



100 GLOUCESTER-CLARIDGE HOMES

100 Gloucester St, Ottawa K2P 0A4

DRAWING LIST	
A-000	COVER SHEET
A-010	SITE PLAN
A-020	SHADOW ANALYSIS
A-030	MODEL VIEWS
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A-091	UNDERGROUND FLOOR PLAN - P2 & P3
A-100	GROUND FLOOR PLAN
A-101	FLOOR PLANS
A-102	FLOOR PLANS
A-200	SECTION CUTS
A-300	ELEVATIONS
A-301	ELEVATIONS

CLIENT: **CLARIDGE HOMES**
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 OTTAWA, ONTARIO K2P 0Y6
 T: (613) 233-6030 F: (613) 233-8290

ARCHITECTS: **EVOQ**
 1435, RUE SAINT-ALEXANDRE, BUREAU 1000
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 info@evoqarchitecture.com

LANDSCAPE ARCHITECTS:

STRUCTURAL ENGINEERS:

CIVIL ENGINEERS: **NOVATECH ENGINEERING CONSULTANTS LTD.** URBAN DESIGN CONSULTANTS:
 ENGINEERS & PLANNERS
 Suite 200, 260 Michael Cowpland Dr.
 Ottawa, Ontario, Canada K2M 0R6
 Telephone: (613) 254-9643
 Facsimile: (613) 254-9667
 Email: novan@novatech-eng.com

TOPOGRAPHICAL SURVEYOR:
Annis O'Sullivan, Vollebek Ltd.,
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500
 Nepean, Ontario, K2E 7S6
 Tel: (613) 727-0850
 email: nespear@ovoll.com

KEY PLAN:

PROJECT SUMMARY	
PROJECT STATISTICS	
SITE AREA (m ²)	1 832
BUILDING HEIGHT (STOREYS)	27
UNIT SUMMARY	
TOWNHOME (A)	0
STUDIO (B)	24
1 BEDROOM (C)	186
2 BEDROOMS (D)	105
3 BEDROOMS (E)	0
TOTAL	315
PARKING SUMMARY	
RESIDENT CAR PARKING PROVIDED	68
VISITOR CAR PARKING PROVIDED	30
TOTAL CAR PARKING PROVIDED	98
BICYCLE STORAGE PROVIDED (INTERIOR)	165
BICYCLE STORAGE PROVIDED (EXTERIOR)	0
BICYCLE STORAGE PROVIDED (TOTAL)	165
TYPICAL FLOOR AREA (m ²)	1541,40
BUILDING HEIGHT (m)	27 storeys (84,85)
BUILDING FOOTPRINT (PROJECTION) (m ²)	1015,00
BUILDING FOOTPRINT (GROUND FLOOR) (m ²)	802,91
GROSS FLOOR AREA TOTAL (m ²)	16566,75
GROSS AREA (residential, m ²)	16422,75
GROSS LEASABLE AREA (commercial, m ²)	144,00
SITE OCCUPANCY (%)	55%
DENSITY (FSI)	9,04
LANDSCAPE AREA (m ²)	985,09
LANDSCAPED AREA (%)	54%
RESIDENTIAL UNITS	315
CARETAKER UNITS	1
COMMON AMENITIES (m ²)	1040
PRIVATE AMENITIES (m ²)	1494,25
VERIFICATION 3m ² /unit	4,74
TOTAL AMENITIES (m ²)	2534,25
VERIFICATION 6m ² /unit	8,05
*Site area based on surveyor cad drawing	

Floor	GFA	AREA (m ²)		UNITS						AMENITIES (m ²)		
		GLA (Residential)	GLA (Commercial)	Townhome	Studio	1BR	2BR	3BR	Total	Common	Balconies/private terraces	Total
G	803	137,00	144	0	0	1	2	0	3	757	66,00	823
2	823	647,86	0	0	2	6	4	0	12	57	63,60	120,6
3	919	748,82	0	0	4	8	4	0	16	0	61,00	61
4	919	748,82	0	0	4	8	4	0	16	0	61,00	61
5	919	748,82	0	0	4	8	4	0	16	0	61,00	61
6	966	796,98	0	0	5	7	4	0	16	0	72,68	72,68
7	888	731,79	0	0	5	8	3	0	16	0	104,00	104
8	750	596,42	0	0	0	7	4	0	11	0	88,79	88,79
9	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
10	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
11	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
12	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
13	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
14	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
15	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
16	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
17	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
18	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
19	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
20	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
21	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
22	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
23	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
24	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
25	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
26	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
27	750	592,96	0	0	0	7	4	0	11	0	48,22	48,22
Roof / MPH	700	0,00	0	0	0	0	0	0	0	226	0,00	226
TOTAL	21938,2	16422,75	144	0	24	186	105	0	315	1040	1 494,25	2534,25

PARKING LEVELS									
Floor	AREA (m ²)	PARKING				Bicycle Storage			
		Standard	Small	Accessible	TOTAL	Horizontal	Vertical	Exterior	TOTAL
G								18	18
P1	1541	23	3	1	27	61	16		77
P2	1541	30	3	1	34	61	16		77
P3	1541	30	3	1	34	61	16		77
TOTAL	4623	83	9	3	95	183	48	0	249

NO SITE PLAN CONTROL

REVISION:

THE GENERAL CONTRACTOR:

- SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
- SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLINING ANY INACCURACIES.
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PROJECT: **100 GLOUCESTER**

DRAWING TITLE: **COVER SHEET**

DESIGN: NG APPROVED: XX

DRAWN: MF DATE: 2022-12-15

VERIFIED: XX SCALE:

PROJECT#: **9531-22** DRAWING#: **A-1_000**

SITE PLAN CONTROL		2022-12-19
N°:	DESCRIPTION:	BY DATE
REVISION:		

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PROJECT: **100 GLOUCESTER**

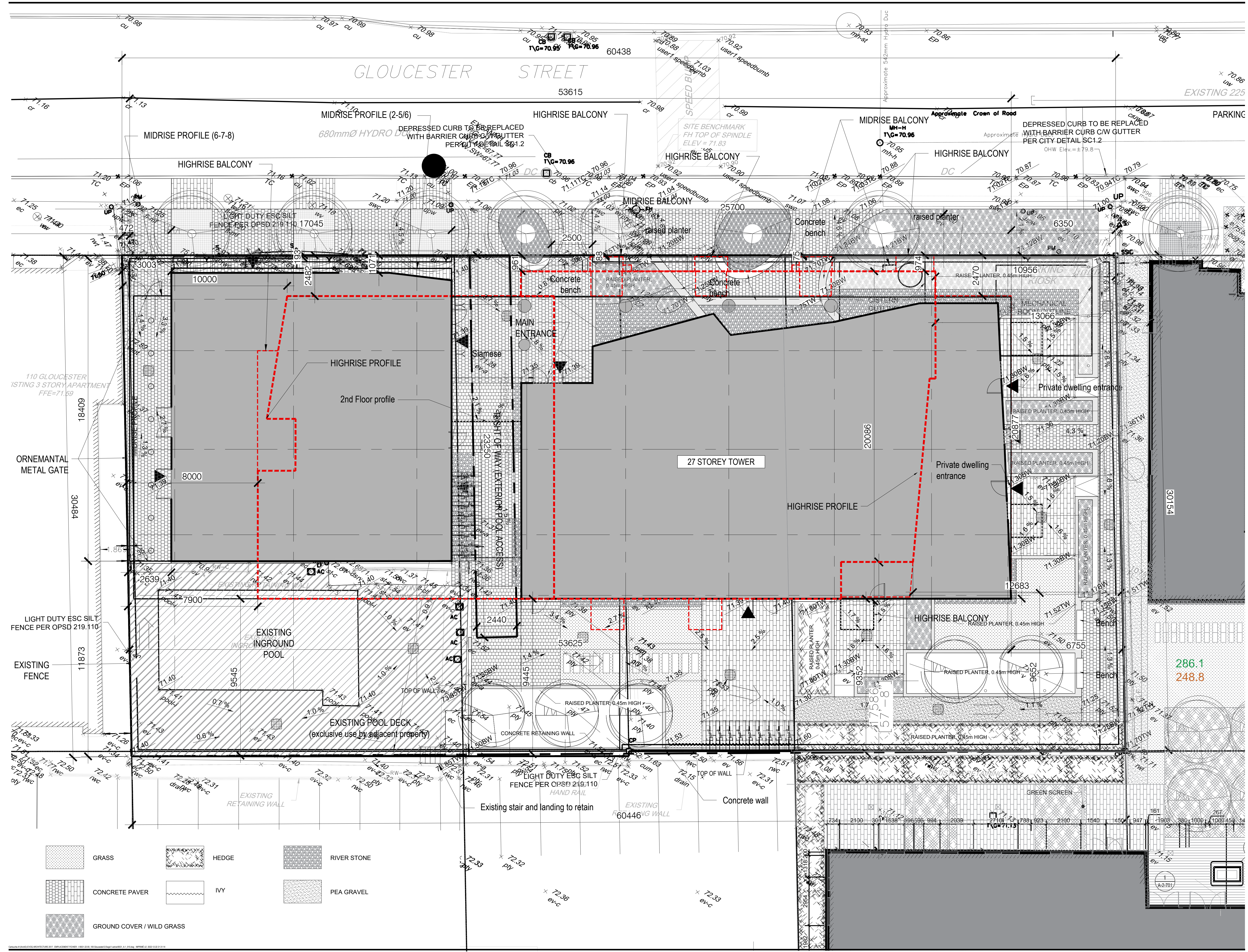
DRAWING TITLE: **SITE PLAN**

DESIGN: NG APPROVED: XX

DRAWN: MF DATE: 2022-12-16

VERIFIED: XX SCALE: 1:100

PROJECT N°: **9531-22** DRAWING N°: **A-1 010**



- GRASS
- CONCRETE PAVER
- GROUND COVER / WILD GRASS
- HEDGE
- IVY
- RIVER STONE
- PEA GRAVEL

SITE PLAN CONTROL		2022-12-19	
Nº	DESCRIPTION	BY	DATE

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PROJECT:

