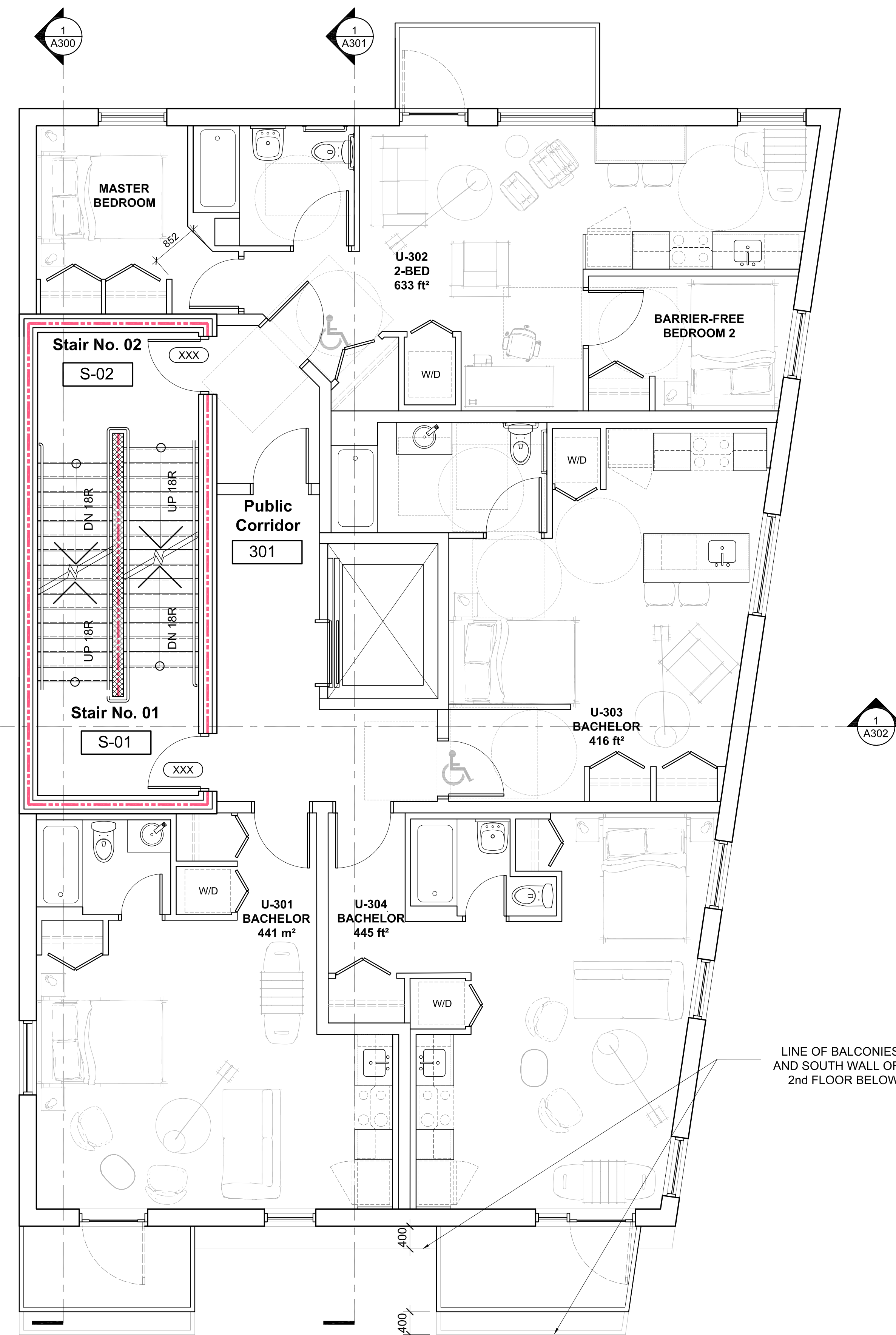
drawn	KDB	date	JANUARY 2022
approved	KDB	revision	1
project no.	2120	scale	1 : 50
drawing no.			

