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ENVIRONMENTAL
GRADIENT WIND ENGINEERING
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LOCATION PLAN



GENERAL NOTES

- ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
- REFER TO WATERIDGE VILLAGE AT ROCKCLIFFE PHASE 2B ISSUED FOR CONSTRUCTION DRAWINGS AS PREPARED BY IB GROUP 2019.05.10 FOR ALL DESIGN GEOMETRIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED APRIL 5th, 2022 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- ANY SNOW ACCUMULATED IN SURFACE PARKING AREAS IS TO BE TRUCKED OFF SITE.
- WASTE & RECYCLING BINS TO BE ROLLED OUT TO BARRIELE-SNOW STREET FOR CURBSIDE COLLECTION.

SHEET NOTES

- N.01** PROPOSED ELECTRICAL TRANSFORMER LOCATION
- N.02** PARKADE ENTRY RAMP
- N.03** MAIN BUILDING ENTRY
- N.04** GARBAGE AND RECYCLING ACCESS
- N.05** FIRE DEPARTMENT CONNECTION
- N.06** TRANSFORMER
- N.07** BIKE PARKING STALLS
- N.08** VISITOR PARKING STALLS
- N.09** DEPRESSED CURB

ZONING NOTES

CURRENT ZONING: GM1 H(30)

REQUIRED	PROPOSED
5m	5m
5m	5m
5m	5m
3m	5m
30m	29.5m
2	2
750sm	677sm-742sm
20,171sm	254 UNITS

BUILDING A - DEVELOPMENT STATS		BUILDING B - DEVELOPMENT STATS	
NUMBER OF STOREYS	TOTAL UNITS	NUMBER OF STOREYS	TOTAL UNITS
9	144	9	110
FLOOR	GROSS AREA	FLOOR	GROSS AREA
MAIN	1,922sm	MAIN	1,423sm
2 FLR	1,977sm	2 FLR	1,331sm
3 FLR	1,977sm	3 FLR	1,331sm
4 FLR	1,201sm	4 FLR	900sm
5 FLR	1,105sm	5 FLR	900sm
6 FLR	1,105sm	6 FLR	742sm
7 FLR	677sm	7 FLR	742sm
8 FLR	677sm	8 FLR	742sm
9 FLR	677sm	9 FLR	742sm
TOTAL	11,318sm	TOTAL	8,853sm

VEHICULAR PARKING

MIN. 0.5 RESIDENTIAL STALLS/ RESIDENCE UNIT

- FIRST 12 SPACES/ BUILDING = 115 REQUIRED
- (254 - (12 * 11)) * 0.5 = 176 PROPOSED
- MAX. 40% COMPACT = 4 PROPOSED
- MAX. 5% MOTORCYCLE STANDARD = 89 PROPOSED
- TOTAL RESIDENTIAL STALLS* = 170 PROPOSED***

* Located in underground parking garage

MIN. 0.1 VISITOR STALLS/ RESIDENCE UNIT

- FIRST 12 SPACES/LOT = 25 REQUIRED
- (254 - 12) * 0.1 = 25 PROPOSED**

** 5 Stalls provided at-grade and 20 in underground parking garage

TOTAL PARKING PROVIDED = 195 STALLS

* Note 5 of the 195 stalls are proposed as barrier free

BIKE PARKING

REQUIRED: UNDERGROUND = 127 SPACES

PROPOSED:

- UNDERGROUND = 138 SPACES
- EXTERIOR = 18 SPACES
- TOTAL = 156 SPACES**

AMENITY SPACE REQUIREMENTS:

REQUIRED AMENITY SPACE = 6sm/ RESIDENCE UNIT

254 UNITS * 6sm = 1524sm TOTAL AMENITY REQUIRED

MIN. 50% REQUIRED TO BE COMMUNAL = 762sm

PROVIDED COMMUNAL AMENITY SPACE = 1830sm

PROVIDED PRIVATE AMENITY = 654sm

TOTAL PROVIDED AMENITY SPACE = 2484sm

RELEASES

NO.	DESCRIPTION	DATE
02	ISSUED FOR SPC	02.28.23
01	ISSUED FOR CLC	10.24.22

1050 TAWADINA RD WATERIDGE

BRANCH ADDRESS
1050 TAWADINA RD
OTTAWA, ON

LEGAL REFERENCE
PART OF BLOCK 11
REGISTERED PLAN 48-1651
CITY OF OTTAWA
ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2022

PROJECT NO.
22.01.W.U.

