

1806 Scott Street, Ottawa

Unit breakdown:

Zoning Data:	bach.	1-bed	1-b+d	2-bed	total
Zone: R1MM (existing)					
Adjacent zones:					
north: O1					
south: R1MM					
east: R1MM					
west: R1MM					
	basement		1	1	2
	1 st floor		1	1	2
	2 nd floor	3	0	1	4
	3 rd floor	3		1	4
	4 th floor	3		1	4
	total	9	0	2	5
					16

Proposed building area: 260.3 m²

Proposed GFA: 816.0 m²

level B	133.2
level 1	133.2
level 2	183.2
level 3	183.2
level 4	183.2

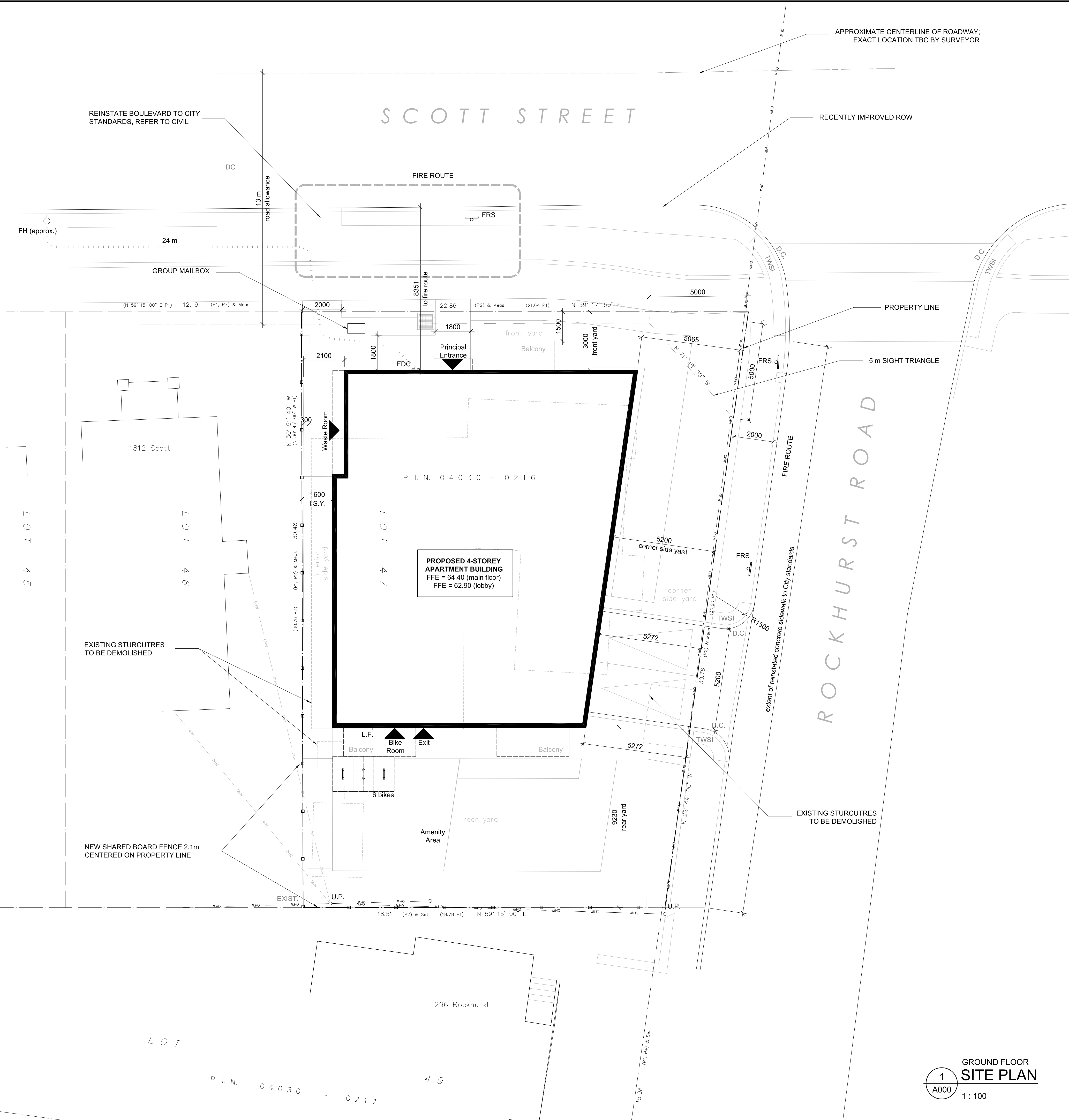
Proposed use: Apartment Dwelling, Low-Rise

