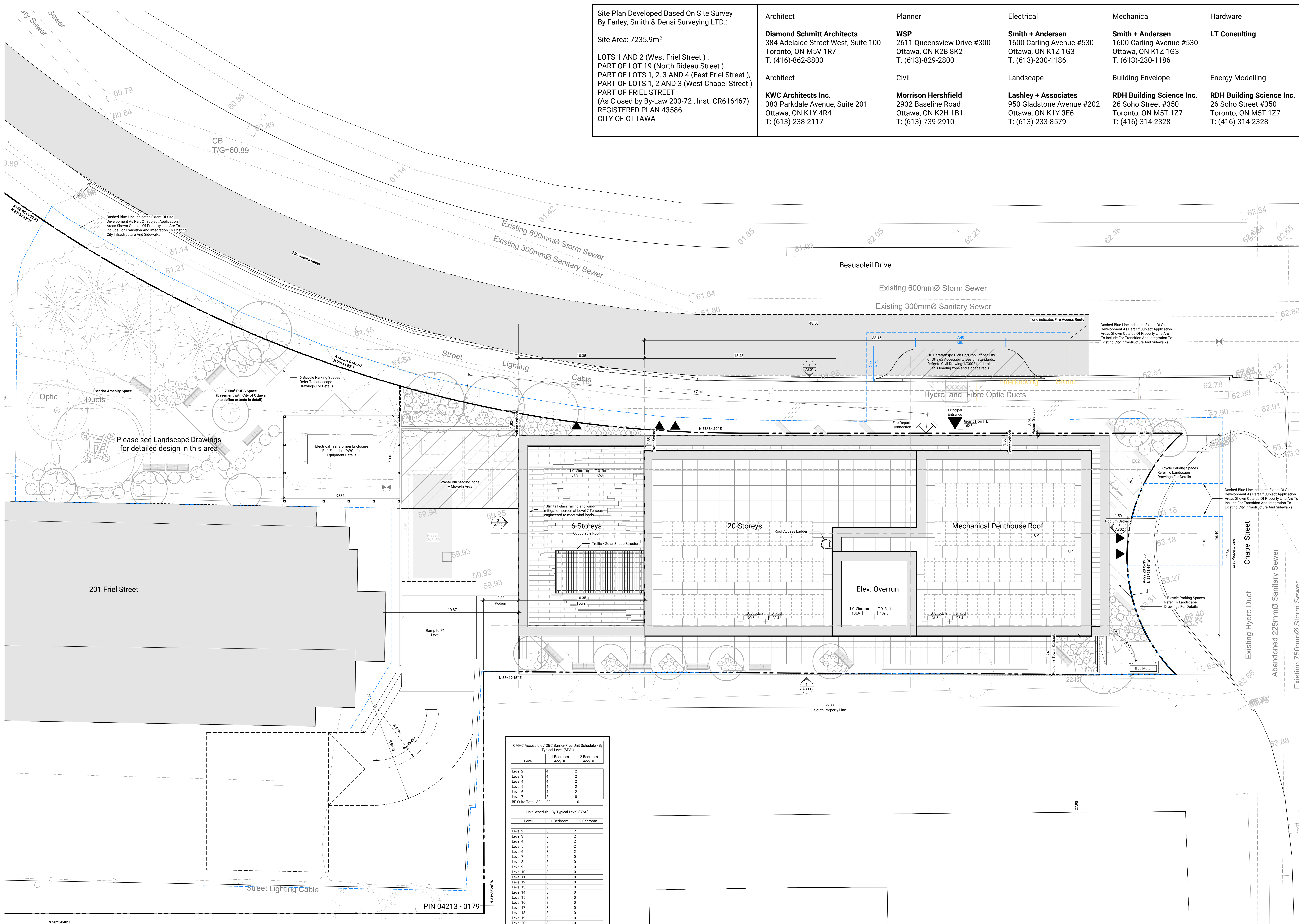


Site Plan Developed Based On Site Survey By Farley, Smith & Densi Surveying LTD.:

