

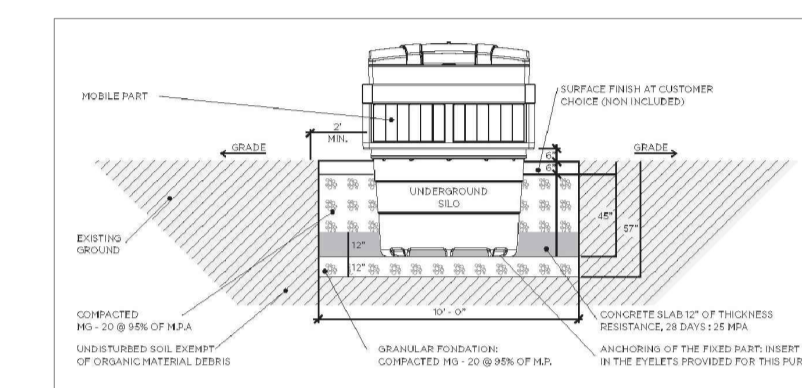
ZONING REQUIREMENTS: **RG3 [900r]-h - Rural Commercial Industrial (schedule 219 and 220) + BUILDING INFORMATION**

PARKING PROVISIONS (AREA D) Required: 12	321 sq.m service and repair shop = 11 spaces (3.4 spaces / 100 sq.m) 16 sq.m office = 1 space (2.4 spaces / 100 sq.m)	Provided 12 (6 exterior + 6 inside bays)
BICYCLE PARKING PROVISIONS Required: 1 / 1500 sq.m @ 552 sq.m = 0		Provided 0
VEHICLE LOADING SPACE PROVISIONS Required: 1 for 350 to 999 sq.m @ 552 sq.m = 0		Provided 0
MINIMUM FRONT YARD SETBACK Required: 15m (49'-3")		Provided 1.02 m (3'-4")
MINIMUM NORTH INTERIOR SIDE YARD SETBACK Required: 3m (9'-11") from RG ZONE		Provided 13.41 m (44'-0")
MINIMUM SOUTH INTERIOR SIDE YARD SETBACK Required: 8m (26'-3") from MEZ ZONE		Provided 0.61 m (2'-0")
REAR YARD SETBACK Required: 15m (49'-3")		Provided 38.30 m (125'-8")
MAXIMUM BUILDING HEIGHT Required: 15m (49'-3")		Provided 8.23 m (27'-0")
MAXIMUM LOT COVERAGE Required: 50%		Provided 16 %

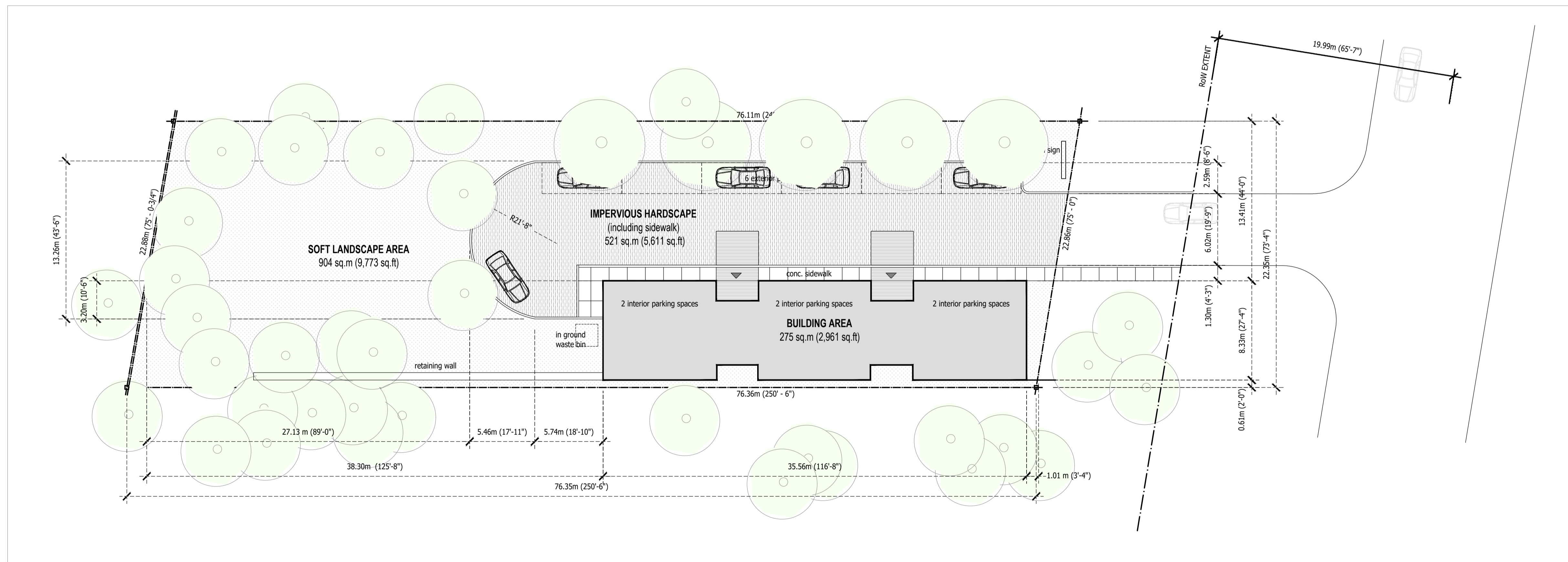
LOT AREA	18,342 sq.ft (1,704 sq.m)
GROSS AREA zoning definition	4,010 sq.ft (373 sq.m)
BUILDING AREA	2,961 sq.ft (275 sq.m)
GROSS AREA building code definition	2,961 sq.ft (275 sq.m) - does not include mezzanine
BUILDING HEIGHT	1 storey (mezzanine not included as storey)
FACING STREET	1
OCCUPANCY TYPE	F2 - medium hazard industrial
BUILDING FIRE SAFETY	Part 3 - 3.2.2.71
PERMITTED CONSTRUCTION	Combustible or Non - Combustible

LEGEND

- LC - LIGHT UNDER CANOPY
- LW - LIGHT WALL MOUNT
- DP - DEPRESSED CURB
- WB - IN-GROUND WASTE BIN
- CU - PRECAST CONCRETE CURB STOP



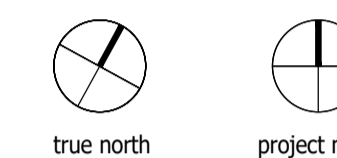
DETAIL FOR IN-GROUND WASTE BIN



SITE PLAN

owner
Rayan Zaher
364 Wisteria Crescent
Ottawa ON

architect
unPoised Architecture INC
5-16 Sweetland Avenue
Ottawa ON



revisions	date
XXXXX	XXXXX
XXXXX	XXXXX
SPC SUBMISSION	2024-04-05
PROGRESS REVIEW	2023-12-20
SPC SUBMISSION	2023-09-14
PROGRESS REVIEW	2022-12-15

project title
STORAGE and REPAIR FACILITY

5254 Bank Street, Ottawa ON

drawing title
SITE PLAN and ZONING

sheet number

A01