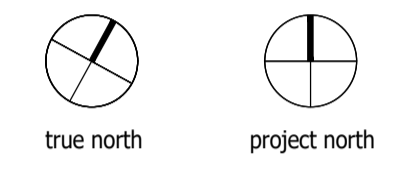


owner
Rayan Zaher
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revisions	date
XXXXXX	XXXXXX
XXXXXX	XXXXXX
PROGRESS REVIEW	2023-12-20
SPC SUBMISSION	2023-09-14
PROGRESS REVIEW	2022-12-15

STORAGE and REPAIR FACILITY

5254 Bank Street, Ottawa ON

SITE PLAN and ZONING

sheet number

A01

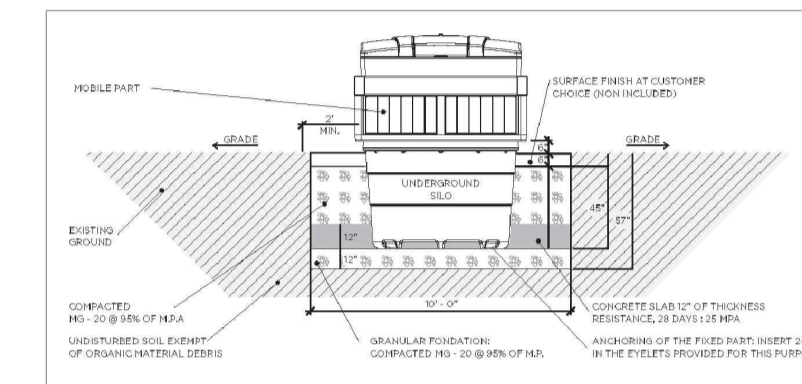
ZONING REQUIREMENTS: RG3 [900r]-h - Rural Commercial Industrial (schedule 219 and 220) + BUILDING INFORMATION

PARKING PROVISIONS (AREA D) Required: 12 <small>321 sq.m service and repair shop = 11 spaces (3.4 spaces / 100 sq.m) 16 sq.m office = 1 space (2.4 spaces / 100 sq.m)</small>	Provided 12 (6 exterior + 6 inside bays)
BICYCLE PARKING PROVISIONS Required: 1 / 1500 sq.m @ 552 sq.m = 0	Provided 0
VEHICLE LOADING SPACE PROVISIONS Required: 1 for 350 to 999 sq.m @ 552 sq.m = 0	Provided 0
MINIMUM FRONT YARD SETBACK Required: 15m (49'-3")	Provided 1.02 m (3'-4")
MINIMUM NORTH INTERIOR SIDE YARD SETBACK Required: 3m (9'-11") from RG ZONE	Provided 13.41 m (44'-0")
MINIMUM SOUTH INTERIOR SIDE YARD SETBACK Required: 8m (26'-3") from ME2 ZONE	Provided 0.61 m (2'-0")
REAR YARD SETBACK Required: 15m (49'-3")	Provided 38.30 m (125'-8")
MAXIMUM BUILDING HEIGHT Required: 15m (49'-3")	Provided 8.23 m (27'-0")
MAXIMUM LOT COVERAGE Required: 50%	Provided 16 %