DRAWN: [] CHECKED: []
LB JA

DATE: 22.01.24 SCALE: AS NOTED

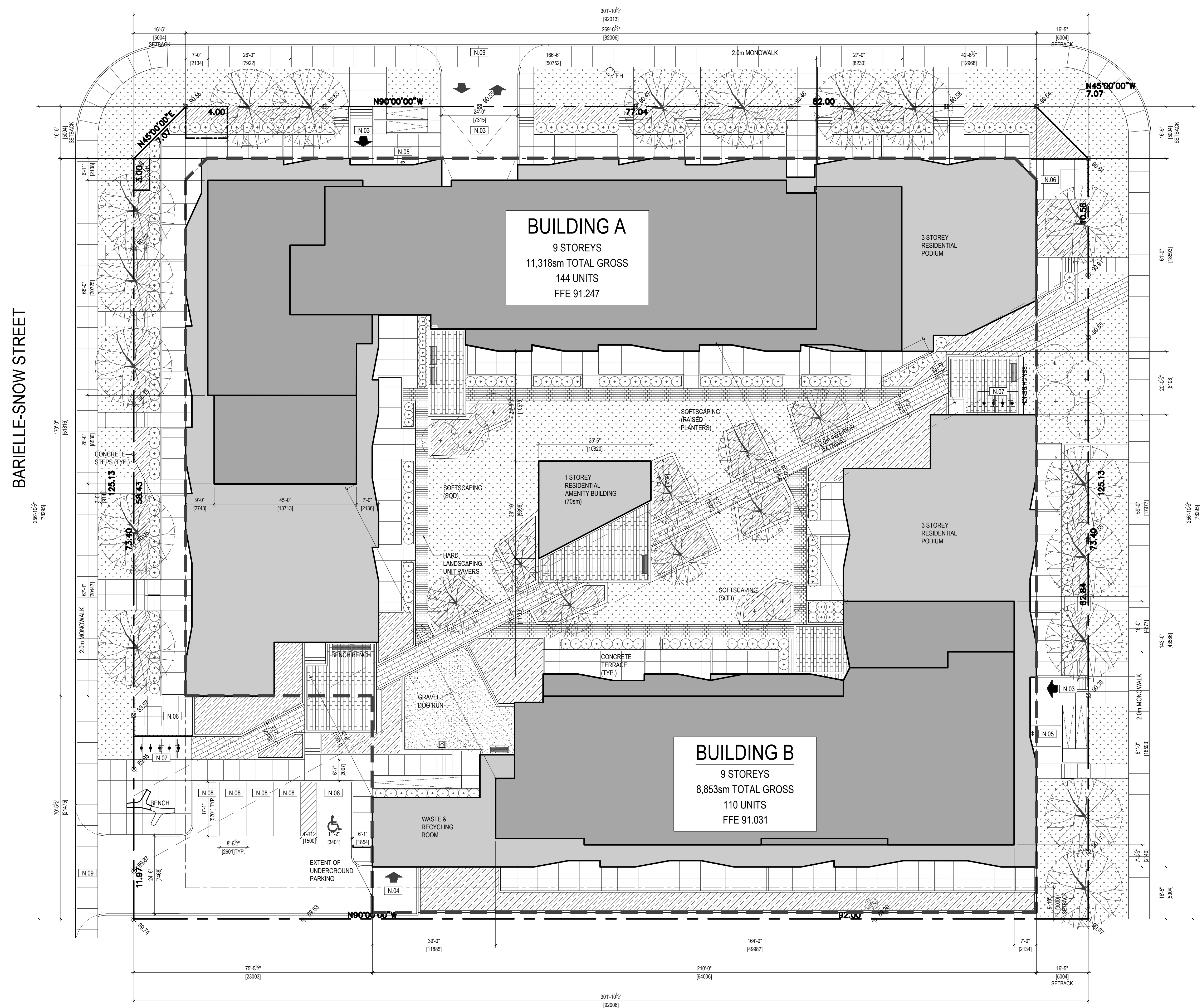
SITE PLAN

DRAWING NUMBER

SPC.100

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TAWADINA ROAD



1 SITE PLAN
DP.100 1/16" = 1'-0"