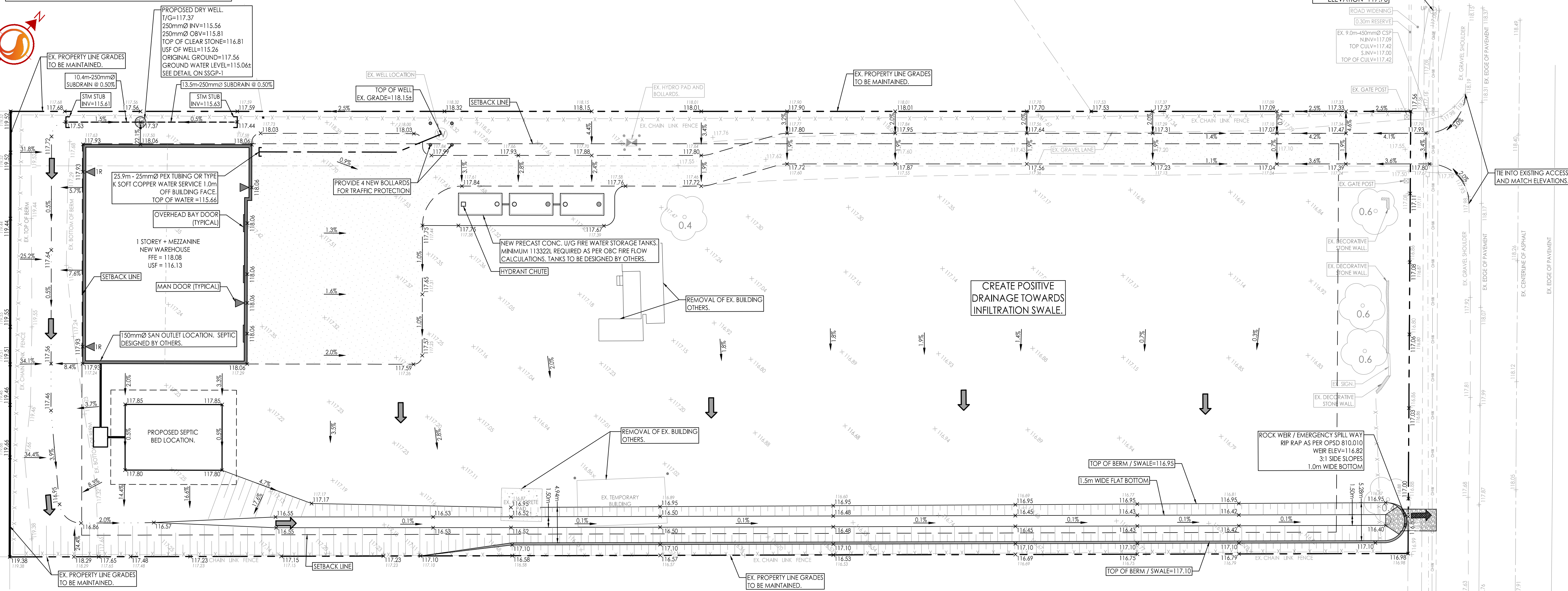