100 GLOUCESTER

DRAWING TITLE:

SUN STUDY

DESIGN: NG APPROVED: XX

DRAWN: MF DATE: 2022-12-16

VERIFIED: XX SCALE:

PROJECT Nº: DRAWING Nº:

9531-22 A-1_020

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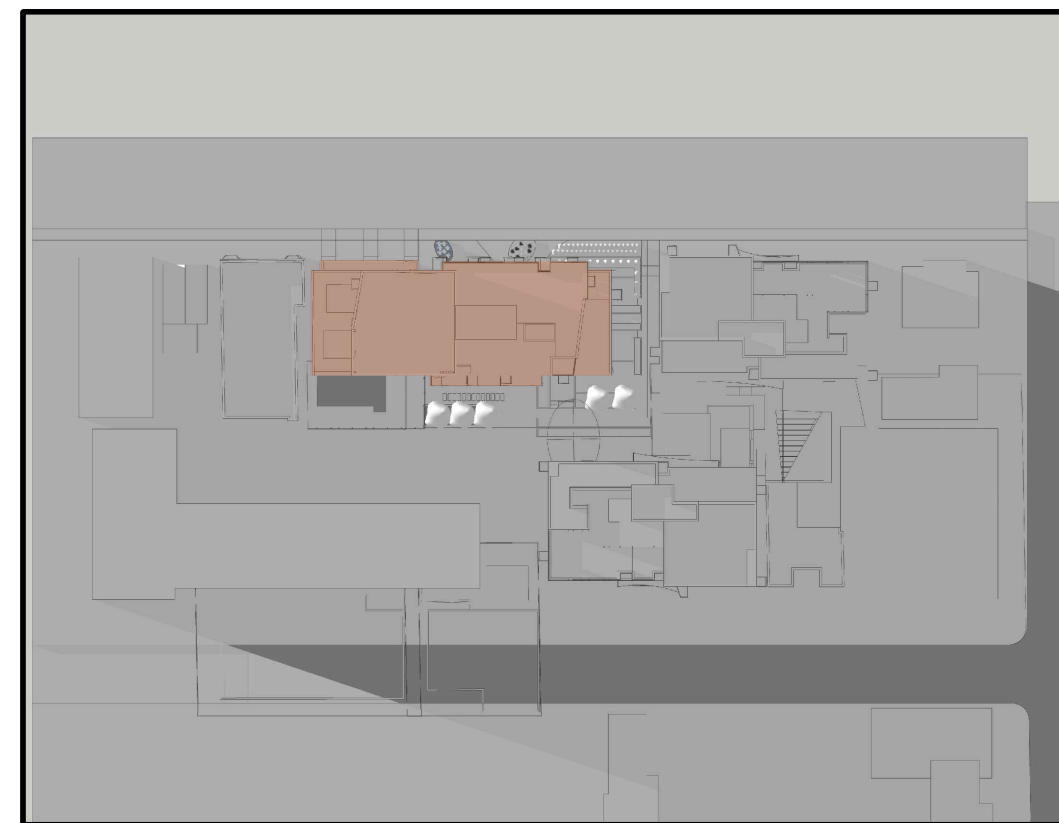
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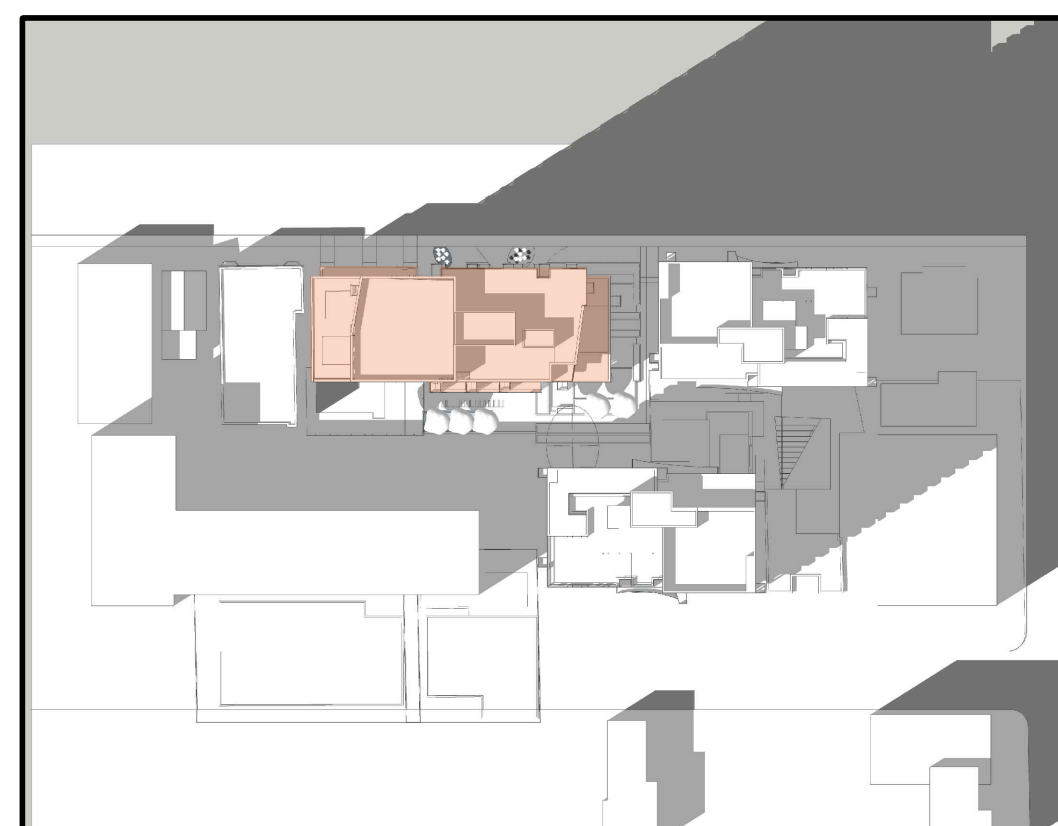
