

1 OVERALL SITE NEW A100 1:200

<u>PROVIDED</u>

						1 alt 2, 411 27300 1 111 04070
MIN. LOT WIDTH	18m	44.86m	RESIDENTIAL SPACES	0	0	
MIN. LOT AREA	1,400 m ²	2,774.84 m ²	VISITOR SPACES	12	15	REFERENCE SURVEY Fairhall, Moffatt & Woodland L
MIN. FRONT YARD SETBACK	Avg. of nearest lots to max of 3 m	3 m	ACCESSIBLE PARKING	0	1	Reference # 1 (c) - 355 NP Job # V22200
MIN. REAR YARD SETBACK	4.5 m	4.5 m	BICYCLE PARKING - APPARTMENT	27	14 Exterior Spaces + 13 Interior Spaces (Located in appartment	MUNICIPAL ADDRESS
MIN. INTERIOR YARD SETBACK	West Lot Line: 3m East Lot Line: To Be	3 m 3 m			basement)	56 Capilano Drive
	Confirmed by City Staff		BICYCLE PARKING - TOWN HOME	2	2+ (bikes are to be stored in each unit)	
MAX. HEIGHT	Low-rise apartment: 14.5 m Townhouse: 11 m	Low-rise apartment: 13.5m	GARBAGE COLLECTION	1 x 6 Yard bin	2 x 4 Yard bin	
		Townhouse: 6.70 m	GMP COLLECTION	1 x Yard bin	3 x 240L Bins	
AMENITY AREA	6m²/unit = 396 m² Minimum 120 m² communal, 80% soft landscaped May not be located in front yard	245m² exterior amenity space	FIBRE COLLECTION	2 x Yard bin	8 x 240L Bins	
		(labelled on site plan). + 285m² interior amenties (Tenant Resource Centre, & Multi-purpose Rm.)	ORGANICS COLLECTION	1 x 240L Bin	2 x 240L Bin	

PARKING QUEING + LOADING REQUIRED

ZONING PROVISION

LANDSCAPED AREA

<u>REQUIRED</u>

832.5 m²

<u>PROVIDED</u>

Min 30% lot area = $41.32\% - 1146m^2$

LEGAL DESCRIPTION Part 2, 4R-27938 PIN 04678--0068

d Ltd

SITE AREA

APARTMENT BUILDING AREA 775 m² TOWNHOUSE BUILDING AREA 324 m²

APARTMENT GROSS FLOOR AREA 3101 m² TOWNHOUSE GROSS FLOOR AREA 648.5 m²

APARTMENT BUILDING HEIGHT 13.09 m 4 STOREYS TOWNHOUSE BUILDING HEIGHT 6.79 m 2 STOREYS

2,775 m²

ZONE R4Z[2840]-h SCHEDULE 1:

AREA C SCHEDULE 1A: AREA C

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR **UNKNOWN SUBSURFACE CONDITIONS**
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF
- CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB **EXCAVATION**
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO **EXCAVATION**
- 8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 SHADE STRUCTURE
- 2 TANDEM NEXT CONCRETE BLOCK RETAINING WALL
- 3 CANOPY STRUCTURE
- 4 CEDAR FENCE 1800mm HIGH. GATES AS SHOWN
- 5 1070mm HIGH STAINLESS STEEL GUARD ANCHORED TO CONCRETE BLOCK RETAINING WALL
- 6 WINDOW WELL
- 7 GARDEN PLOTS
- 8 HYDRO TRANSFORMER
- 9 600mm DEEP TACTILE INDICATION SURFACE CAST INTO CONCRETE WALKWAY
- 10 TYPE 2 ELECTRIC CAR CHARGING STATION WITH DUAL CHARGERS
- 11 1800x600mm BICYCLE PARKING SPACE c/w PARKING RACK/RING CENTERED BETWEEN EVERY TWO PARKING SPACES.
- 12 EXISTING GUY WIRE TO REMAIN
- 13 SIAMESE CONNECTION
- 14 DOWNSPOUT
- 15 GATE

SITE PLAN LEGEND:

NEW BUILDING EXISTING ASPHALT PAVING

NEW ASPHALT PAVING EXISTING GRASS

NEW GRASS AND SOFT LANDSCAPING

EXISTING CONCRETE SIDEWALK

NEW CONCRETE SIDEWALK

CRUSHED STONE NEW CONCRETE PAD

BUILDING MAIN ENTRANCE

SECONDARY ENTRANCE / EMERGENCY EXIT

SERVICE ENTRANCE PROPERTY LINE

-x-x- FENCE PER LANDSCAPE

-wtr-wtr- NEW DOMESTIC WATER

-san-san- NEW SANITARY

—st——st— NEW STORM —H——H— NEW ELECTRICAL SERVICE (BELOW GRADE)

--OHW---OHW- EXISTING OVERHEAD WIRE

DC DROPPED CURB

NEW CATCH BASIN PER CIVIL

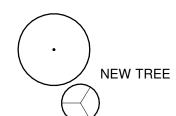
NEW MANHOLE PER CIVIL

EXISTING CATCH BASIN - TO REMAIN

EXISTING LIGHT STANDARD - TO REMAIN

EXISTING UTILITY POLE -TO REMAIN

EXISTING FIRE HYDRANT - TO REMAIN



CSV ARCHITECTS

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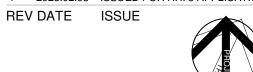
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STAMP

5 2023.07.07 ISSUED FOR SPC COMMENT RESPONSE 3 2023.06.23 ISSUED FOR 33% REVIEW 2 2023.03.08 ISSUED FOR SITE PLAN CONTROL 1 2023.02.03 ISSUED FOR RHI 3 APPLICATION



NOTES

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ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA SALUS

200 Scott Street Ottawa Ontario K1Z 6T2

Salusottawa.org PROJECT

TITLE

REV

SALUS 56 CAPILANO

56 Capilano Drive, Ottawa, ON

SITE PLAN

PROJECT NO: 2019-0291 DRAWN: AS, KV APPROVED: DH

SCALE: 1:200

> DRAWING NO. A100

#18926

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