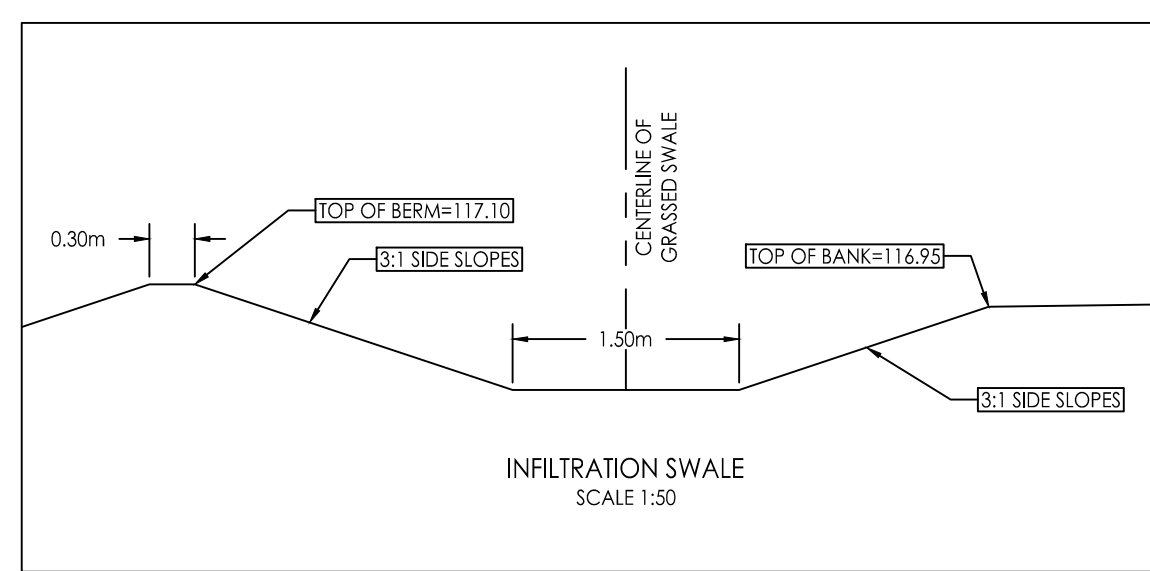
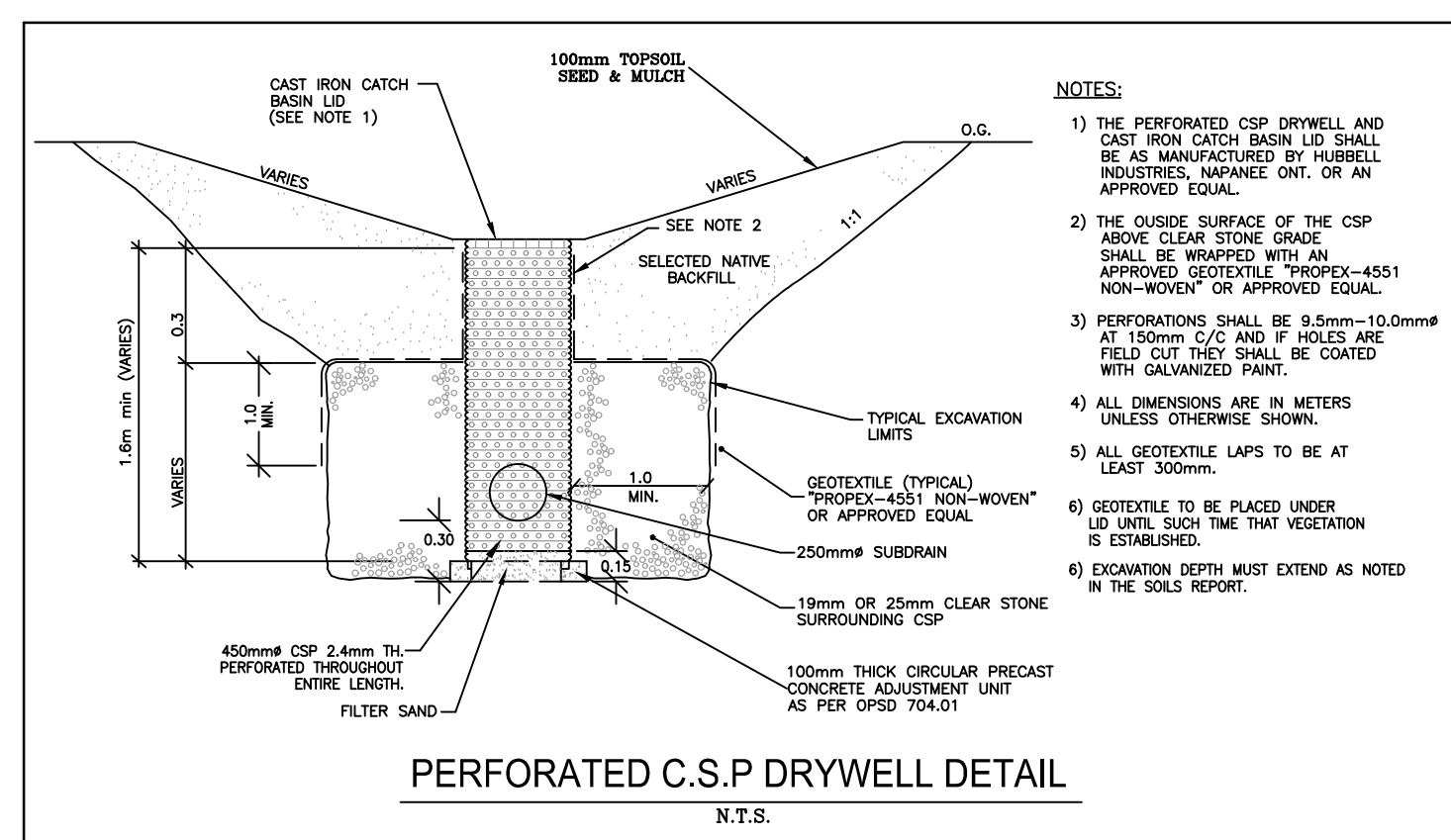
