

03 LOCATION PLAN
SCALE: NTS

SITE INFORMATION
SITE AREA: 19,014sm (4.7 acres)

BUILDING INFORMATION
EXISTING: 4,831sm (52,000sf)
PROPOSED BLDG. A: 790sm (8,500sf)

ZONING INFORMATION
DESIGNATION: AM - ARTERIAL MAINSTREET ZONE

- APPLICABLE PERMITTED NON-RESIDENTIAL USES:**
- Section 185:
- Animal Care Establishment
 - Animal Hospital
 - Bank
 - Bank Machine
 - Bar
 - Car Wash
 - Catering Establishment
 - Convenience Store
 - Drive-through Facility
 - Medical Facility
 - Office
 - Personal Service Business
 - Recreational and Athletic Facility
 - Restaurant
 - Retail Food Store
 - Retail Store

REQUIRED SETBACKS - TABLE 185:

Non-Residential or Mixed Use Building

Front & Corner Yard: No minimum
Interior Side Yard: 7.5m minimum abutting a residential zone
No minimum other cases
(Provided: Not abutting a residential zone)

Rear Yard: 3.0m abutting a street
7.5m abutting a residential zone
No minimum other cases
(Provided: Not abutting a street or residential zone)

Lot Width: No minimum
Lot Area: No minimum
* REFER TO PLAN FOR PROVIDED SET BACK DIMENSIONS

MAXIMUM FSI - TABLE 185(h):
None

MAXIMUM BUILDING HEIGHT - TABLE 185:
30.0m but in no case more than 9 storeys

MINIMUM WIDTH OF LANDSCAPED AREA - TABLE 110:
3.0m

PARKING (Section 101(6)(a)(ii) & Table 101, Row N38)

| | |
|--|------------|
| Minimum Required (Shopping Centre Rate - 3.6/100sm): | 174 |
| Existing Shopping Centre (4831sm): | 28 |
| Proposed Building A (790sm): | 202 |
| Total | 222 |

Provided (Total Site): 222

BARRIER FREE PARKING - CITY OF OTTAWA'S ACCESSIBILITY DESIGN STANDARDS:

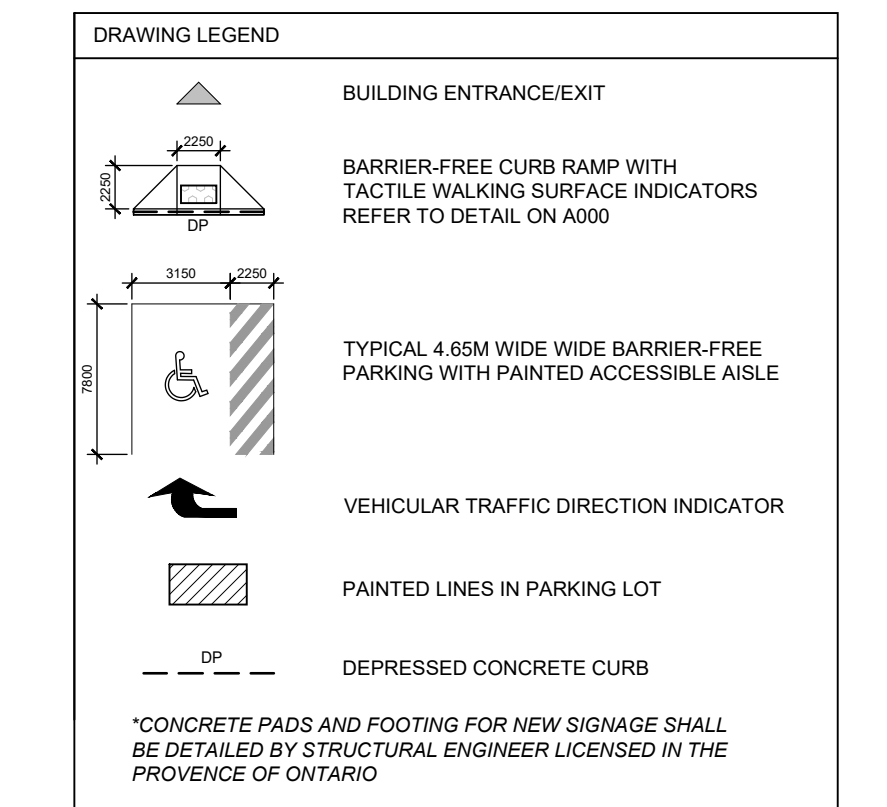
| | |
|------------------|--------------------|
| MINIMUM REQUIRED | 3 |
| TYPE A: | 4 |
| PROVIDED: | 3 TYPE A, 5 TYPE B |

