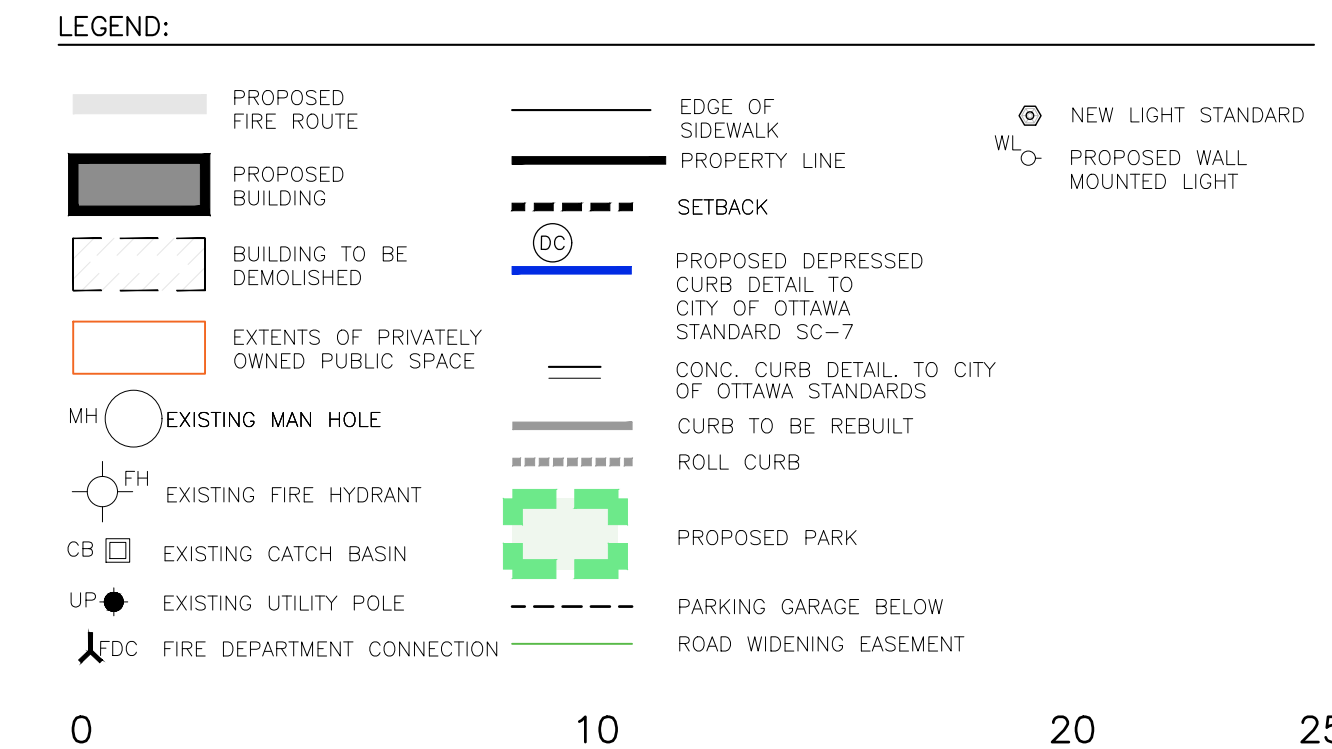
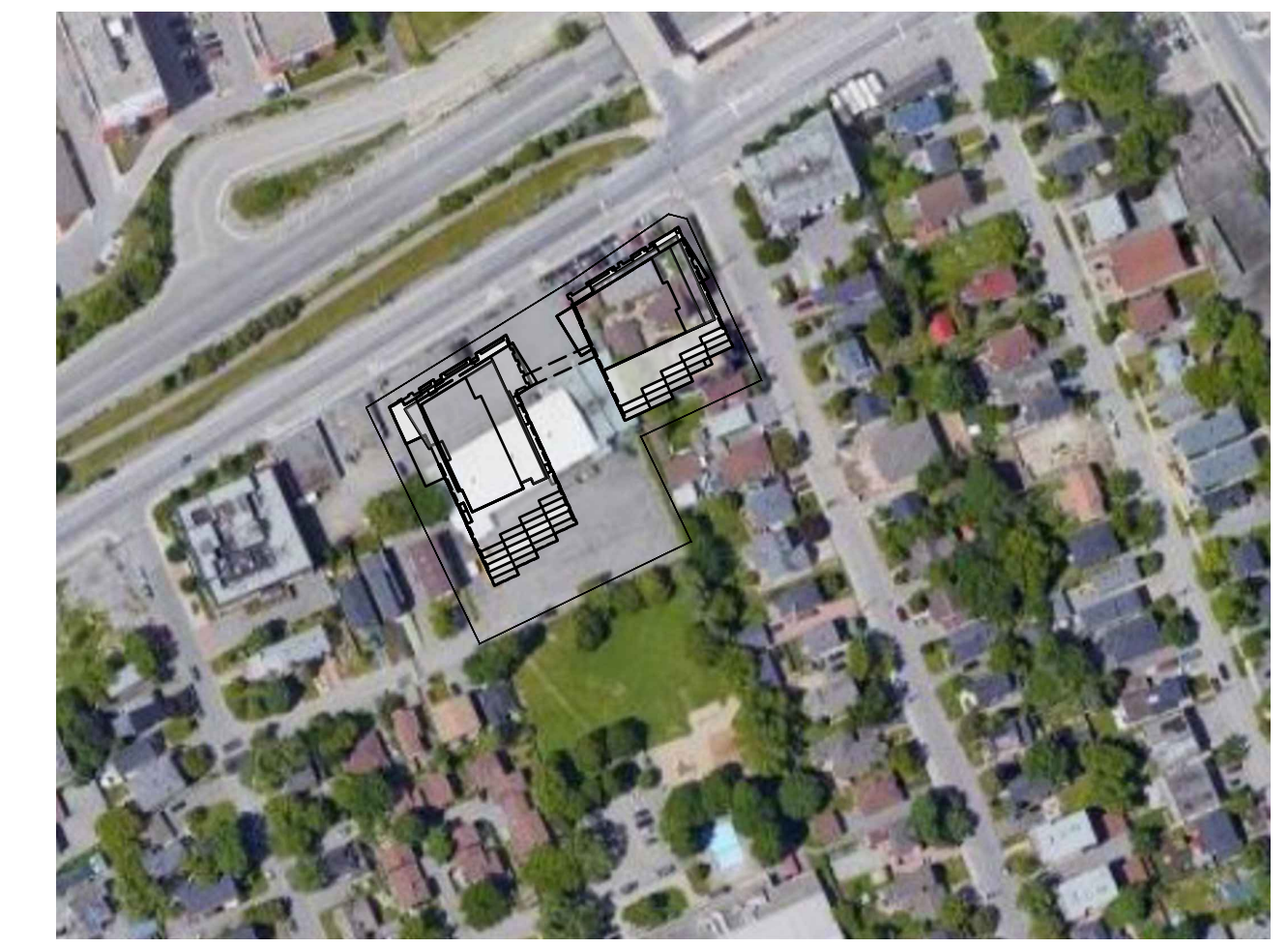