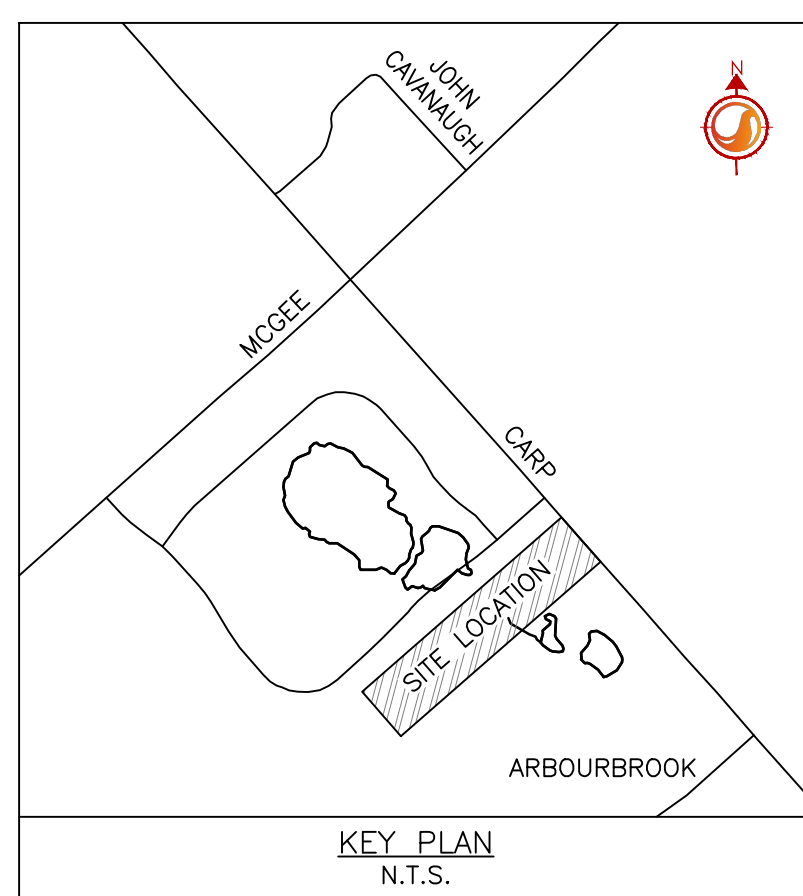