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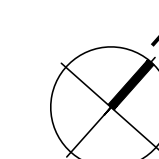
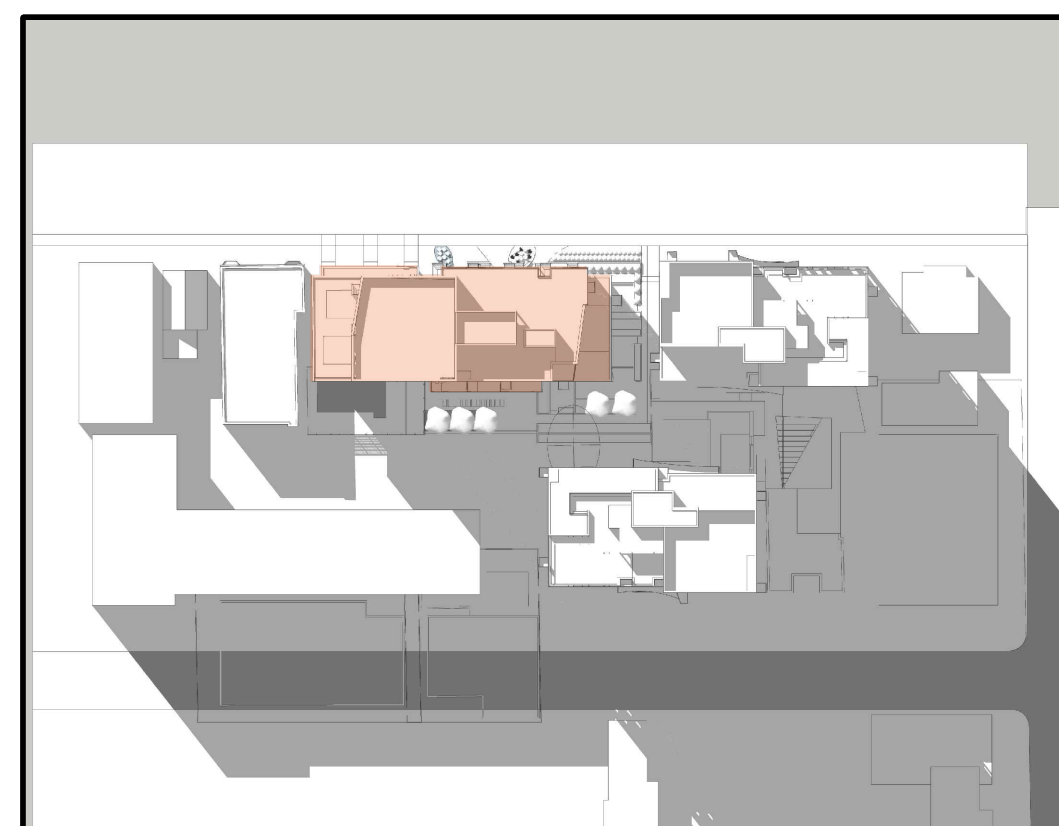
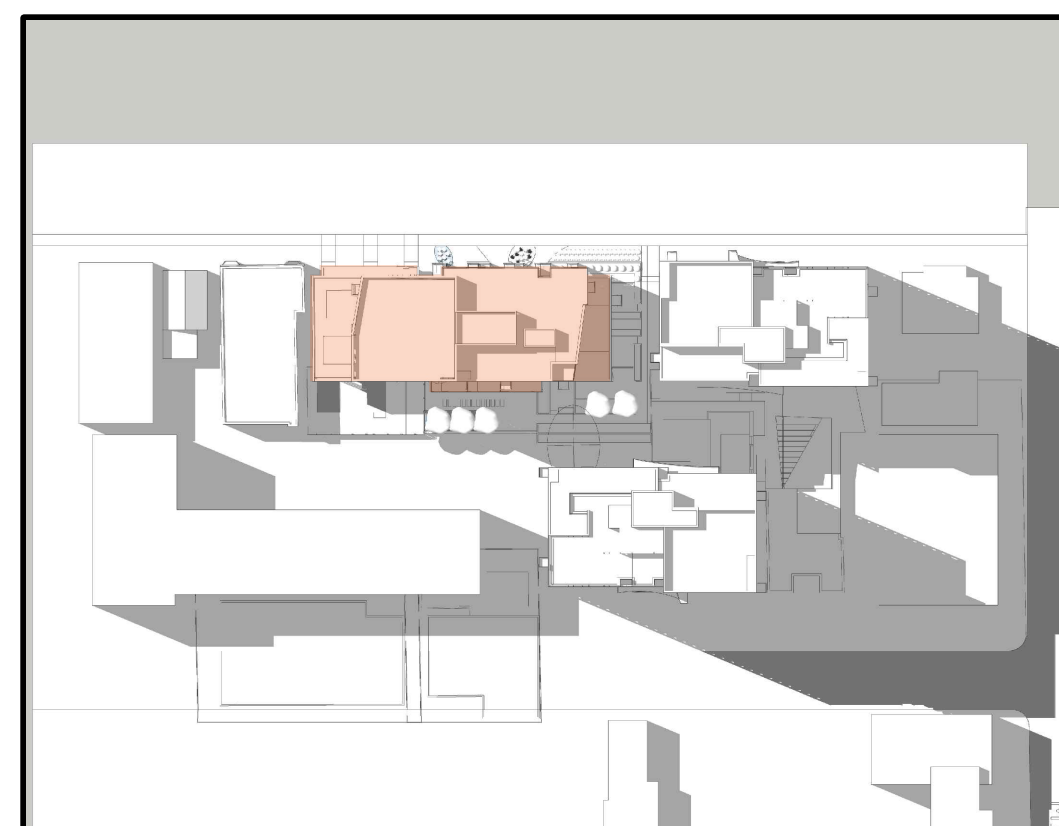
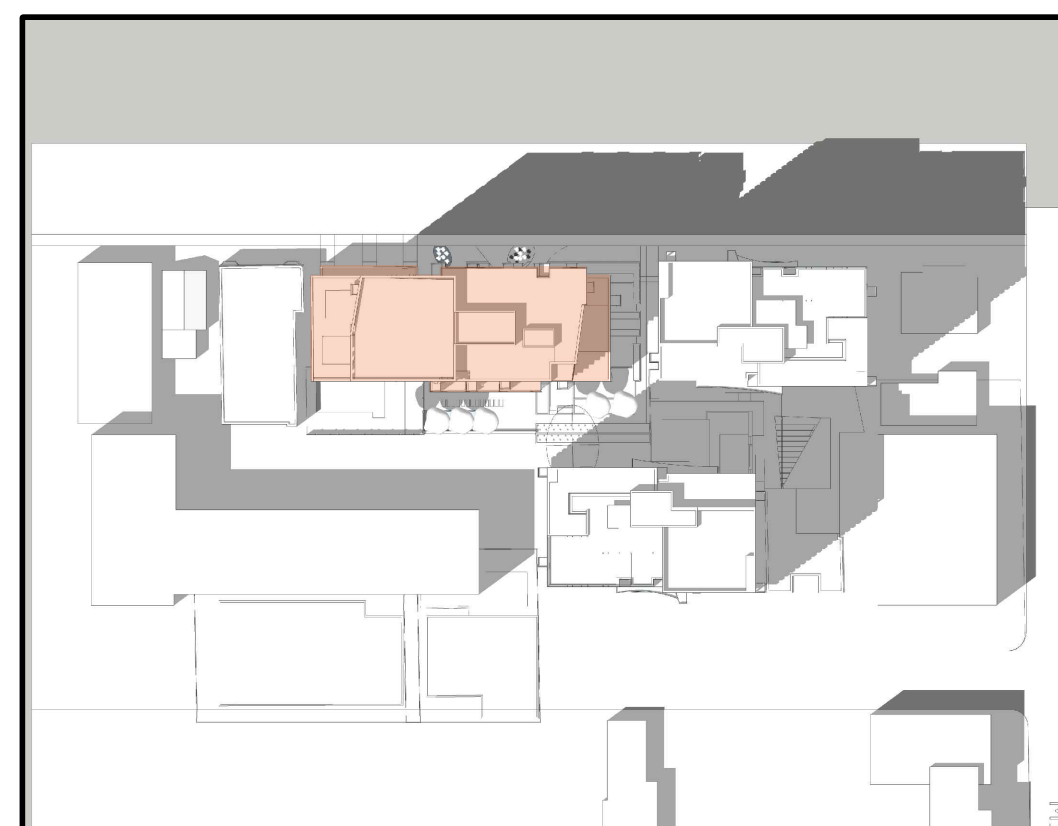
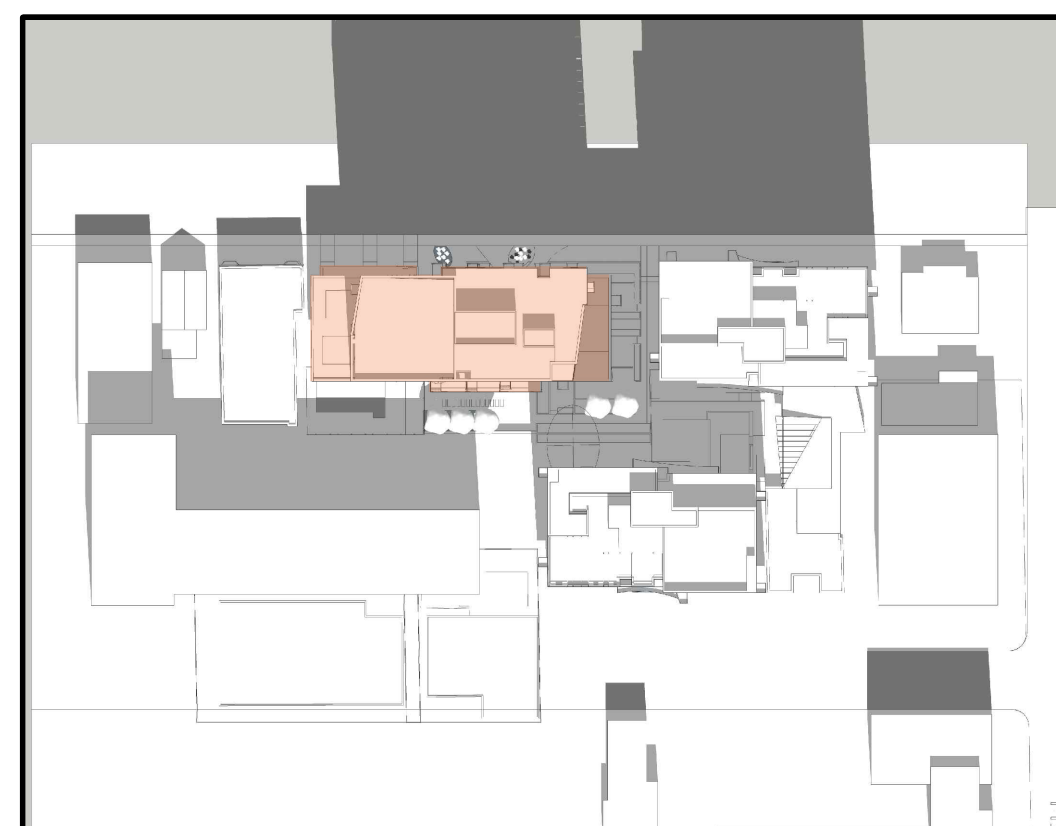
December 21st EDT