Proposed number of units: 16
Proposed car parking: 2

Proposed amenity area: 186 m² (96 m² required)
Communal: 158 m², exterior
Private: 50 m², balconies

Bikes: 16
10 stacked in bike room at lobby level
06 at corner side yard

R4UD Zoning	Requirement	Provided	Compliance
Minimum Lot Width (m)	15 m	22.86 m	yes
Minimum Lot Area (m ²)	450 m ²	629.87 m ²	yes
Minimum FY Setback (Scott St. s. 144(1)(d), Table 162A)	R4UD: 4.5 m	3 m	no
Min. CSY Setback, Rockhurst Rd. s. 144(1)(g), Table 162A	R4UD: 4.5 m	5 m	yes
Min. RY Setback, Table 164A	30% of lot depth: 9.23 m	9.23 m	yes
Min. ISY Setback (m), s. 144(2) b) (i), Table 162A	1.5 m	1.0 m	yes
Minimum Building Height, Table 162A	14.5 m / 4 storeys	14.5 m / 4 storeys	yes
Two-bedroom dwelling units, s. 161(16)(b)	At least 25% of dwelling units must have at least two bedrooms	25% of dwelling units are 2-bedroom	yes
Minimum fenestration s. 161(15)(g)	Front facade (Scott St.) must comprise at least 25% windows Corner side facade (Rockhurst Rd.) must comprise at least 15% windows	25.8% 65.12 m ² / 243.08 m ² 23.9% 69.74 m ² / 291.35 m ²	yes
Parking Requirements Area X on Schedule 1A	0.5/unit, less the first 12 units (resident): 2 required 0.1/unit, less the first 12 units (visitor): 0 required. Total parking required = 2 spaces	2 provided	yes
Bicycle Parking Table 111A	0.5 per dwelling unit: 8 required	16 provided	yes



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project
**1806 SCOTT STREET, OTTAWA
RENTAL APARTMENT BUILDING**

drawing
Site Plan

drawn	KDB	date	JUNE 2023
approved	KDB	revision	△
project no.	2120	scale	AS SHOWN
drawing no.			

A000



SURVEY INFORMATION TAKEN FROM
SURVEY PREPARED FARLEY, SMITH &
DENIS SURVEYING LTD., DATED
JANUARY 17, 2022, FILE NO. 650-21

