



**1 OVERALL SITE NEW**  
A100 1:200

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	18m	44.86m
MIN. LOT AREA	1,400 m <sup>2</sup>	2,774.84 m <sup>2</sup>
MIN. FRONT YARD SETBACK	Avg. of nearest lots to max of 3 m	3 m
MIN. REAR YARD SETBACK	4.5 m	4.5 m
MIN. INTERIOR YARD SETBACK	West Lot Line: 3m East Lot Line: To Be Confirmed by City Staff	3 m 3 m
MAX. HEIGHT	Low-rise apartment: 14.5 m Townhouse: 11 m	Low-rise apartment: 13.5m Townhouse: 6.70 m
AMENITY AREA	6m <sup>2</sup> /unit = 396 m <sup>2</sup> Minimum 120 m <sup>2</sup> communal, 80% soft landscaped May not be located in front yard	245m <sup>2</sup> exterior amenity space (labelled on site plan). + 285m <sup>2</sup> interior amenities (Tenant Resource Centre, & Multi-purpose Rm.)
LANDSCAPED AREA	Min 30% lot area = 832.5 m <sup>2</sup>	41.32% - 1146m <sup>2</sup>

PARKING QUEUING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	0	0
VISITOR SPACES	12	15
ACCESSIBLE PARKING	0	1
BICYCLE PARKING - APPARTMENT	27	14 Exterior Spaces + 13 Interior Spaces (Located in apartment basement)
BICYCLE PARKING - TOWN HOME	2	2+ (bikes are to be stored in each unit)
GARBAGE COLLECTION	1 x 6 Yard bin	2 x 4 Yard bin
GMP COLLECTION	1 x Yard bin	3 x 240L Bins
FIBRE COLLECTION	2 x Yard bin	8 x 240L Bins
ORGANICS COLLECTION	1 x 240L Bin	2 x 240L Bin

LEGAL DESCRIPTION  
Part 2, 4R-27938 PIN 04678-0068

REFERENCE SURVEY  
Fairhall, Moffatt & Woodland Ltd  
Reference # 1 (c) - 355 NP  
Job # V22200

MUNICIPAL ADDRESS  
56 Capilano Drive

SITE AREA 2,775 m<sup>2</sup>

APARTMENT BUILDING AREA 775 m<sup>2</sup>  
TOWNHOUSE BUILDING AREA 324 m<sup>2</sup>

APARTMENT GROSS FLOOR AREA 3101 m<sup>2</sup>  
TOWNHOUSE GROSS FLOOR AREA 648.5 m<sup>2</sup>

APARTMENT BUILDING HEIGHT 13.09 m 4 STOREYS  
TOWNHOUSE BUILDING HEIGHT 6.79 m 2 STOREYS

ZONE R4Z(2840)-h

SCHEDULE 1: AREA C  
SCHEDULE 1A: AREA C

**SITE PLAN GENERAL NOTES:**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**SITE PLAN KEYNOTES:**

- SHADE STRUCTURE
- TANDEM NEXT CONCRETE BLOCK RETAINING WALL
- CANOPY STRUCTURE
- CEDAR FENCE 1800mm HIGH. GATES AS SHOWN
- 1070mm HIGH STAINLESS STEEL GUARD RAIL ANCHORED TO CONCRETE BLOCK RETAINING WALL
- WINDOW WELL
- GARDEN PLOTS
- HYDRO TRANSFORMER
- 600mm DEEP TACTILE INDICATION SURFACE CAST INTO CONCRETE WALKWAY
- TYPE 2 ELECTRIC CAR CHARGING STATION WITH DUAL CHARGERS
- 1800x600mm BICYCLE PARKING SPACE c/w PARKING RACK/RING CENTERED BETWEEN EVERY TWO PARKING SPACES.
- EXISTING GUY WIRE TO REMAIN
- SIAMESE CONNECTION
- DOWNSPOUT
- GATE

**SITE PLAN LEGEND:**

- NEW BUILDING
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- EXISTING GRASS
- NEW GRASS AND SOFT LANDSCAPING
- EXISTING CONCRETE SIDEWALK
- NEW CONCRETE SIDEWALK
- CRUSHED STONE
- NEW CONCRETE PAD
- BUILDING MAIN ENTRANCE
- SECONDARY ENTRANCE / EMERGENCY EXIT
- SERVICE ENTRANCE
- PROPERTY LINE
- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- EXISTING OVERHEAD WIRE
- DC DROPPED CURB
- CB NEW CATCH BASIN PER CIVIL
- MH NEW MANHOLE PER CIVIL
- CB EXISTING CATCH BASIN - TO REMAIN
- MH EXISTING MANHOLE - TO REMAIN
- LS EXISTING LIGHT STANDARD - TO REMAIN
- FH EXISTING FIRE HYDRANT - TO REMAIN
- UP EXISTING UTILITY POLE - TO REMAIN
- NT NEW TREE



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STAMP

REV	DATE	ISSUE
5	2023.07.07	ISSUED FOR SPC COMMENT RESPONSE
3	2023.06.23	ISSUED FOR 33% REVIEW
2	2023.03.08	ISSUED FOR SITE PLAN CONTROL
1	2023.02.03	ISSUED FOR R/H 3 APPLICATION

NOTES

- OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

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Salusottawa.org

PROJECT

**SALUS 56 CAPILANO**  
56 Capilano Drive, Ottawa, ON

TITLE

**SITE PLAN**

PROJECT NO: 2019-0291  
DRAWN: AS, KV  
APPROVED: DH  
SCALE: 1 : 200

REV DRAWING NO.

5 **A100**  
**#18926**

**D07-12-23-0028**