

1 OVERALL SITE NEW
A101 | 1:200

Allison Hamlin

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 4:15 pm, Nov 01, 2023

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 SHADE STRUCTURE
- 2 TANDEM NEXT CONCRETE BLOCK RETAINING WALL
- 3 CANOPY STRUCTURE
- 4 CEDAR FENCE 1800mm HIGH. GATES AS SHOWN
- 5 1070mm HIGH STAINLESS STEEL GUARD RAIL ANCHORED TO CONCRETE BLOCK RETAINING WALL
- 6 WINDOW WELL
- 7 GARDEN PLOTS
- 8 HYDRO TRANSFORMER
- 9 600mm DEEP TACTILE INDICATION SURFACE CAST INTO CONCRETE WALKWAY
- 10 TYPE 2 ELECTRIC CAR CHARGING STATION WITH DUAL CHARGERS
- 11 1800x600mm BICYCLE PARKING SPACE c/w PARKING RACK/RING CENTERED BETWEEN EVERY TWO PARKING SPACES.
- 12 EXISTING GUY WIRE TO REMAIN
- 13 SIAMESE CONNECTION
- 14 DOWNSPOUT
- 15 GATE
- 16 DEMOUNTABLE CURB TO ALLOW FOR FIRE ROUTE ACCESS

SITE PLAN LEGEND:

- NEW BUILDING
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- EXISTING GRASS
- NEW GRASS AND SOFT LANDSCAPING
- EXISTING CONCRETE SIDEWALK
- NEW CONCRETE SIDEWALK
- CRUSHED STONE
- NEW CONCRETE PAD
- BUILDING MAIN ENTRANCE
- SECONDARY ENTRANCE / EMERGENCY EXIT
- SERVICE ENTRANCE
- PROPERTY LINE
- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- EXISTING OVERHEAD WIRE
- DROPPED CURB
- NEW CATCH BASIN PER CIVIL
- NEW MANHOLE PER CIVIL
- EXISTING CATCH BASIN - TO REMAIN
- EXISTING MANHOLE - TO REMAIN
- EXISTING LIGHT STANDARD - TO REMAIN
- EXISTING FIRE HYDRANT - TO REMAIN
- EXISTING UTILITY POLE - TO REMAIN
- NEW TREE



STRUCTURAL ENGINEER
Cleland Jardine Engineering Ltd
580 Terry Fox Drive, Suite 200
Ottawa, ON
613-591-1533
mail@clelandjardine.com



MECHANICAL & ELECTRICAL ENGINEER
Chorley + Bisset Consulting Engineers
250 City Centre Ave.,
Ottawa, ON
613-241-0030
email@chorley.com



CIVIL ENGINEER
McIntosh Perry
115 Walgreen Road
RR3 Carp, ON
613-836-2184
info@mcintoshperry.com

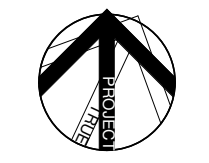


LANDSCAPE ARCHITECT
Fotenn
396 Cooper St, Suite 300
Ottawa, ON
613-730-5709
info@fotenn.com

STAMP

REV	DATE	ISSUE
7	2023.08.11	ISSUED FOR 60% REVIEW
6	2023.08.10	ISSUED FOR ZONING AMENDMENT
5	2023.07.07	ISSUED FOR SPC COMMENT RESPONSE
3	2023.06.23	ISSUED FOR 33% REVIEW
2	2023.03.08	ISSUED FOR SITE PLAN CONTROL
1	2023.02.03	ISSUED FOR RHP APPLICATION

REV DATE ISSUE



NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA SALUS
200 Scott Street
Ottawa Ontario
K1Z 6T2
Salusottawa.org

PROJECT

SALUS 56 CAPILANO
56 Capilano Drive, Ottawa, ON

TITLE

SITE PLAN PHASE 2

PROJECT NO: 2019-0291
DRAWN: AS, KV
APPROVED: DH
SCALE: 1:200

REV DRAWING NO.

7 A101 18926

D07-12-23-0028