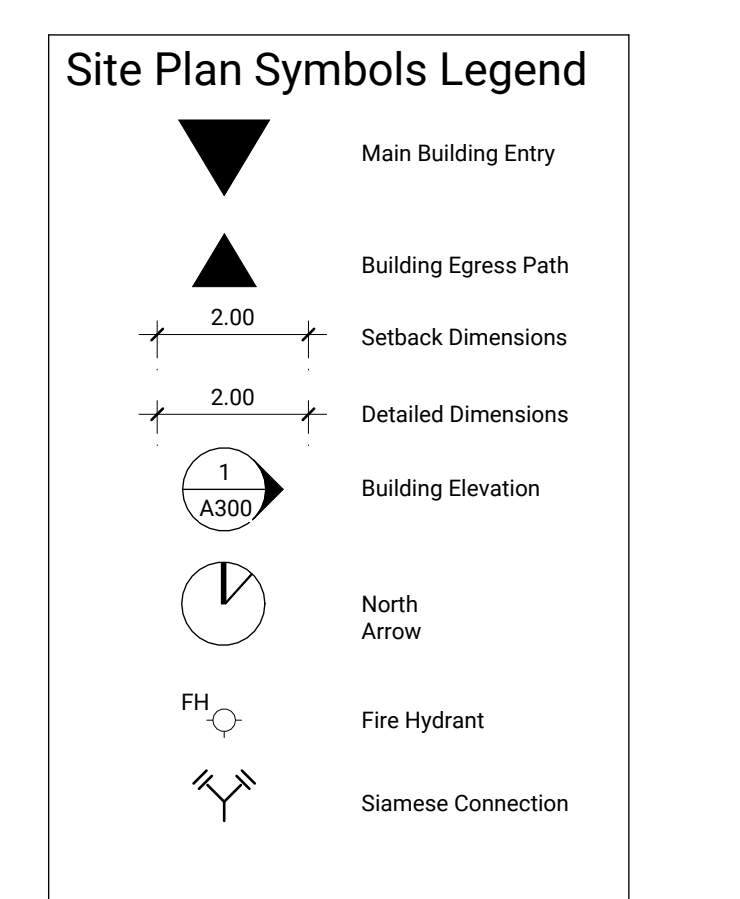
Site Area: 7235.9m²

LOTS 1 AND 2 (West Friel Street), PART OF LOT 19 (North Rideau Street), PART OF LOTS 1, 2, 3 AND 4 (East Friel Street), PART OF LOTS 1, 2 AND 3 (West Chapel Street) PART OF FRIEL STREET (As Closed by By-Law 203-72, Inst. CR616467) REGISTERED PLAN 43586 CITY OF OTTAWA

Architect	Planner	Electrical	Mechanical	Hardware
Diamond Schmitt Architects 384 Adelaide Street West, Suite 100 Toronto, ON M5V 1R7 T: (416)-862-8800	WSP 2611 Queensview Drive #300 Ottawa, ON K2B 8K2 T: (613)-829-2800	Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186	Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186	LT Consulting
Architect	Civil	Landscape	Building Envelope	Energy Modelling
KWC Architects Inc. 383 Parkdale Avenue, Suite 201 Ottawa, ON K1Y 4R4 T: (613)-238-2117	Morrison Hershfield 2932 Baseline Road Ottawa, ON K2H 1B1 T: (613)-739-2910	Lashley + Associates 950 Gladstone Avenue #202 Ottawa, ON K1Y 3E6 T: (613)-233-8579	RDH Building Science Inc. 26 Soho Street #350 Toronto, ON M5T 1Z7 T: (416)-314-2328	RDH Building Science Inc. 26 Soho Street #350 Toronto, ON M5T 1Z7 T: (416)-314-2328