September 21st EDT



June 21st EDT





Street view



East view



West view



South view

CLIENT: **CLARIDGE HOMES**
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 OTTAWA, ONTARIO K2P 0Y6
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KEY PLAN:

SITE PLAN CONTROL		2022-12-19
N°	DESCRIPTION	BY DATE

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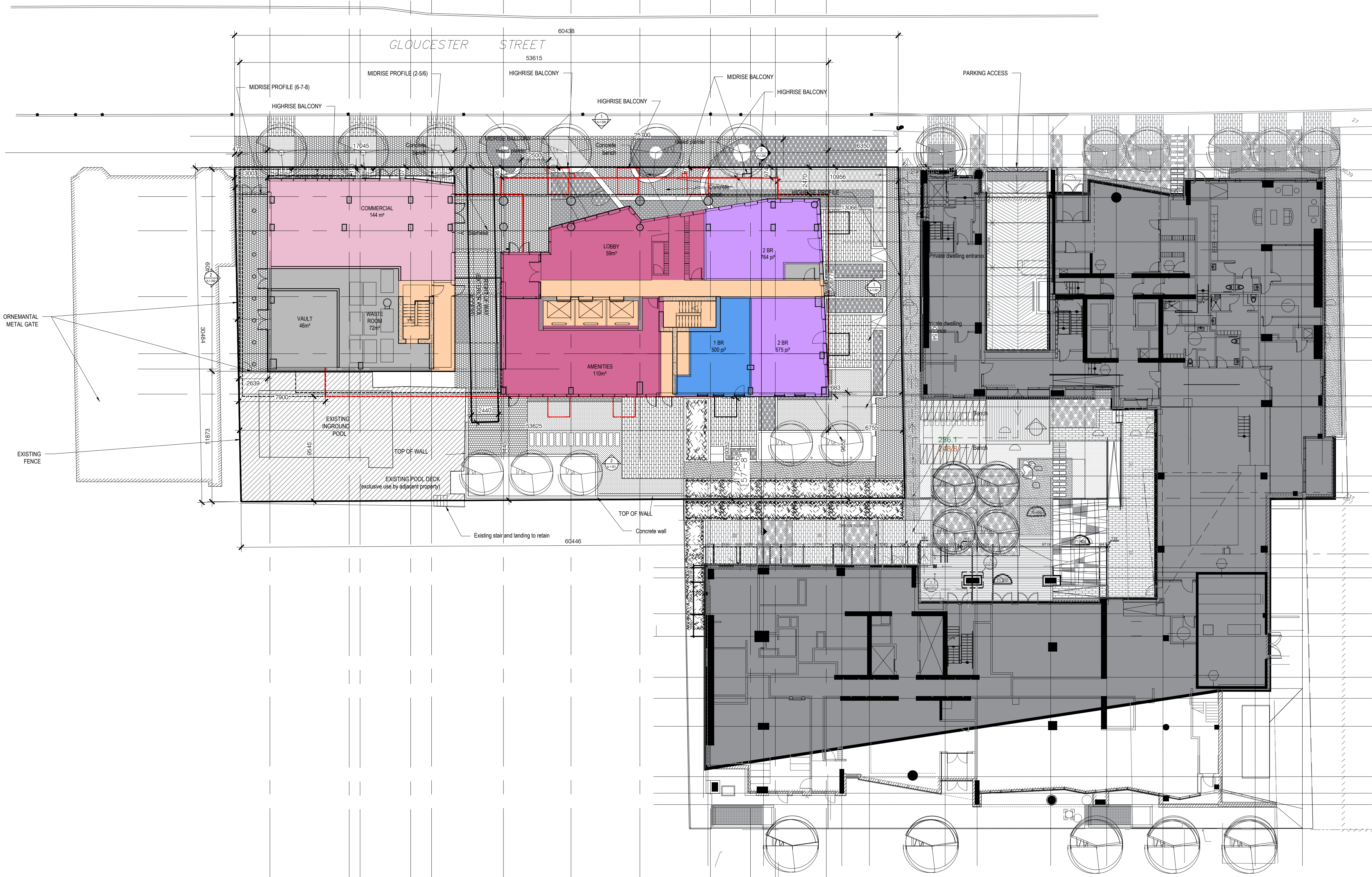
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PROJECT: **100 GLOUCESTER**

DRAWING TITLE: **MODEL VIEWS**

DESIGN: NG	APPROVED: XX
DRAWN: MF	DATE: 2022-12-16
VERIFIED: XX	SCALE: 1:200

PROJECT N°: **9531-22** DRAWING N°: **A-1_030**



LEGEND

- CIRCULATION
- COMMERCIAL
- VERTICAL CIRCULATION
- SERVICES
- AMENITY
- RESIDENTIAL - TOWN HOME
- RESIDENTIAL - STUDIO UNIT
- RESIDENTIAL - 1 BEDROOM UNIT
- RESIDENTIAL - 2 BEDROOM UNIT
- RESIDENTIAL - 3 BEDROOM UNIT

CLIENT: **CLARIDGE HOMES**
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 14 Concourse Gate, Suite 500
 Nepean, Ontario, K2E 7S6
 Tel: (613) 727-0850
 email: nespear@ovltd.com

KEY PLAN:

NOVATECH ENGINEERING CONSULTANTS & PLANNERS

TOPOGRAPHICAL SURVEYOR:

SITE PLAN CONTROL			
Nº	DESCRIPTION	BY	DATE

REVISION:

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PROJECT: **100 GLOUCESTER**

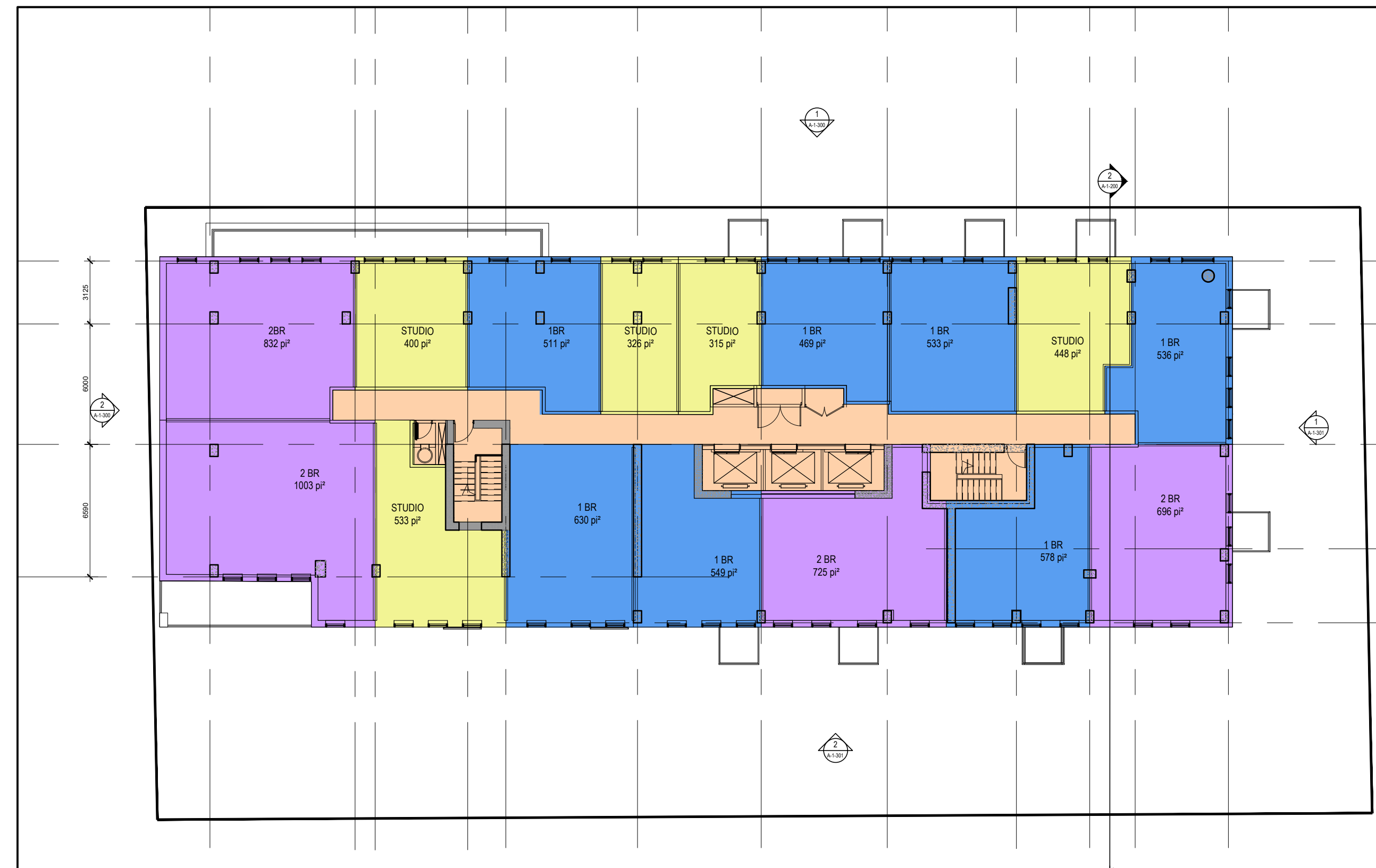
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VERIFIED:	XX	SCALE:	1:200
PROJECT Nº:	9531-22	DRAWING Nº:	A-1_100