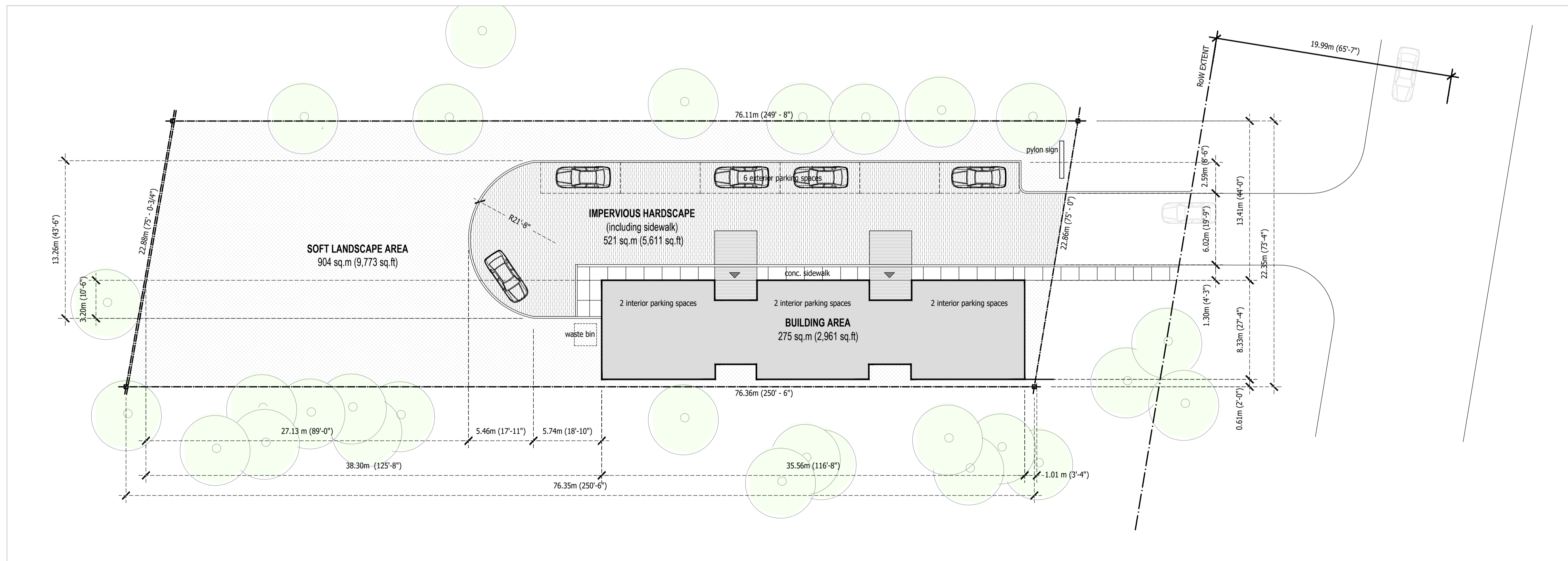
LOT AREA	18,342 sq.ft (1,704 sq.m)
GROSS AREA <small>zoning definition</small>	4,010 sq.ft (373 sq.m)
BUILDING AREA	2,961 sq.ft (275 sq.m)
GROSS AREA <small>building code definition</small>	2,961 sq.ft (275 sq.m) - does not include mezzanine
BUILDING HEIGHT	1 storey (mezzanine not included as storey)
FACING STREET	1
OCCUPANCY TYPE	F2 - medium hazard industrial
BUILDING FIRE SAFETY	Part 3 - 3.2.2.71
PERMITTED CONSTRUCTION	Combustible or Non - Combustible

LEGEND

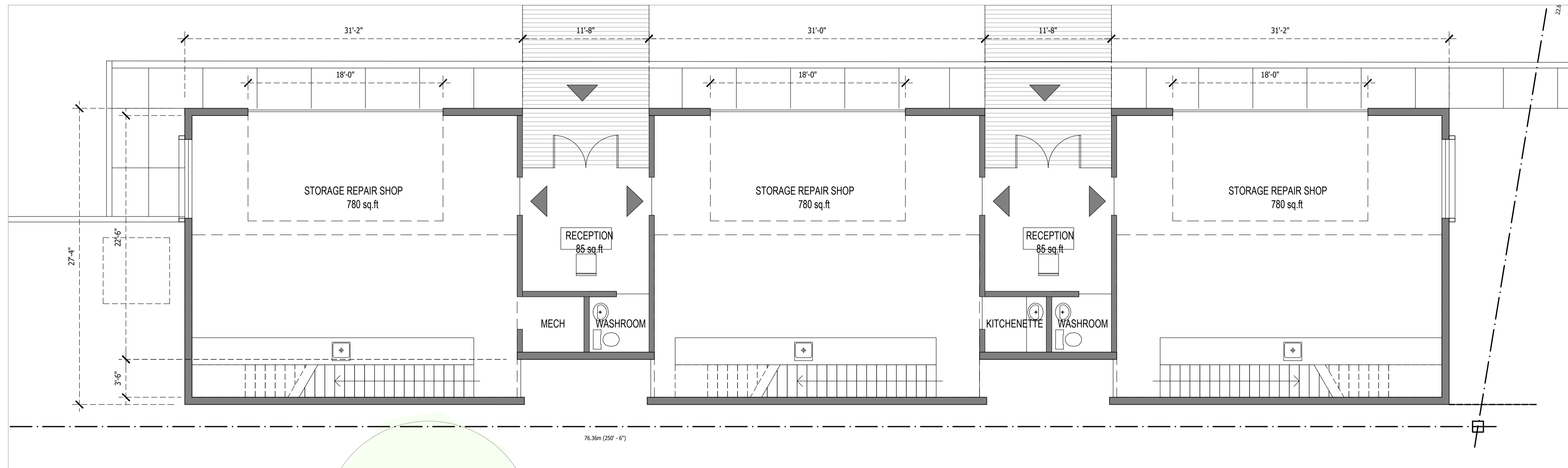
- LC - LIGHT UNDER CANOPY
- LW - LIGHT WALL MOUNT
- DP - DEPRESSED CURB
- WB - IN-GROUND WASTE BIN
- CU - PRECAST CONCRETE CURB STOP