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	2	18 MAY 2023	Issued for Review and Site Plan Control - Resubmission #1
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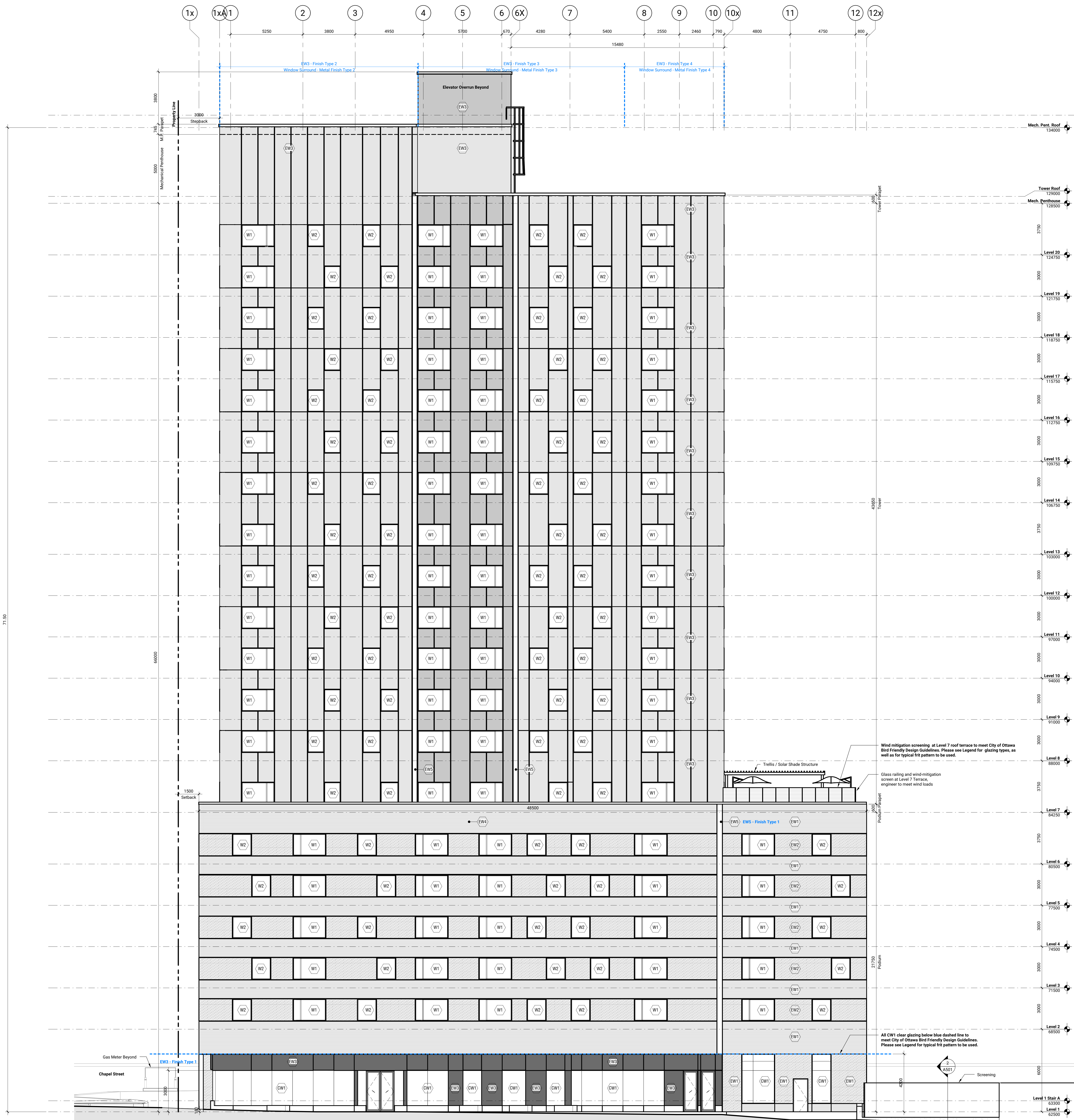