LOCATION PLAN 1:2000



SCALE 1 : 150

ZONING NOTES:

CURRENT ZONING: WEST PARCEL L1, EAST PARCELS TM[102]
 TOTAL LOT AREA : 6,268 m²
 LOT AREA DEDICATE TO PARKLAND: 663 m²
 LOT AREA RETAINED: 5,605 m²

DEVELOPMENT STATS PHASE 1 + PHASE 2	REQUIRED	PROPOSED
LOT WIDTH		101.4m IRREGULAR
LOT DEPTH		75.3m IRREGULAR
FRONT YARD SETBACK	SCOTT STREET 3m	VARIES - 2.7-7.5m
REAR YARD SETBACK	7.5m	VARIES-5.4-18.1m
SIDE YARD SETBACK	ATHLONE AVE. 3m	3.0m
INTERIOR SIDE YARD SETBACK	7.5m	VARIES-6.0-11.2m

AMENITY SPACE REQUIREMENTS	REQUIRED PER UNIT	PROVIDED
REQUIRED AMENITY SPACE	6 m ²	6.4 m ²
901 UNITS X 6 SQ.M. = 5,406 SQ.M. TOTAL AMENITY REQUIRED		
REQUIRED AMENITY SPACE TO BE COMMON	2703 SQ.M.	
PROVIDED AMENITY SPACE TO BE COMMON		2703 SQ.M.

BUILDING B (WEST BUILDING) - PHASE 2	PROPOSED
NO. OF STOREYS	40 STOREYS
BUILDING HEIGHT	123m
FRONT YARD SETBACK	SCOTT STREET VARIES - 3.1-7.5m
REAR YARD SETBACK	FROM PROPERTY LINE VARIES-1.7-7.7m
INTERIOR SIDE YARD SETBACK	PODIUM SEPARATION FROM B2 23.5m
SIDE YARD SETBACK	FROM PROPERTY LINE VARIES-6.0-11.2m
	ADJACENT PROP. TOWER SEPARATION (ABOVE LEVEL 10) 12.7m