GROUND FLOOR PLAN 1/200 A200



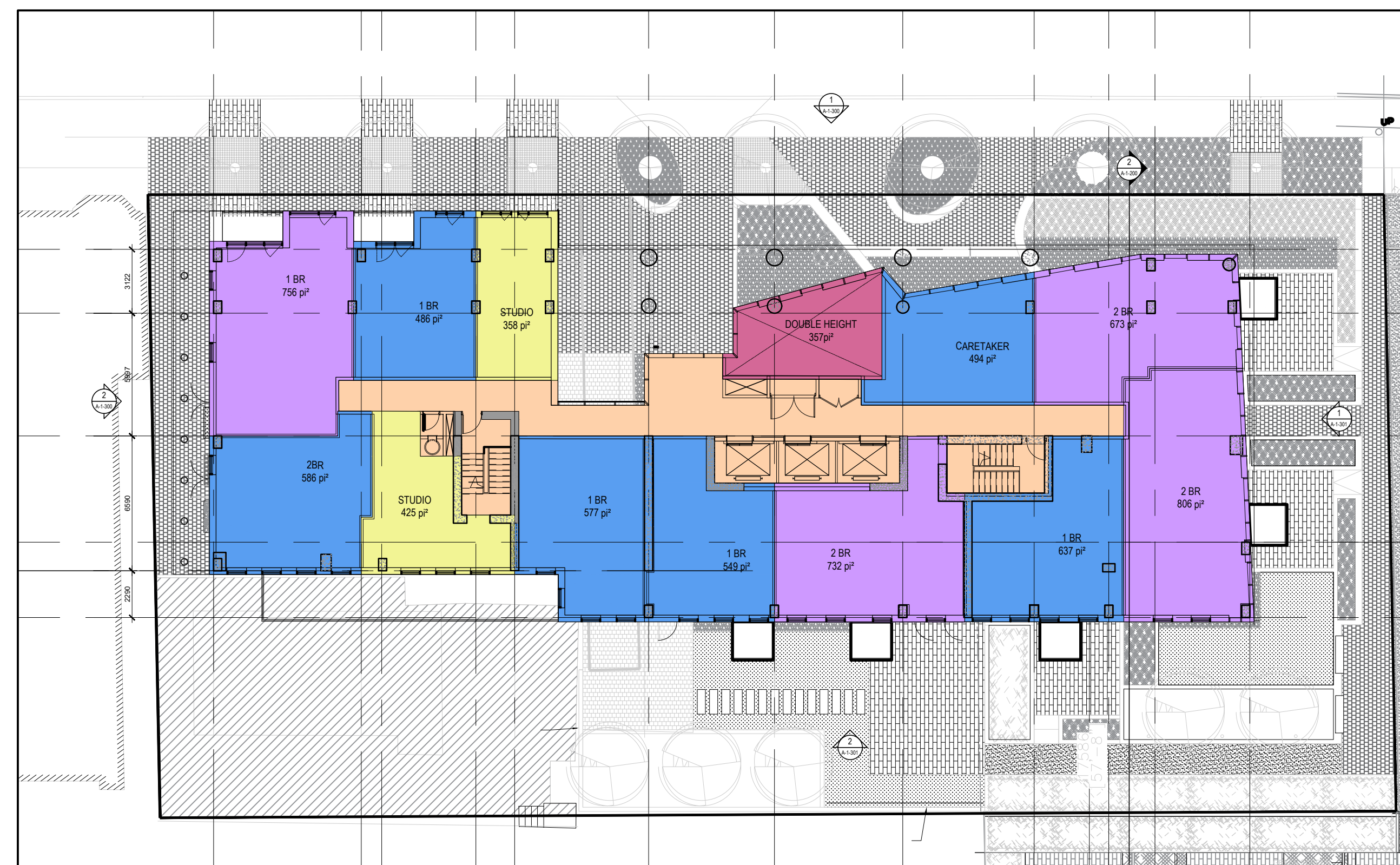
7TH FLOOR PLAN 5
 1:200 A200



6TH FLOOR PLAN 4
 1:200 A200



3RD TO 5TH FLOOR PLAN 3
 1:200 A200



SECOND FLOOR PLAN 2
 1:200 A200

SITE PLAN CONTROL		2022-12-19	
N°	DESCRIPTION	BY	DATE
REVISION:			

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PROJECT:
100 GLOUCESTER

DRAWING TITLE:
PLANS

DESIGN:	NG	APPROVED:	XX
DRAWN:	MF	DATE:	2022-12-14
VERIFIED:	XX	SCALE:	1:200

PROJECT N°: 9531-22 DRAWING N°: A-1_101



SITE PLAN CONTROL		2022-12-19
N°	DESCRIPTION	BY DATE
REVISION:		

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PROJECT:
100 GLOUCESTER

DRAWING TITLE:
PARKING FLOOR PLANS

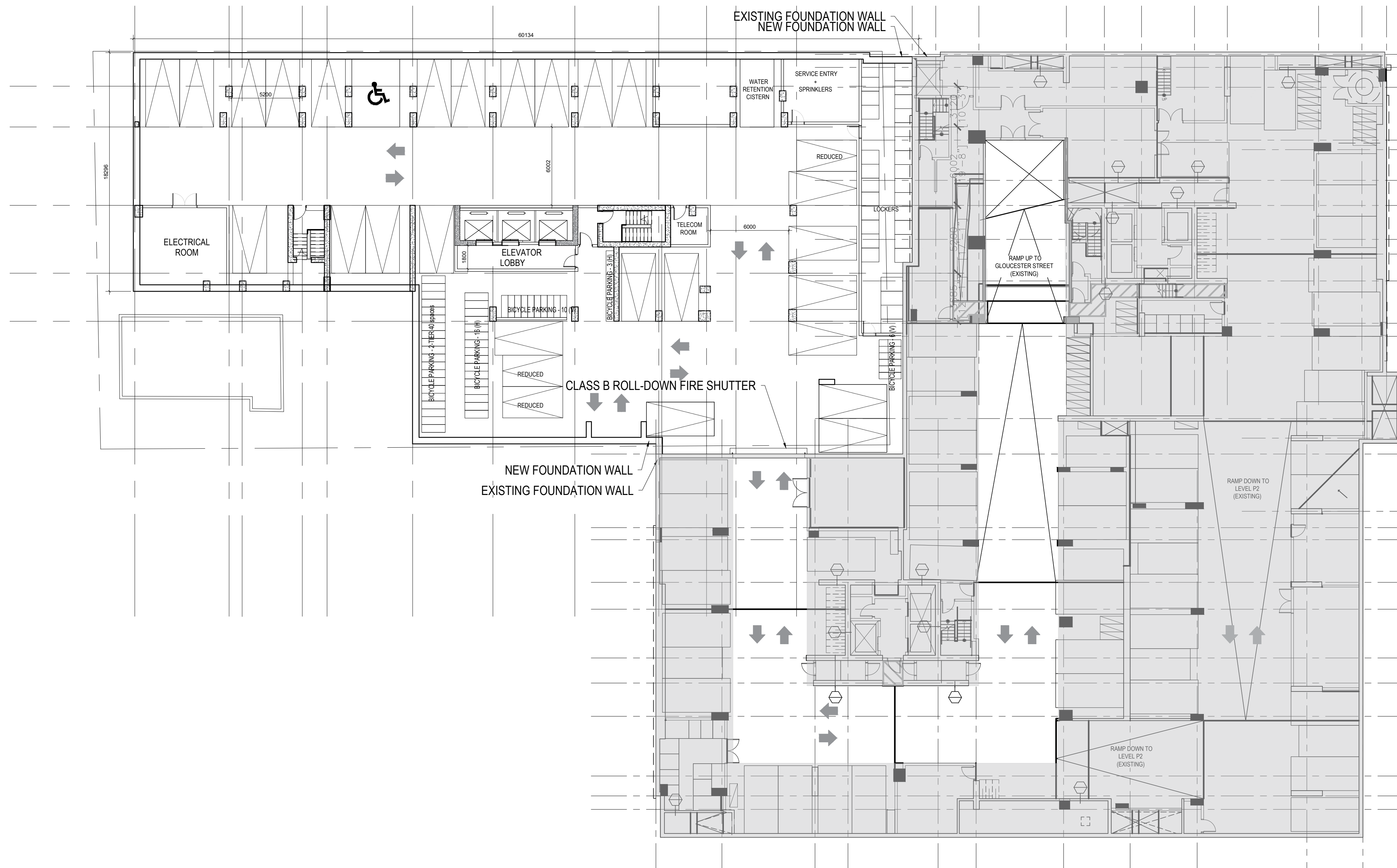
DESIGN: NG APPROVED: XX

DRAWN: MF DATE: 2022-12-16

VERIFIED: XX SCALE: 1:200

PROJECT N°: DRAWING N°:

9531-22 A-1_090



P1 FLOOR PLAN
1/200
A-1-090

SITE PLAN CONTROL		2022-12-19	
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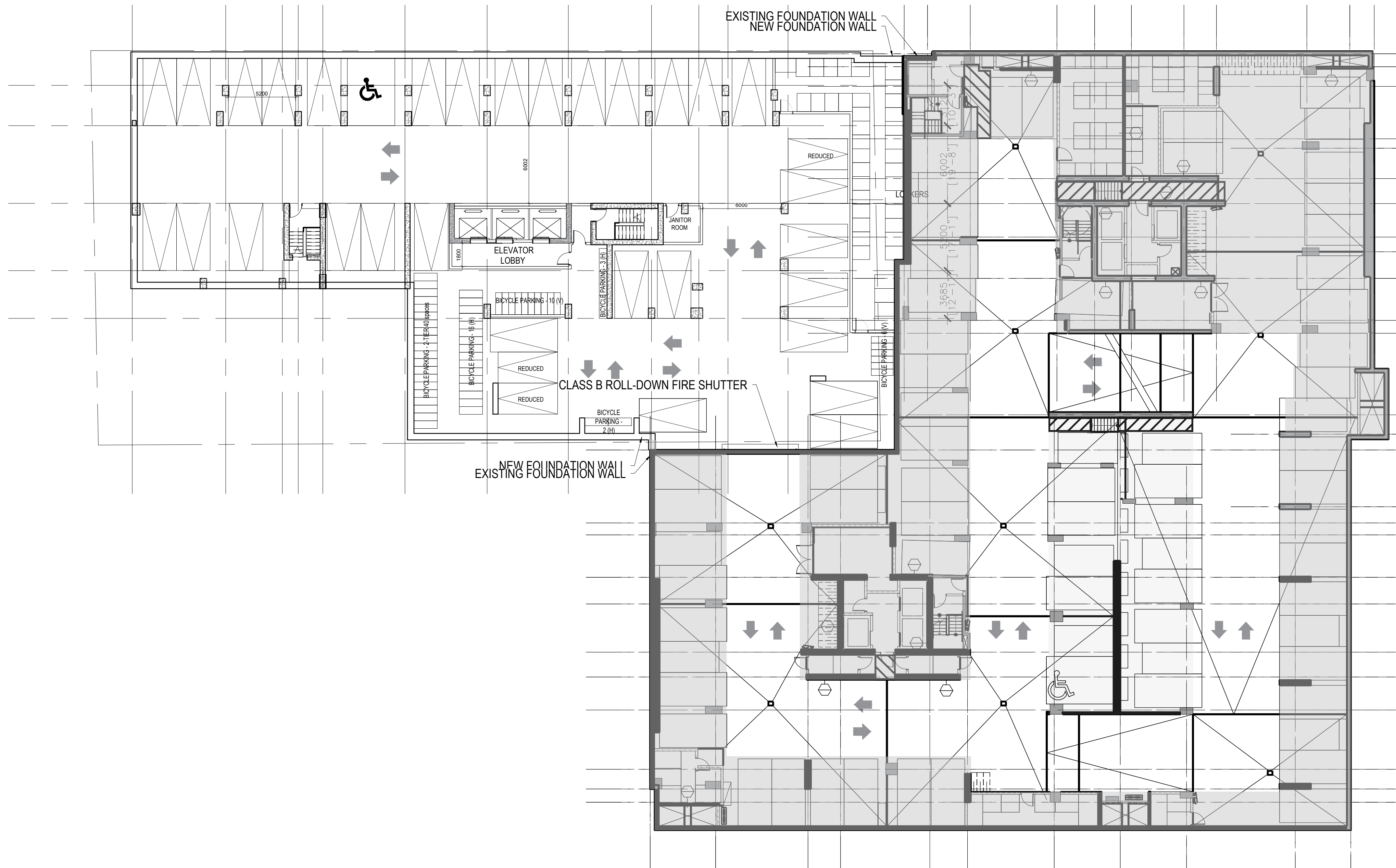
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PROJECT:
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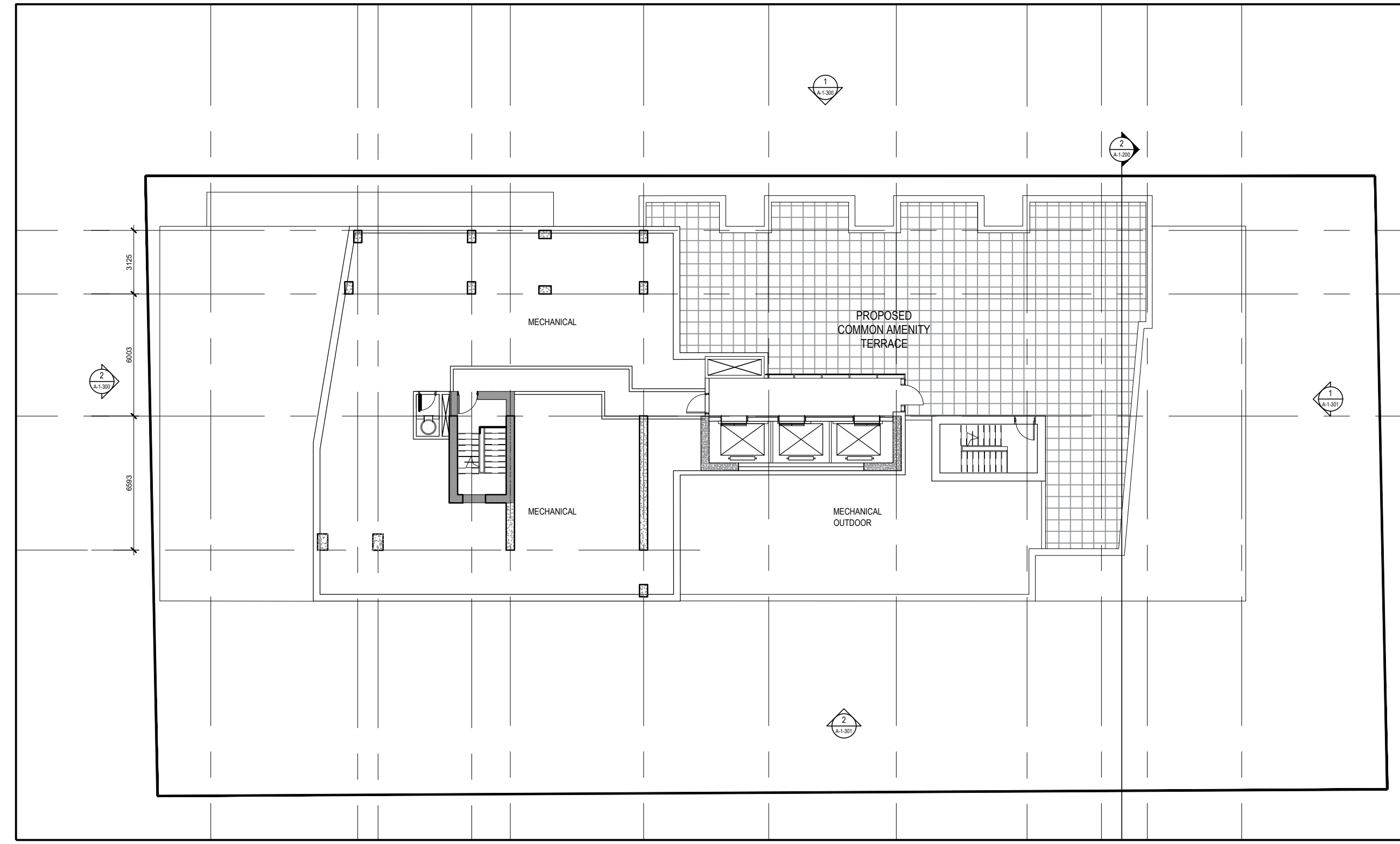
DRAWING TITLE:
PARKING FLOOR PLANS