NOT FOR CONSTRUCTION

CMHC Accessible / OBC Barrier Free Unit Schedule - By Typical Level (SPA)			
Level	1 Bedroom Acc/BF	2 Bedroom Acc/BF	
Level 2	4	2	
Level 3	4	2	
Level 4	4	2	
Level 5	4	2	
Level 6	4	2	
Level 7	2	10	
Level 8	2	10	
Level 9	2	10	
Level 10	2	10	
Level 11	2	10	
Level 12	2	10	
Level 13	2	10	
Level 14	2	10	
Level 15	2	10	
Level 16	2	10	
Level 17	2	10	
Level 18	2	10	
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Level 28	2	10	
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Level 41	2	10	
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Level 91	2	10	
Level 92	2	10	
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Level 95	2	10	
Level 96	2	10	
Level 97	2	10	
Level 98	2	10	
Level 99	2	10	
Level 100	2	10	

Unit Schedule - By Typical Level (SPA)			
Level	1 Bedroom	2 Bedroom	
Level 2	8	2	
Level 3	8	2	
Level 4	8	2	
Level 5	8	2	
Level 6	8	2	
Level 7	5	10	
Level 8	5	10	
Level 9	5	10	
Level 10	5	10	
Level 11	5	10	
Level 12	5	10	
Level 13	5	10	
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Level 96	5	10	
Level 97	5	10	
Level 98	5	10	
Level 99	5	10	
Level 100	5	10	