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Legend

- PROPERTY LINE
- EXISTING GROUND ELEVATION
- EXISTING ROAD SIDE DITCH
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING CHAIN LINK FENCE
- EXISTING CONCRETE GATE POST
- EXISTING ROAD CENTERLINE
- EXISTING TREE
- EXISTING WELL LOCATION
- EXISTING TRANSFORMER AND BOLLARDS
- EXISTING CULVERT
- PROPOSED WATER SERVICE
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- FINISHED FIRST FLOOR ELEVATION
- UNDERSIDE OF FOOTING ELEVATION
- ENGINEERED FILL REQUIRED
- TERRACING 3:1 SLOPE MINIMUM (UNLESS OTHERWISE SHOWN)
- DIRECTION OF OVERLAND FLOW
- PROPOSED GRAVEL ACCESS



- GENERAL NOTES**
1. ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
  2. ALL WORK AND MATERIALS TO CONFORM WITH CURRENT MINISTRY OF THE ENVIRONMENT & ENERGY OF ONTARIO, CITY OF OTTAWA AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS. LOCAL UTILITY STANDARDS AND MINISTRY OF TRANSPORTATION STANDARDS WILL APPLY WHERE REQUIRED.
  3. THE CONTRACTOR IS ADVISED THAT WORKS BY OTHERS MAY BE ONGOING DURING THE PERIOD OF THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND COORDINATION WITH ALL OTHER CONTRACTORS AND PREVENT CONSTRUCTION CONFLICTS.
  4. THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS PROVIDED BY OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED AND VERIFIED BY EACH UTILITY PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.
  5. ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL CONSULTANT, OBC, MUNICIPAL AND PROVINCIAL STANDARDS.
  6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED AND TO BEAR THE COST OF SAME INCLUDING WATER PERMIT AND ASSOCIATED COSTS.
  7. ALL DISTURBED AREAS SHALL BE REINSTATED TO EQUAL OR BETTER CONDITION TO THE SATISFACTION THE ENGINEER AND THE TOWNSHIP. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD R10, OPSD 509.010 AND OPSD 310.
  8. BENCHMARKS: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE SITE BENCHMARK(S) HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON DRAWING SSGP-1.
  9. THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER 1 (ONE) SET OF AS CONSTRUCTED SITE SERVICING, GRADING, AND SITE ELECTRICAL DWGS.
  10. CONTRACTOR TO LOCATE EXISTING SERVICE LATERALS PRIOR TO CONSTRUCTION. EXISTING STORM AND SANITARY SERVICE LATERALS TO BE ABANDONED PER S11.4. EXISTING WATER SERVICE TO BE BLANKED AT THE MAIN (TYP).
  11. TOPOGRAPHIC SURVEY SUPPLIED BY FAIRHALL MOPFATT AND WOODLAND LTD. JOB No. 217300. TOPOGRAPHIC SURVEY OF PART OF LOT 9, CONCESSION 3 GEOGRAPHIC TOWNSHIP OF HUNTERLEY, CITY OF OTTAWA.
  12. SITE PLAN PREPARED BY JIM BELL ARCHITECTURAL DESIGN INC. DATED OCTOBER 14, 2021 DRAWING A.0.
  13. GEOTECHNICAL REPORT PREPARED BY GEMTEC, TITLED PROPOSED COMMERCIAL DEVELOPMENT, 2885 CARP ROAD, OTTAWA, ONTARIO.
- WATER SUPPLY SERVICING**
1. THE CONTRACTOR SHALL CONSTRUCT WATERMAIN, WATER SERVICES, CONNECTIONS & APPURTENANCES AS PER CITY OF OTTAWA SPECIFICATIONS & SHALL CO-ORDINATE AND PAY ALL RELATED COSTS INCLUDING THE COST OF CONNECTION, INSPECTION & DISINFECTION.
  2. WATER SERVICE TO BE INSTALLED 1.0m OFF BUILDING FACE.
  3. DRILLED POTABLE WATER WELL IS TO BE DESIGNED AND INSTALLED BY LICENSED WELL CONTRACTOR THAT USES LICENSED TECHNICIANS. INSTALLATION OF ON-SITE WELL SHALL BE AS PER ONTARIO BUILDING CODE AND ONTARIO REGULATION 903 UNDER THE WATER RESOURCES ACT.
  4. WATERMAIN TRENCH AND BEDDING SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. W17 UNLESS OTHERWISE SPECIFIED. BEDDING AND COVER MATERIAL TO BE SPECIFIED BY PROJECT GEOTECHNICAL CONSULTANT.
  5. CATHODIC PROTECTION TO BE SUPPLIED ON METALIC FITTINGS AS PER CITY OF OTTAWA STD. W40 AND W42.
- SITE GRADING**
1. ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
  2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN.
  3. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
  4. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
  5. EMBANKMENTS TO BE SLOPED AT MAX. 3:1, UNLESS OTHERWISE SPECIFIED.
  6. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE TOWNSHIP PRIOR TO TREE CUTTING.
  7. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR "B" COMPACTED IN 0.15m LAYERS.
  8. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
  9. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
  10. UNDERSIDE-OF-FOOTING TO HAVE MINIMUM COVER OF 1.5m. WHERE SUFFICIENT COVER IS NOT PROVIDED, FOOTINGS ARE TO BE INSULATED TO PROVIDED EQUIVALENT INSULATION.
  11. PAVEMENT CONSTRUCTION SHALL BE AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.

Revision	By	Appd.	Date	
0	ISSUED FOR SPA	MJS	NC	22.12.02
				YY.MM.DD

Permit-Seal	File Name:	MJS	NC	MJS	22.11.09
	160401724.DB	Dwn.	Chkd.	Dgn.	YY.MM.DD

Client/Project  
HQ MANAGEMENT GROUP

2885 CARP ROAD  
NEW WAREHOUSE BUILDING  
OTTAWA, ON, CANADA

Title  
SITE SERVICING AND GRADING PLAN

Project No. 160401724	Scale 1:300	Sheet 1 of 3	Revision 0
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Drawing No. SSGP-1