BICYCLE PARKING - SECTION 111 (TABLE 111(A)(F)):

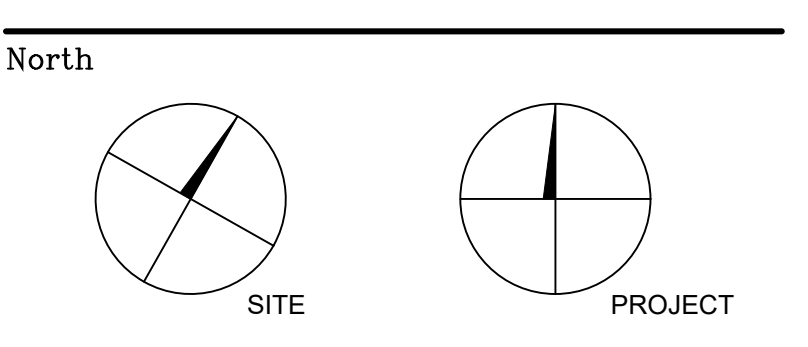
| | |
|-------------------|---|
| MINIMUM REQUIRED: | 1 |
| PROVIDED: | 9 |

LOADING - SECTION 113:

| | |
|-------------------|---|
| MINIMUM REQUIRED: | 2 |
| PROVIDED: | 2 |



02 SITE, BUILDING AND ZONING INFORMATION
SCALE: NTS



Revisions

| No. | By | Description | Date |
|-----|----|------------------------------|-------------|
| 01 | NH | ISSUED FOR SITE PLAN CONTROL | 03 MAR 2023 |



Project
LYNWOOD CENTRE REDEVELOPMENT

1826 ROBERTSON ROAD
Drawing
PROPOSED SITE PLAN

Scale AS NOTED
Stamp
Drawn NH
Checked JS



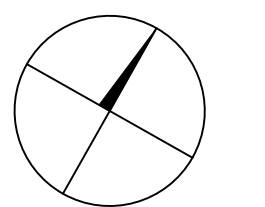
Project No. 19-142
Date 2022-12-09
Drawing No. SP-A01
PLAN NUMBER: XXXXX

EXTERIOR MATERIALS LEGEND

- AS-1 ACRYLIC STUCCO 1 - DARK GREY
- BR-1 BRICK MASONRY - BELDEN BRICK - BLACK DIAMOND VELOUR
- MC-1 METAL COPING - IDEAL ROOFING - BLACK #6262
- MP-1 METAL PANEL 1 - AL13 COMPOSITE ALUMINUM - MC308 METALLIC CHARCOAL
- MP-2 METAL PANEL 2 - AL13 COMPOSITE ALUMINUM - DARK GREY
- MP-3 METAL PANEL 2 - AGWAY 6-150 NF - 38mm STEEL CLADDING - DEEP GREY QC #28314
- VG-1 VISION GLASS 1 - SOLARBAN 60 CLEAR GLASS IN BLACK ANODIZED ALUMINUM FRAMES
- WE-1 WOOD PANEL 1 - MAIBEC MODERN EM 25x152 mm BRUSHED FACE MUSKOKA BROWN 053