A100



GFA THIS FLOOR: 184.4 m²

1
A101
2nd FLOOR
FLOOR PLAN
1:50



GFA THIS FLOOR: 180.0 m²
(184.4 m² 3rd FLOOR)

2
A101
4th FLOOR (3rd IS SIM.)
FLOOR PLAN
1:50

CLIENT / OWNER:
GABRIELA GODINEZ-LAVERY
AND COLIN LAVERY
14 BREADNER BOULEVARD,
TRENTON, ON K8V 1E2
613-274-2872

STRUCTURAL ENGINEER:
ALTRA DESIGN AND CONSTRUCTION LTD.
2445 CLOVER STREET
OTTAWA, ON K1V 8G4
613-697-6974

CONSULTING PLANNER
& LANDSCAPE ARCHITECT:
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

SURVEYOR:
FARLEY SMITH & DENIS SURVEYING LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON K2C 3G4
613-722-4420

CIVIL ENGINEER:
STANTEC
30 COLONNADE ROAD, SUITE 275
OTTAWA, ON K2E 7J6
613-727-8226

rev. / issue	description	date
01	ISSUED FOR SITE PLAN CONTROL & ZBA	23 NOV. 2022

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project north

Kristopher D. Benes, OAA, MRAIC, LEED AP

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project

1806 SCOTT STREET, OTTAWA
RENTAL APARTMENT BUILDING

drawing

**FLOOR PLAN
2ND, 3RD & 4TH**

drawn	KDB	date	JANUARY 2022
approved	KDB	revision	1
project no.	2120	scale	1:50
drawing no.			

A101

DESIGN BRIEF

1806 Scott Street North, Ottawa
16-unit Low-Rise Apartment Building

November 2, 2022

Appendix

Appendix A-5

Building Elevations



1 EAST ELEVATION
A200 1 : 150








2 NORTH ELEVATION
A200 1 : 150



3 SOUTH ELEVATION
A200 1 : 150



4 WEST ELEVATION
A200 1 : 150

-  TREATED WOOD ACCENT SIDING OR METAL SIDING RESEMBLING WOOD
-  WHITE ALUMINUM COMPOSITE PANEL OR WHITE EIFS STUCCO
-  GLAZING
-  SPANDREL GLASS
-  BALCONY GLASS

CLIENT / OWNER :
GABRIELA GODINEZ-LAVERY
AND COLIN LAVERY
14 BREADNER BOULEVARD,
TRENTON, ON K8V 1E2
613-274-2872

STRUCTURAL ENGINEER :
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CIVIL ENGINEER :
STANTEC
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rev. / issue	description	date
01	ISSUED FOR SITE PLAN CONTROL & ZBA	23 NOV. 2022

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project

1806 SCOTT STREET, OTTAWA RENTAL APARTMENT BUILDING

drawing

BUILDING ELEVATIONS

drawn	KDB	date	JULY 2022
approved	KDB	revision	0
project no.	2120	scale	1 : 150

drawing no.

A200

DESIGN BRIEF

1806 Scott Street North, Ottawa
16-unit Low-Rise Apartment Building

November 2, 2022

Appendix

Appendix A-6

Shadow Study

September / March 21st



08:00



10:00



12:00



14:00



16:00

December 21st



08:00



10:00



12:00



14:00



16:00

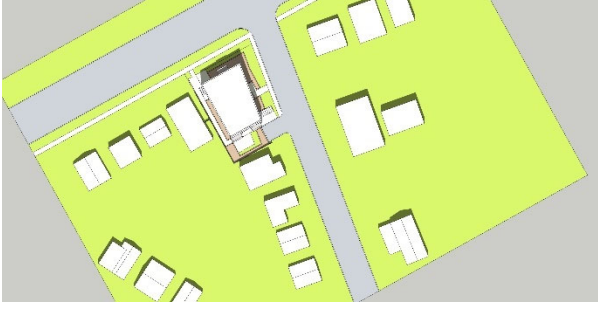
June 21st



08:00



10:00



12:00



14:00



16:00



18:00

DESIGN BRIEF

1806 Scott Street North, Ottawa
16-unit Low-Rise Apartment Building

November 2, 2022

Appendix

Appendix A-7

Streetscape Cross Section