GROUND FLOOR
SITE PLAN
1: 100

D07-12-23-0006 & D02-02-23-0007

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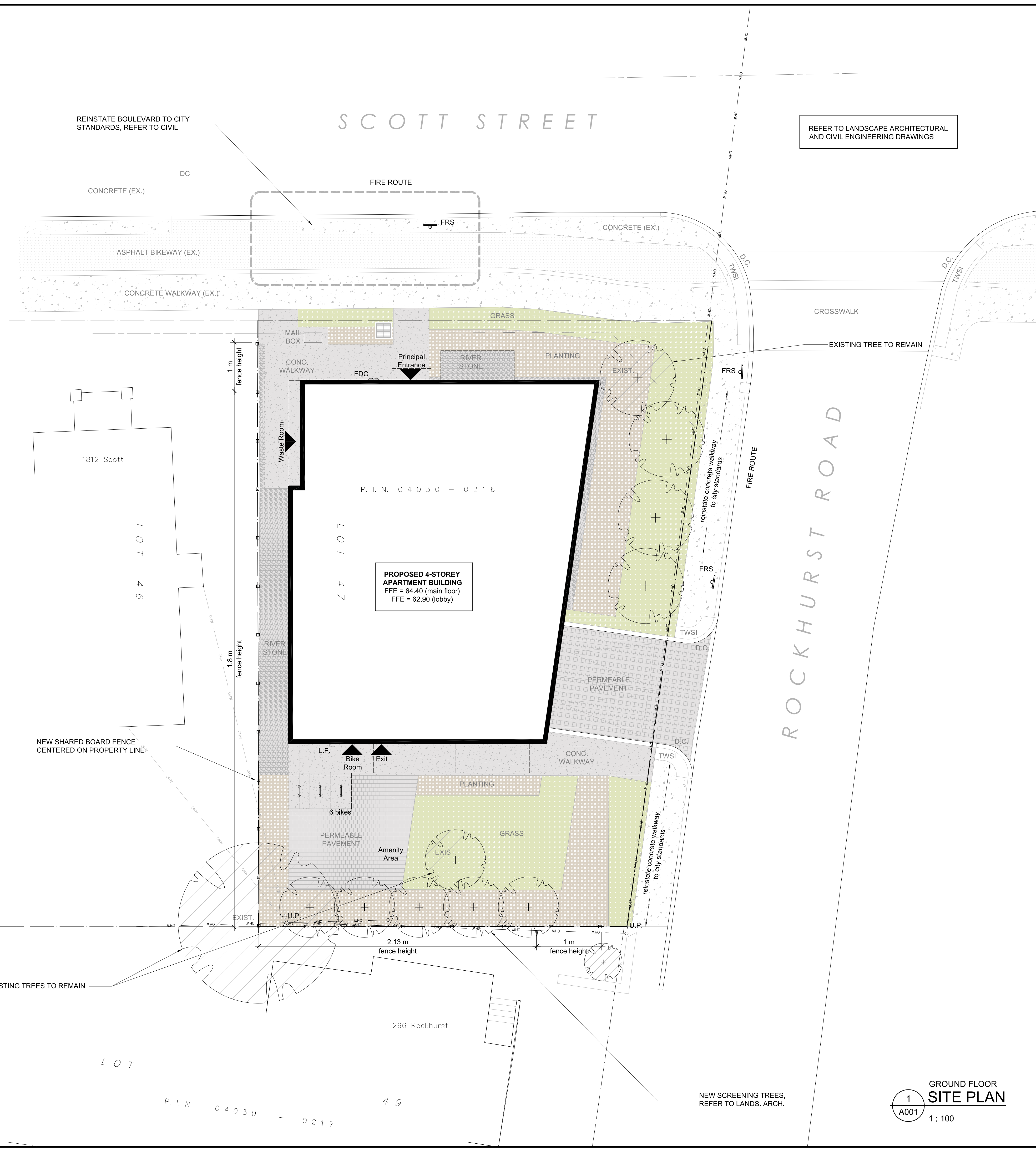
GARBAGE ROOM
2
 A001
 1:50
PART PLAN

BIKE ROOM
3
 A001
 1:50
PART PLAN

NEW BOARD FENCE
4
 A001
 1:50
ELEVATION



SURVEY INFORMATION TAKEN FROM
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1
 A001
 1:100
**GROUND FLOOR
 SITE PLAN**

