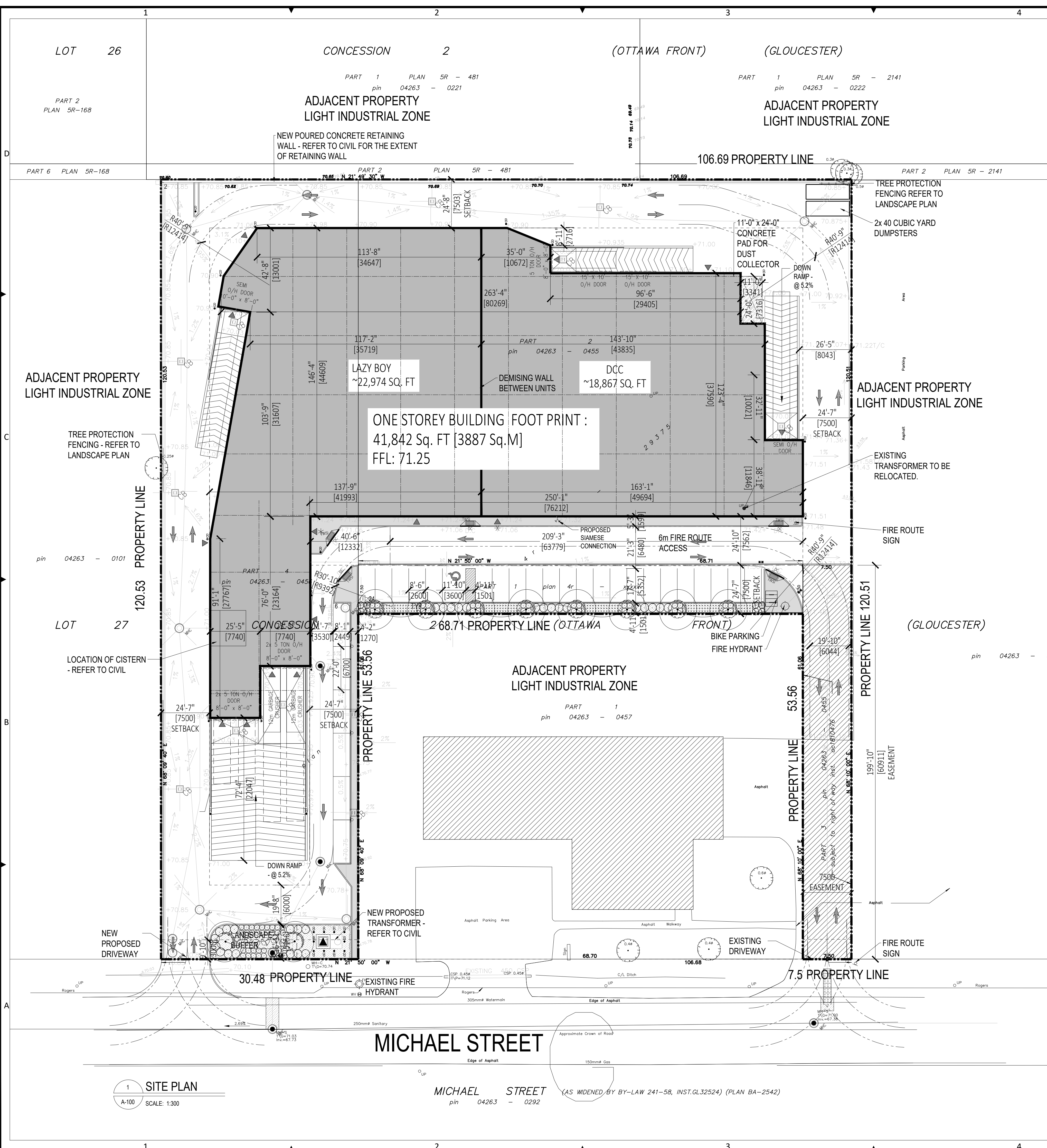


Arch D (24x36) title block © 2018, Nicholas Caragianis Architect Inc.

T:\ACM Michael Street\3.0 DWGS\3.3 Working\Drawings\3.3.7 Sheets\A1.0 SitePlan - JESSIP - 2023-02-14



LEGEND

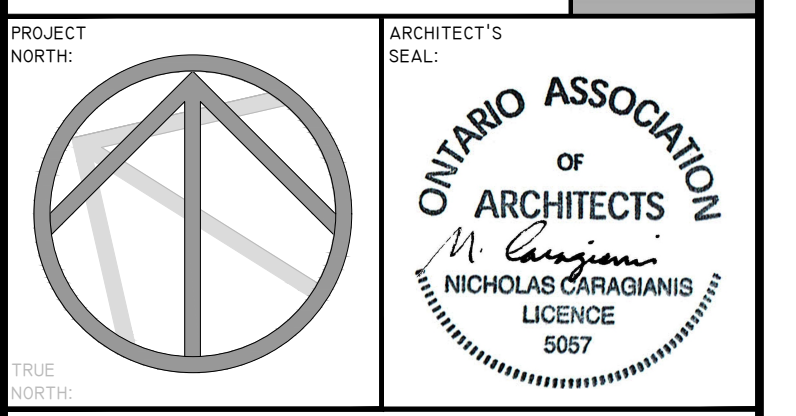
PROPOSED BUILDING LOCATION	CATCH BASIN
EXISTING NEIGHBORING BUILDINGS	AREA DRAIN
LANDSCAPED AREA	SIEMSE CONNECTION
CONCRETE/SIDEWALK	ENTRANCE/EXIT LOCATION
BARRIER FREE PARKING CLEARANCE	PRINCIPAL ENTRANCE
CURB	TRANSFORMER
DEPRESSED CURB	FENCE & GATE
NEW TREE/VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)	MAN HOLE COVER
EXISTING TREE (VEGETATION IS FOR REFERENCE ONLY, REFER TO LANDSCAPE PLAN)	EXISTING UTILITY POLE / LIGHT STANDARD
BARRIER FREE PARKING	FIRE HYDRANT
INTERIOR PARKING	NLS (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
EXISTING PAVERS	BOLLARD
EXISTING CONCRETE/SIDEWALK	FIRE ROUTE ACCESS / NO PARKING SIGN SEE DRAWING K/A-101
TWSI TACTILE WALKING SURFACE INDICATOR	STOP SIGN SEE DRAWING K/A-101
	VEHICULAR TRAFFIC DIRECTION
	PROPOSED WATERMAN STANDPOST