06 MATERIAL LEGEND
A201 SCALE: NTS

North



Revisions

| No. | By | Description | Date |
|-----|----|------------------------------|-------------|
| 01 | NH | ISSUED FOR SITE PLAN CONTROL | 03 MAR 2023 |
| | | | |
| | | | |
| | | | |
| | | | |



Project

LYNWOOD CENTRE REDEVELOPMENT

1826 ROBERSTON ROAD

Drawing
PROPOSED ELEVATIONS

Scale 1:100

Stamp

Drawn NH

Checked JS

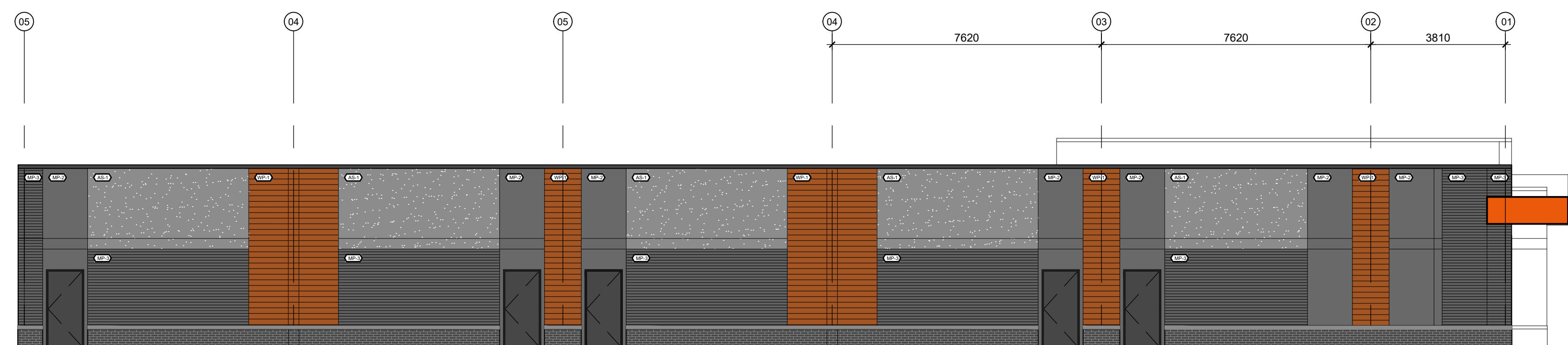


Project No. 19-142

Drawing No.