DESIGN:	NG	APPROVED:	XX
DRAWN:	MF	DATE:	2022-12-16
VERIFIED:	XX	SCALE:	1:200

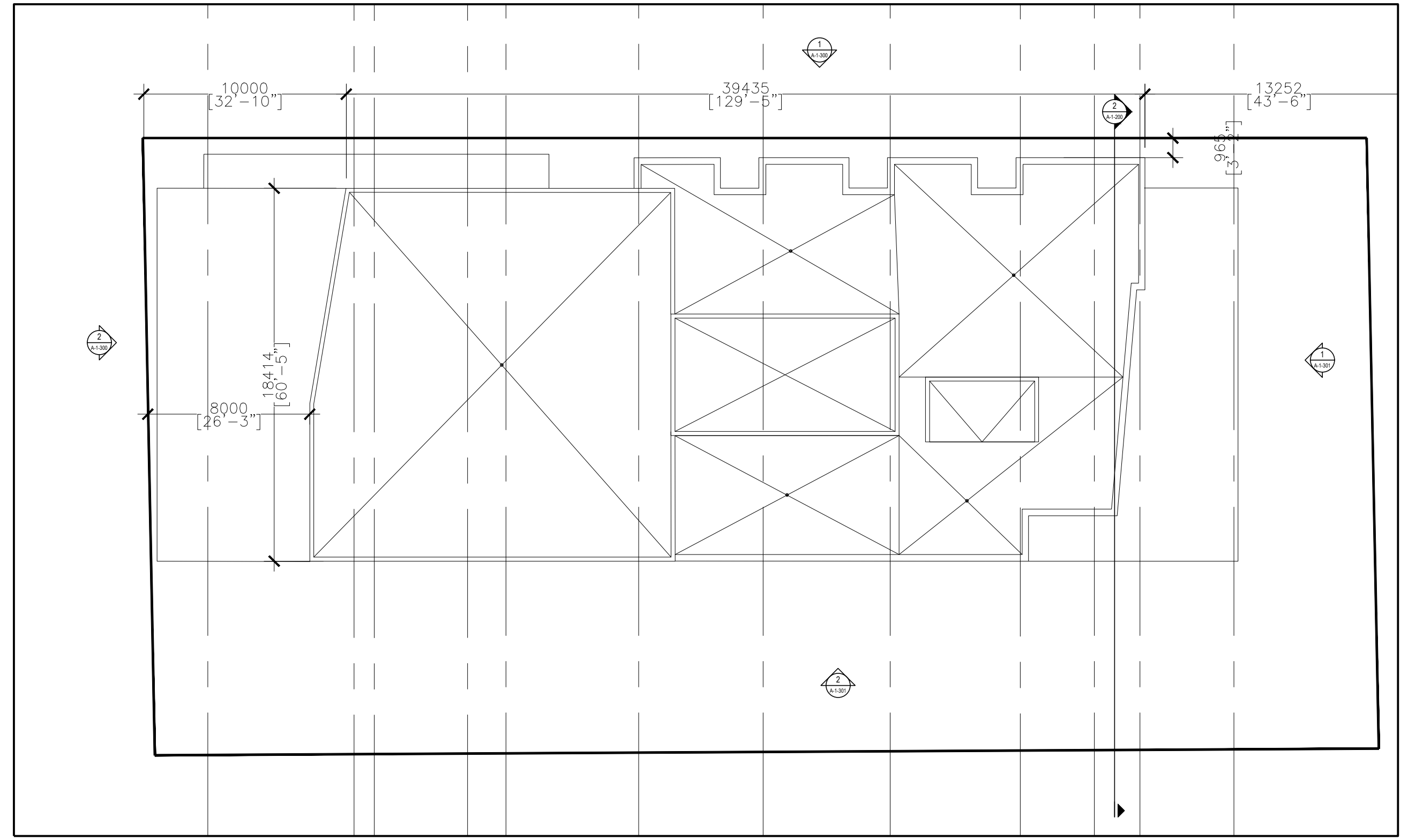
PROJECT N°: 9531-22 DRAWING N°: **A-1_091**



P2 & P3 FLOOR PLAN
1
1:200 A-1-091



ROOF TERRACE LEVEL **8**
1:200 A200



ROOF PLAN **8**
1:200 A200



9TH TO 27TH FLOOR PLAN - TYPICAL UNITS LAYOUTS **7**
1:200 A200



8TH FLOOR PLAN **6**
1:200 A200

Nº	DESCRIPTION	BY	DATE

SITE PLAN CONTROL			
			2022-12-19
Nº	DESCRIPTION	BY	DATE

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PROJECT: **100 GLOUCESTER**

DRAWING TITLE: **PLANS**

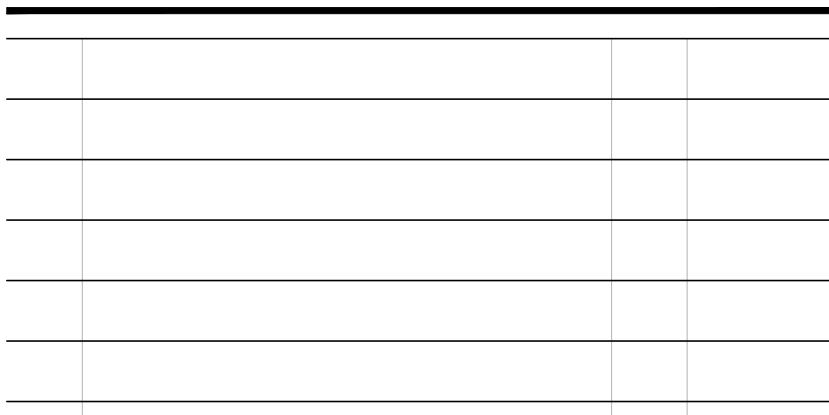
DESIGN: NG APPROVED: XX

DRAWN: MF DATE: 2022-10-30

VERIFIED: XX SCALE: 1:200

PROJECT Nº: DRAWING Nº:

9531-22 A-1_102



SITE PLAN CONTROL		2022-12-19	
N°	DESCRIPTION	BY	DATE

REVISION:

- THE GENERAL CONTRACTOR :
- SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
 - SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLINING ANY INACCURACIES.
 - SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
 - ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, MAY BE USED FOR CONSTRUCTION.

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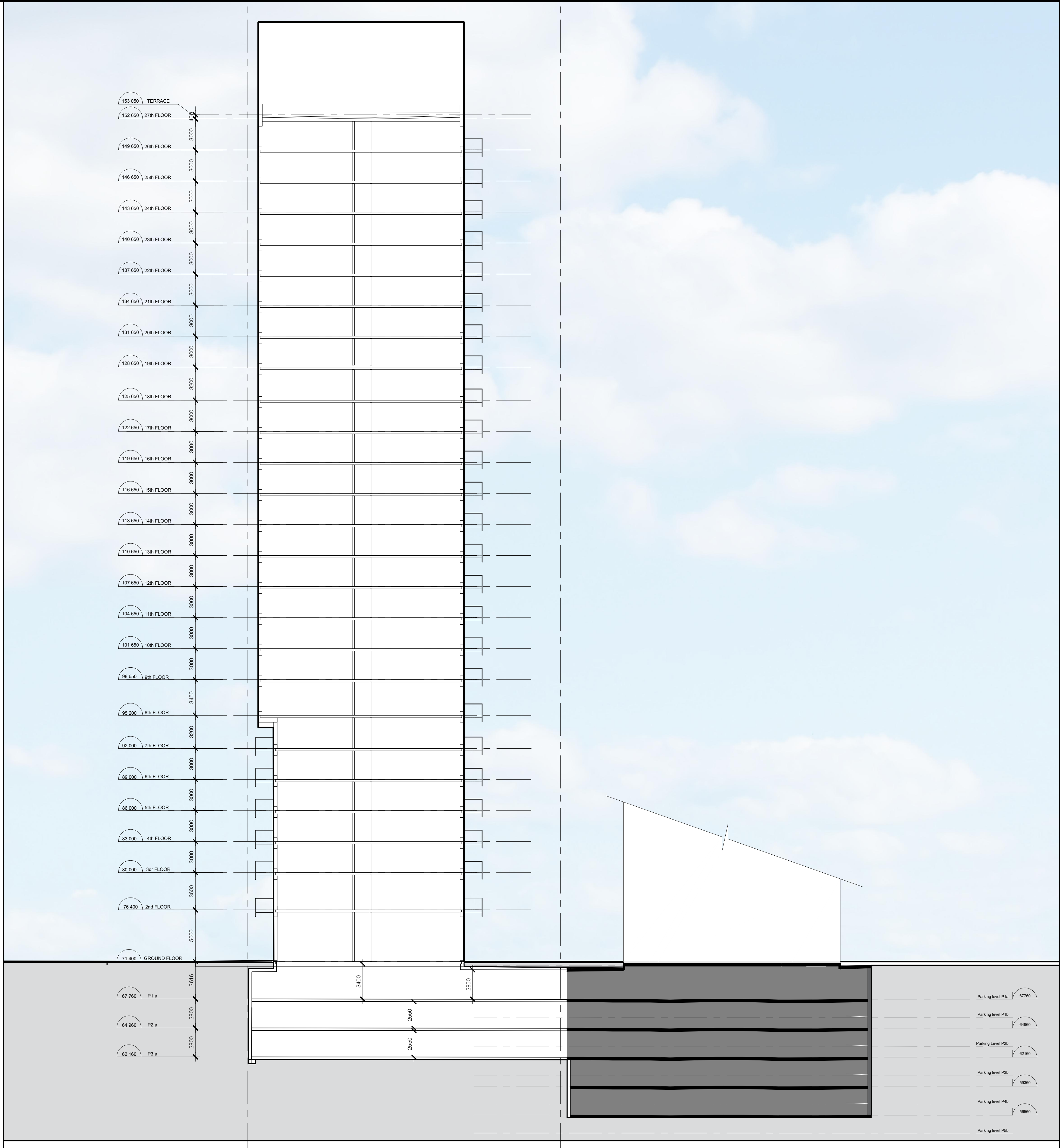
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PROJECT:
100 GLOUCESTER