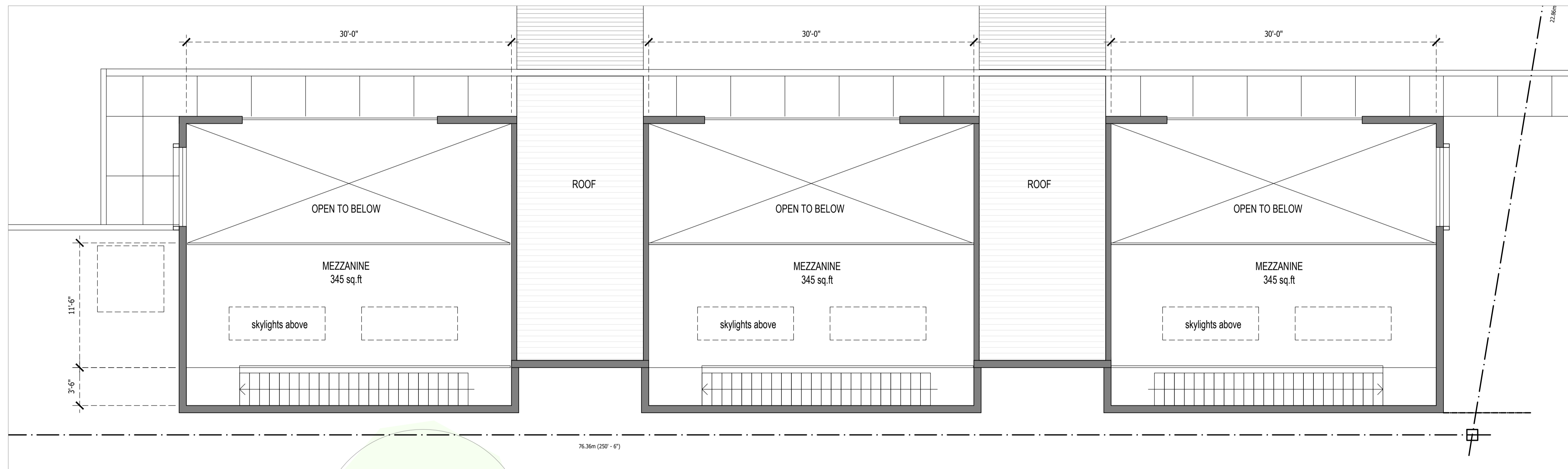
DETAIL FOR IN-GROUND WASTE BIN



SITE PLAN



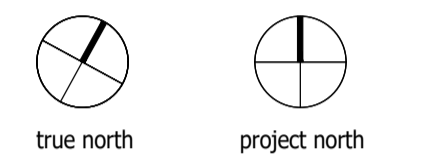
FIRST FLOOR PLAN



MEZZANINE PLAN

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revisions	date
XXXXX	XXXXX
XXXXX	XXXXX
XXXXX	XXXXX
XXXXX	XXXXX
XXXXX	XXXXX
PROGRESS REVIEW	2023-12-20
project title	

STORAGE and REPAIR FACILITY

5254 Bank Street, Ottawa ON

drawing title
FLOOR PLANS

sheet number

A02



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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revisions	date
XXXXXX	XXXXXX
XXXXXX	XXXXXX
XXXXXX	XXXXXX
XXXXXX	XXXXXX
PROGRESS REVIEW	2023-12-20
SPC SUBMISSION	2023-09-14

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STORAGE and REPAIR FACILITY
 5254 Bank Street, Ottawa ON
 drawing title
ELEVATIONS

sheet number
A03