SITE STATISTICS

LEGAL DESCRIPTION OF PROPERTY	PROVISIONS	REQUIRED	PROPOSED
PLAN OF SURVEY OF PART OF LOT 27, CONCESSION 2, PART 1, 2, 3 & 4 TOWNSHIP OF GLOUCESTER	LOT AREA (min.)	2,000 m ²	9,177 m ²
PROPOSED 1-STORY BUILDING	LOT COVERAGE (max.)	65 %	42.36 %
PARCEL: 2.15 AC, 93,861 Sq. F, 8,720 m ²	LOT FRONTAGE (min.)	No Minimum	38.0 M
EASEMENT: 0.11 AC, 4,916 Sq. F, 457 m ²	FRONT YARD (min.)	7.5 M	7.5 M
PARCEL AFTER EASEMENT: 2.27 AC, 98,777 Sq. F, 9177 m ²	SIDE YARD (min.)	7.5 M	7.5 M
FOOTPRINT: (Measured to face of Ext. Walls) 41,842 SF, 3,887m ²	REAR YARD (min.)	7.5 M	7.5 M
MEZZANINE AREA: 4,251 SF, 395 m ²	BUILDING HEIGHT (max.)	18.0 M	12.2 M
TOTAL GFA (*): 46,093 SF, 4,282m ²	LANDSCAPE BUFFER (street)	3.0 M	5.16 M
(* MEASURED FROM EXTERIOR FACES OF EXTERIOR WALLS)	PARKING (2.6m x 5.2m and/or 2.6m x 6.7m)	31 TOTAL	31 TOTAL
	BARRIER FREE PARKING - Included in total (3.6m x 5.2m)	1	1
	BICYCLE PARKING	3	4
	TREE PROTECTION BY-LAW: # OF TREES REQUIRING PERMIT FOR REMOVAL: 18		
LOT COVERAGE: 42.36 % (LOT AFTER EASEMENT)			

nicholas caragianis architect inc.

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Notes: Contractor must verify all drawings, dimensions, details and specifications and report any discrepancies to the architect before proceeding with work. All drawings and specifications are instruments of service and the property of the architect, and these must be returned at the completion of the project, and may not be reproduced without the architect's written permission. All drawings are to be read in conjunction with specifications and consultants' documents. Do not scale drawings. Do not use for construction unless both indicated as "For Construction" and bearing the architect's stamp and signature. All construction to meet local, provincial and federal requirements.

CIVIL:
D.B. Grey Engineering Inc.
700 Long Point Circle, Ottawa
Ontario K1T 4E9
TEL: 613-425-8044

MECHANICAL & ELECTRICAL:
Miriton Ltd.
31-2000 Thurston Drive, Ottawa
Ontario K1G 4K7
TEL: 613-722-5486

STRUCTURAL:
D+M Structural Engineering
110-333 Preston Street, Ottawa
Ontario K1S 5N4
TEL: 613-651-9490

ENVIRONMENTAL:
Terrapex Environmental Ltd.
1-20 Gurdwara Road, Ottawa
Ontario K2E 8B3
TEL: 613-745-6471

LANDSCAPING & PLANNING:
Novatech
200-240 Michael Cowpland Dr
Ottawa, Ontario K2M 1P6
TEL: 613-254-9643

NO.	DATE	DESCRIPTION
19	2023/02/14	FOR SPC SUBMISSION
18	2023/02/03	FOR CONSULTANT COORD
17	2023/02/03	FOR CLIENT REV.
16	2023/01/26	FOR CONSULTANT COORD
15	2023/01/13	FOR CONSULTANT COORD
14	2023/01/04	FOR CONSULTANT COORD
13	2022/12/12	FOR CONSULTANT COORD
12	2022/12/06	FOR CONSULTANT COORD
11	2022/11/17	FOR TRAFFIC REV.
10	2022/10/24	FOR OWNER INFO
ISSUE	YYYY/MM/DD	ISSUES DESCRIPTION

CLIENT NAME AND ADDRESS:
AVENYN FUND
503-359 KENT ST.
OTTAWA ON. K2P 0R6

PROJECT NAME & LOCATION:
MICHAEL STREET
1591 & 1611 MICHAEL ST.
OTTAWA, ON
K1B 3T3

NCA PROJECT NUMBER: 2022.0003 FILE NUMBER:
OWNER'S CONTRACT NUMBER: OWNER'S PROJECT NUMBER:

CAD FILE NAME: A1.0 SITEPLAN

SHEET TITLE: SITE PLAN

SCALE: 1:250 SHEET ID:
DRAWN BY: SG
DATE CREATED: 2021.07.20
A-100

1 SITE PLAN
A-100 SCALE: 1:300

MICHAEL STREET (AS WIDENED BY BY-LAW 241-58, INST.Q.32524) (PLAN BA-2542)
pin 04263 - 0292