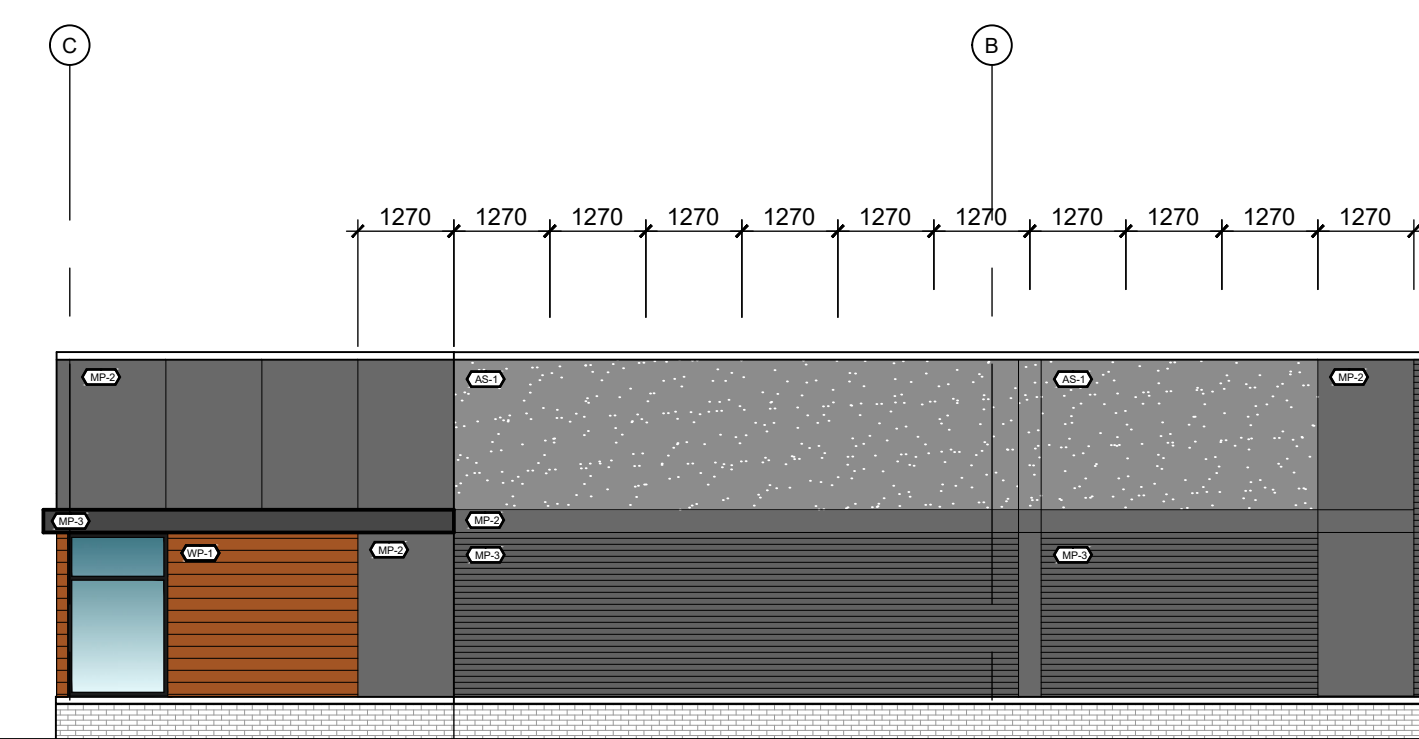
Date JAN 13, 23

A02

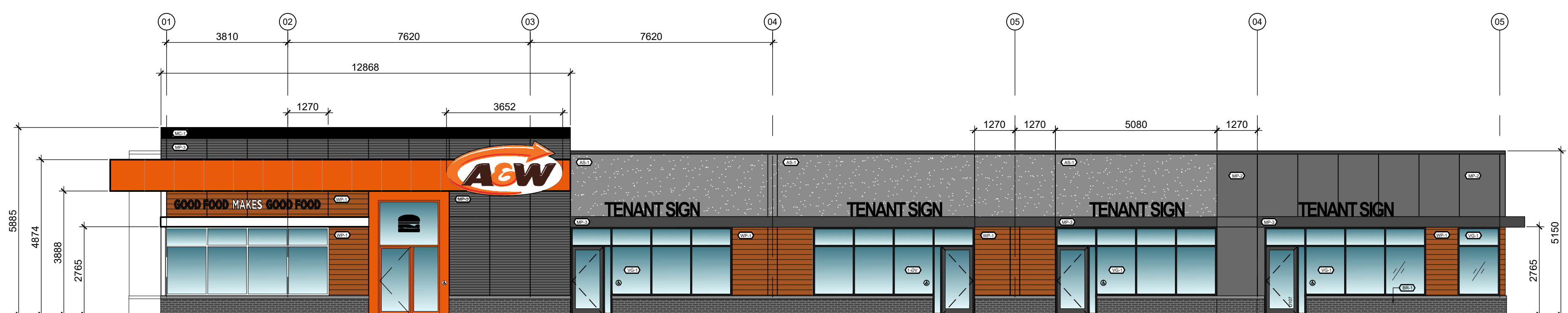


MATERIALS NOT NOTED ON A&W RETAIL UNIT TO MATCH A&W'S CORPORATE STANDARDS

03 NORTH ELEVATION - OPTION 1
A201 SCALE: 1:100

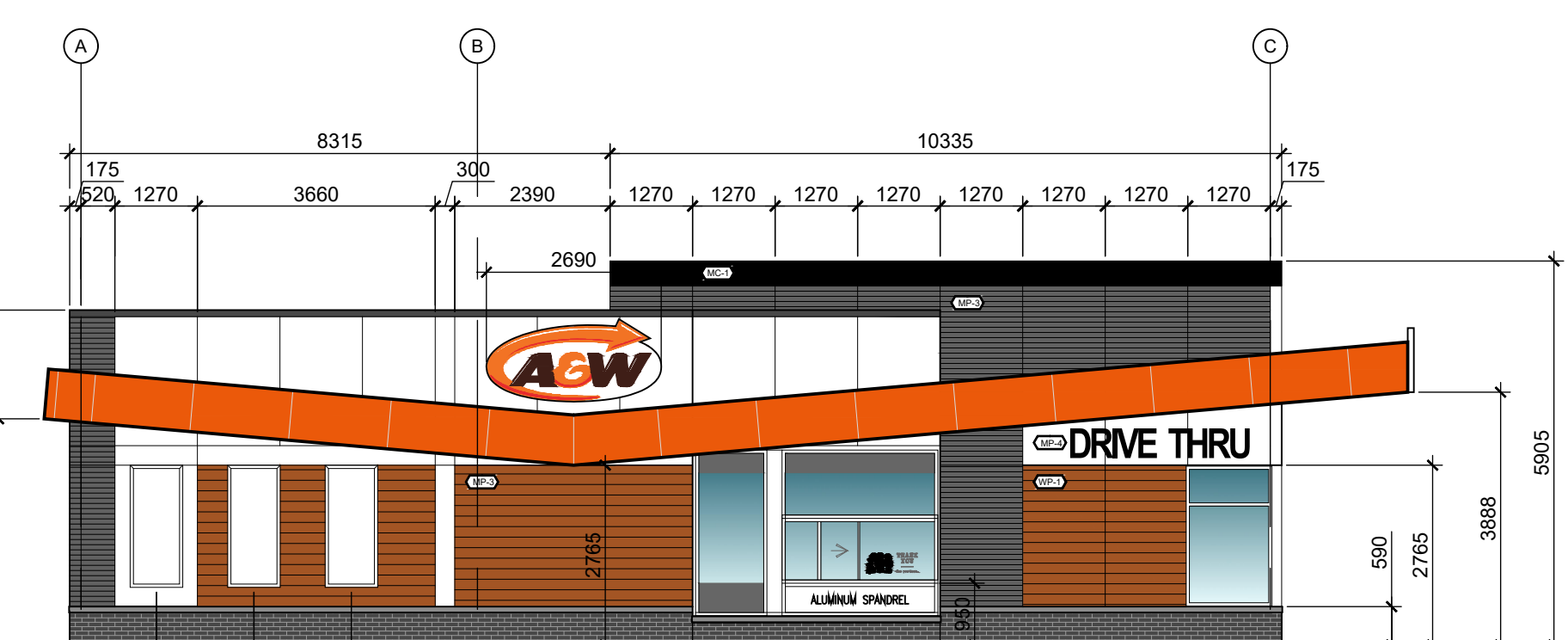


04 EAST ELEVATION
A201 SCALE: 1:100



MATERIALS NOT NOTED ON A&W RETAIL UNIT TO MATCH A&W'S CORPORATE STANDARDS

01 SOUTH ELEVATION - OPTION 1
A201 SCALE: 1:100



MATERIALS NOT NOTED ON A&W RETAIL UNIT TO MATCH A&W'S CORPORATE STANDARDS

02 WEST ELEVATION
A201 SCALE: 1:100