BUILDING A (EAST BUILDING) - PHASE 1	PROPOSED
NO. OF STOREYS	40 STOREYS
BUILDING HEIGHT	123m
FRONT YARD SETBACK	SCOTT STREET VARIES-3.0-7.5m
REAR YARD SETBACK	FROM PROPERTY LINE VARIES-5.4-11.5m
SIDE YARD SETBACK	ATHLONE AVE. 3.0m
INTERIOR SIDE YARD SETBACK	PODIUM SEPARATION FROM B1 23.5m
	TOWER SEPARATION FROM B1 (ABOVE LEVEL 10) 25.5m

NOTE: ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED MARCH 1, 2022
 PREPARED BY STANTEC GEOMATICS LTD.
 PART OF LOT 60 AND ALL OF LOTS 61 & 62 REGISTERED PLAN 263 AND PART OF LOT 31 CONCESSION 1 (OTTAWA FRONT), (GEOGRAPHIC TOWNSHIP OF NEPEAN)



PROJECT TEAM

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NO.	DATE	REVISION
4	23-10-13	REISSUED FOR SPC
3	23-02-22	ISSUED FOR SPC
2	22-04-07	ISSUED FOR REZONING
1	21-06-08	CITY OF OTTAWA PRECONSULTATION

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.
 This drawing may not be used for construction until signed.

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PROJECT LOCATION:
MORLEY HOPPNER LTD.
 314 & 318 ATHLONE AVE., 2006, 2020, 2026 SCOTT ST.
 OTTAWA ON.

DRAWING TITLE:
SITE PLAN

DRAWN BY: DATE: SCALE:
 PB 23-10-13 1:150

PROJECT: 1937
 DRAWING NO.: A1.00

REVISION NO.:

WEST BUILDING - PHASE 2	REQUIRED	PROPOSED	+/-
TOTAL UNIT COUNT			+/- 479
STUDIOS	80	17%	
1 INTERNAL BEDROOM	10	2%	
1 BEDROOM	192	40%	
1 BEDROOM + DEN	23	5%	
2 BEDROOM (1 INTERNAL)	16	4%	
2 BEDROOM	144	30%	
2 BEDROOM + DEN	4	1%	
3 BEDROOM + DEN	8	2%	
MAXIMUM HEIGHT		123m	
NUMBER OF STOREYS		40 STOREYS	
AREA - BUILDING AREA		1693 SQ.M.	
AREA - TYPICAL PODIUM		1608 SQ.M.	
AREA - TYPICAL PLATE		848 SQ.M.	
AREA - TOTAL GROSS BUILDING AREA (GBA)		+/- 40,119 SQ.M.	
AREA - TOTAL GROSS FLOOR AREA (GFA - CITY DEFINITION)		+/- 32,444 SQ.M.	

BUILDING A (EAST BUILDING) - PHASE 1	REQUIRED	PROPOSED	+/-
TOTAL UNIT COUNT			+/- 422
STUDIOS	101	24%	
1 INTERNAL BEDROOM	7	1.7%	
1 BEDROOM	161	38%	
1 BEDROOM + DEN	6	1%	
2 BEDROOM (1 INTERNAL)	16	4%	
2 BEDROOM	122	29%	
2 BEDROOM + DEN	3	1%	
3 BEDROOM + DEN	6	1.4%	
MAXIMUM HEIGHT		123m	
NUMBER OF STOREYS		40 STOREYS	
AREA - BUILDING AREA		1256 SQ.M.	
AREA - TYPICAL PODIUM		1284 SQ.M.	
AREA - TYPICAL PLATE		769 SQ.M.	
AREA - TOTAL GROSS BUILDING AREA (GBA)		+/- 34,189 SQ.M.	
AREA - TOTAL GROSS FLOOR AREA (GFA - CITY DEFINITION)		+/- 26,888 SQ.M.	

BUILDING A + B BICYCLE PARKING REQUIREMENTS: 901 units * 0.5 = 451
 PROVIDED BICYCLE PARKING
 796 (374 VERTICAL + 422 HORIZONTAL) + 10 AT EXT. GRADE) BICYCLE PARKING SPACES PROVIDED FOR 901 UNITS (0.88/UNIT)
 * LOCATED IN UNDERGROUND PARKING GARAGE, AT GROUND LEVEL (INT.), AT AT GRADE (EXT.)

LAND USE	PROVIDED RESIDENTIAL VEHICLE PARKING
APARTMENT	316 RESIDENTIAL PARKING SPACES PROVIDED FOR 901 UNITS (0.35/UNIT)
2. REQUIRED VISITOR PARKING	
LAND USE	PROVIDED VISITOR PARKING
APARTMENT	60 VISITOR PARKING SPACES PROVIDED FOR 901 UNITS (0.07/UNIT - Max. 30 spaces per building)* LOCATED IN PARKING GARAGE
TOTAL PARKING PROVIDED	378 TOTAL PARKING SPACES PROVIDED (ALL BELOW GRADE)