DRAWING TITLE:
SECTIONS

DESIGN:	NG	APPROVED:	XX
DRAWN:	MF	DATE:	2022-12-16
VERIFIED:	XX	SCALE:	1:200

PROJECT N°: **9531-22** DRAWING N°: **A-1_200**



CROSS SECTION
LONGITUDINAL
1
1:200 A200

LEGEND	
	GLASS SPANDREL COLOR CHARCOAL
	BRICK MASONRY LIGHT GREY
	BRICK MASONRY MEDIUM BROWN
	CORTEN STEEL PANEL

SITE PLAN CONTROL		2022-12-19
Nº:	DESCRIPTION:	BY DATE

- THE GENERAL CONTRACTOR :
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PROJECT: **100 GLOUCESTER**

DRAWING TITLE: **SECTIONS**


DESIGN:	NG	APPROVED:	XX
DRAWN:	MF	DATE:	2022-12-16
VERIFIED:	XX	SCALE:	1:200
PROJECT Nº:	9531-22	DRAWING Nº:	A-1_300



ELEVATION EAST 2
1:200 A300



ELEVATION NORTH 1
1:200 A300

LEGEND	
	GLASS SPANDREL COLOR CHARCOAL
	BRICK MASONRY LIGHT GREY
	BRICK MASONRY MEDIUM BROWN
	CORTEN STEEL PANEL

SITE PLAN CONTROL		2022-12-19	
Nº	DESCRIPTION	BY	DATE
REVISION:			

- THE GENERAL CONTRACTOR :
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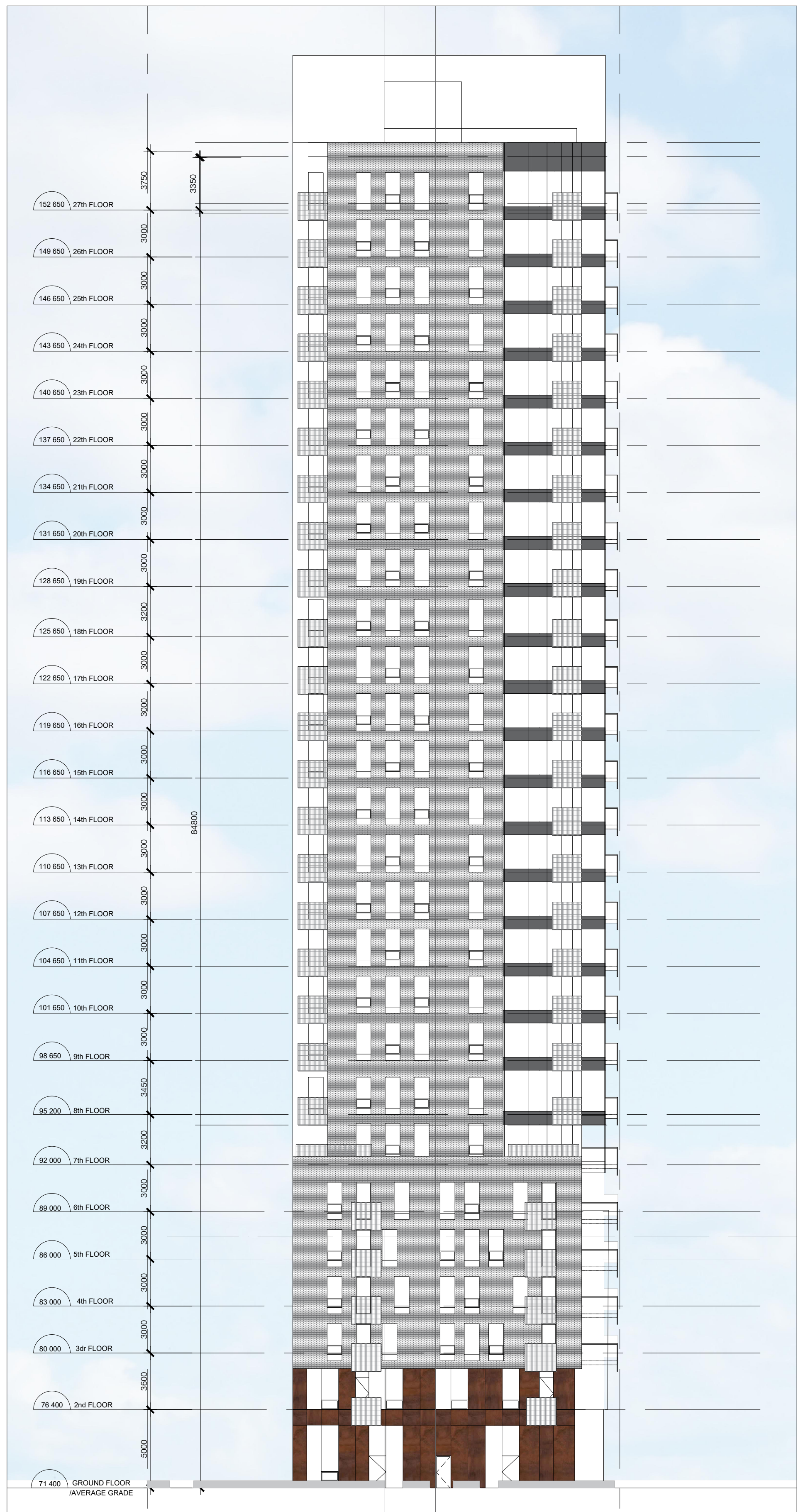
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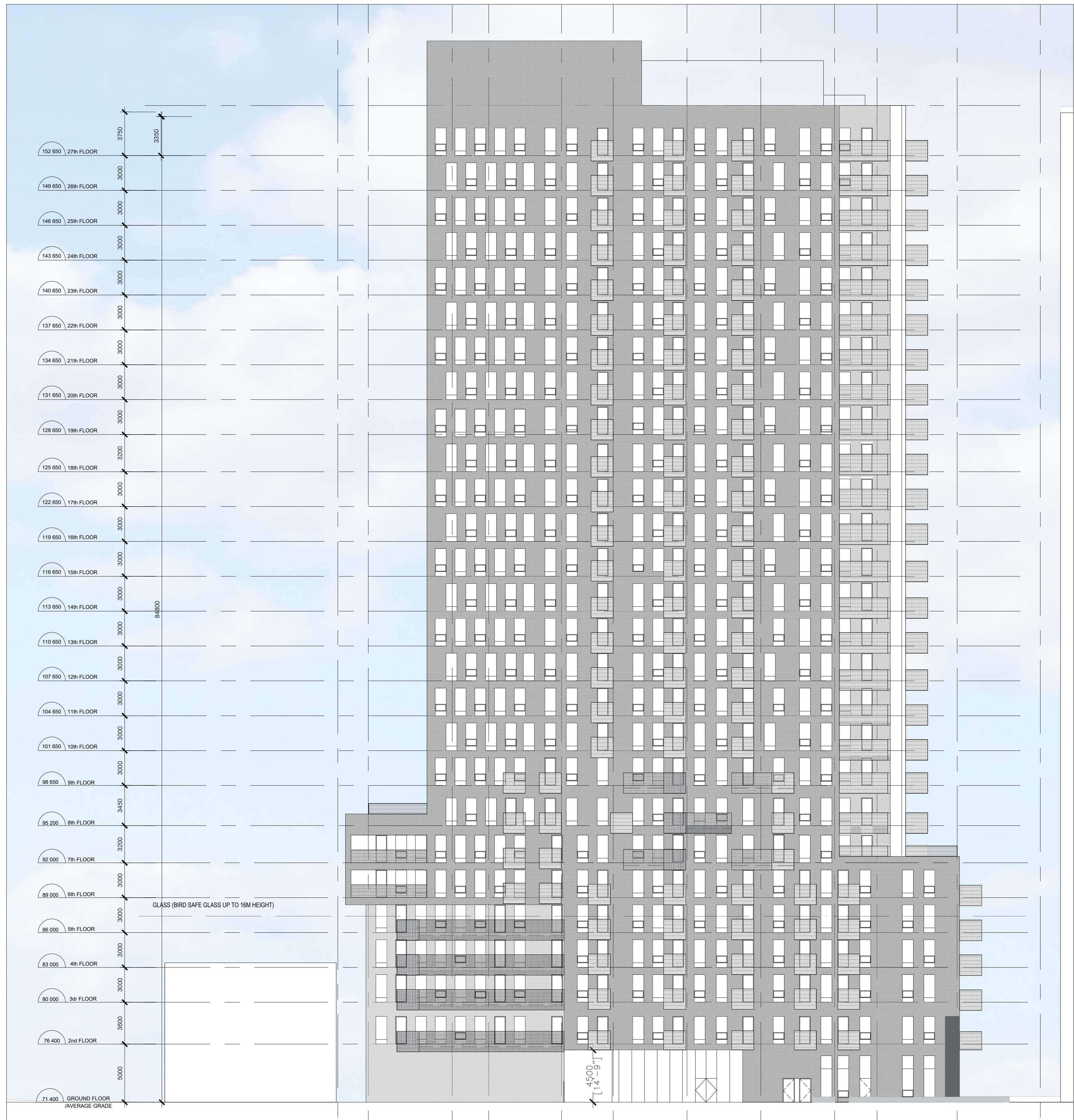
PROJECT:
100 GLOUCESTER

DRAWING TITLE:
SECTIONS

DESIGN:	NG	APPROVED:	XX
DRAWN:	MF	DATE:	2022-12-16
VERIFIED:	XX	SCALE:	1:200
PROJECT Nº:	9531-22	DRAWING Nº:	A-1_301



ELEVATION WEST 2
 1:200 A301



ELEVATION SOUTH 1
 1:200 A301