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1806 SCOTT STREET, OTTAWA
 RENTAL APARTMENT BUILDING

drawing

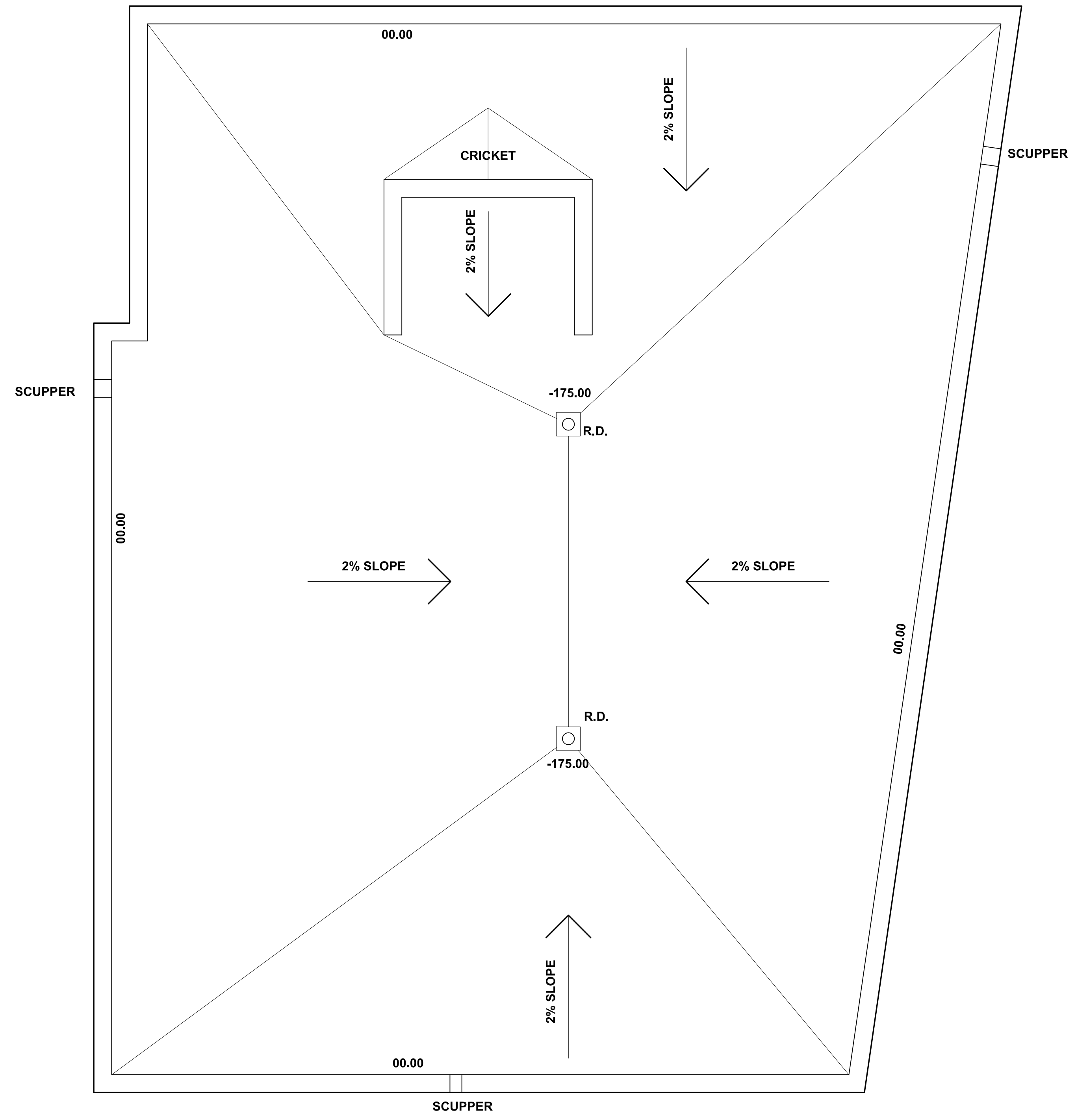
Site Plan
 Surfacing, Landscape
 & Details

drawn	KDB	date	JUNE 2023
approved	KDB	revision	1
project no.	2120	scale	AS SHOWN
drawing no.			

A001

D07-12-23-0006 & D02-02-23-0007

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**1806 SCOTT STREET, OTTAWA
 RENTAL APARTMENT BUILDING**

drawing

ROOF PLAN

drawn	KDB	date	JULY 2022
approved	KDB	revision	
project no.	2120	scale	1 : 50
drawing no.			

1 ROOF PLAN
 A102 1 : 50

A102

D07-12-23-0006 & D02-02-23-0007

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