Gross Floor Area (SPA)				Amenity Areas (SPA)				Exemption A - Mech. Service + Electrical (SPA)				Exemption B - Common Circulation (SPA)				Exemption C - Parking + Loading (SPA)				Exemption D - Common Laundry, Storage, WCs (SPA)				Exemption E - Common Building Storage (SPA)				Exemption F - Amenity (SPA)			
Level	Gross Floor Area (m ²)	Gross Floor Area (ft ²)		Level	Name	AR_AreaType_KS	Area	Level	Area (m ²)	Area (ft ²)		Level	Area (m ²)	Area (ft ²)		Level	Area (m ²)	Area (ft ²)		Level	Area (m ²)	Area (ft ²)		Level	Area (m ²)	Area (ft ²)		Level	Area (m ²)	Area (ft ²)	
Level P1	100.31 m ²	1081.90 ft ²		Level 1	Outdoor Seating Area	Amenity Exterior	115.42 m ²	Level P1	229.38 m ²	2468.98 ft ²		Level P1	100.82 m ²	1088.28 ft ²		Level P1	285.91 m ²	3077.50 ft ²		Level P1	13.90 m ²	149.62 ft ²		Level 1	383.80 m ²	4131.14 ft ²		Level 1	166.53 m ²	1802.25 ft ²	
Level 1	204.72 m ²	2203.62 ft ²		Level 1	East Garden	Amenity Exterior	25.00 m ²	Level 1	3.44 m ²	37.07 ft ²		Level 1	148.36 m ²	1607.69 ft ²		Level 1	285.91 m ²	3077.50 ft ²		Level 1	173.37 m ²	1866.16 ft ²		Level 1	383.80 m ²	4131.14 ft ²		Level 1	166.53 m ²	1802.25 ft ²	
Level 2	690.19 m ²	7429.11 ft ²		Level 1	Private Garden	Amenity Exterior	31.50 m ²	Level 2	4.36 m ²	46.97 ft ²		Level 2	100.22 m ²	1078.73 ft ²		Level 2	285.91 m ²	3077.50 ft ²		Level 2	173.37 m ²	1866.16 ft ²		Level 2	383.80 m ²	4131.14 ft ²		Level 2	166.53 m ²	1802.25 ft ²	
Level 3	690.19 m ²	7429.11 ft ²		Level 1	Children's Play	Amenity Exterior	223.04 m ²	Level 3	4.36 m ²	46.97 ft ²		Level 3	100.22 m ²	1078.73 ft ²		Level 3	285.91 m ²	3077.50 ft ²		Level 3	173.37 m ²	1866.16 ft ²		Level 3	383.80 m ²	4131.14 ft ²		Level 3	166.53 m ²	1802.25 ft ²	
Level 4	690.19 m ²	7429.11 ft ²		Level 1	Games Lounge	Amenity Interior	71.51 m ²	Level 4	4.36 m ²	46.97 ft ²		Level 4	100.22 m ²	1078.73 ft ²		Level 4	285.91 m ²	3077.50 ft ²		Level 4	173.37 m ²	1866.16 ft ²		Level 4	383.80 m ²	4131.14 ft ²		Level 4	166.53 m ²	1802.25 ft ²	
Level 5	690.19 m ²	7429.11 ft ²		Level 1	Library	Amenity Interior	28.20 m ²	Level 5	15.19 m ²	164.88 ft ²		Level 5	100.22 m ²	1078.73 ft ²		Level 5	285.91 m ²	3077.50 ft ²		Level 5	173.37 m ²	1866.16 ft ²		Level 5	383.80 m ²	4131.14 ft ²		Level 5	166.53 m ²	1802.25 ft ²	
Level 6	690.19 m ²	7429.11 ft ²		Level 1	Flexible Seating	Amenity Interior	56.44 m ²	Level 6	15.19 m ²	164.88 ft ²		Level 6	100.22 m ²	1078.73 ft ²		Level 6	285.91 m ²	3077.50 ft ²		Level 6	173.37 m ²	1866.16 ft ²		Level 6	383.80 m ²	4131.14 ft ²		Level 6	166.53 m ²	1802.25 ft ²	
Level 7	364.08 m ²	3918.92 ft ²		Level 1	Arts + Activities	Amenity Interior	114.22 m ²	Level 7	3.50 m ²	37.64 ft ²		Level 7	89.20 m ²	960.11 ft ²		Level 7	285.91 m ²	3077.50 ft ²		Level 7	173.37 m ²	1866.16 ft ²		Level 7	383.80 m ²	4131.14 ft ²		Level 7	166.53 m ²	1802.25 ft ²	
Level 8	456.89 m ²	4917.97 ft ²		Level 1	WPH	Amenity Interior	37.59 m ²	Level 8	3.50 m ²	37.64 ft ²		Level 8	89.64 m ²	964.84 ft ²		Level 8	285.91 m ²	3077.50 ft ²		Level 8	173.37 m ²	1866.16 ft ²		Level 8	383.80 m ²	4131.14 ft ²		Level 8	166.53 m ²	1802.25 ft ²	
Level 9	456.89 m ²	4917.97 ft ²		Level 1	Wellness	Amenity Interior	50.90 m ²	Level 9	3.50 m ²	37.64 ft ²		Level 9	89.64 m ²	964.84 ft ²		Level 9	285.91 m ²	3077.50 ft ²		Level 9	173.37 m ²	1866.16 ft ²		Level 9	383.80 m ²	4131.14 ft ²		Level 9	166.53 m ²	1802.25 ft ²	
Level 10	456.89 m ²	4917.97 ft ²		Level 1	Bookable	Amenity Interior	29.11 m ²	Level 10	3.50 m ²	37.64 ft ²		Level 10	8																		



Issued

No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1
3	13 JUL 2023	Issued for Site Plan Control - Resubmission #2
4	25 AUG 2023	Issued for 100% Design Development
5	18 SEP 2023	Issued for Site Plan Control - Resubmission

Legend - Cladding Materials

(EW1)	Exterior Wall Type 1 - Masonry Cladding
(EW2)	Exterior Wall Type 2 - Sintered Stone Cladding
(EW3)	Exterior Wall Type 3 - Metal Panel Cladding
(CW1)	Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
(W1)	Punched Window Type 1 - Triple Glazed Fiberglass Window Clear glazing without frit.
(W1F)	W1 F to contain bird-friendly frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
(W2)	Punched Window Type 2 - Triple Glazed Fiberglass Window Clear glazing without frit.
(W3)	Punched Window Type 3 - Triple Glazed Fiberglass Window Clear glazing without frit.

*Bird friendly frit pattern:

 Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines.

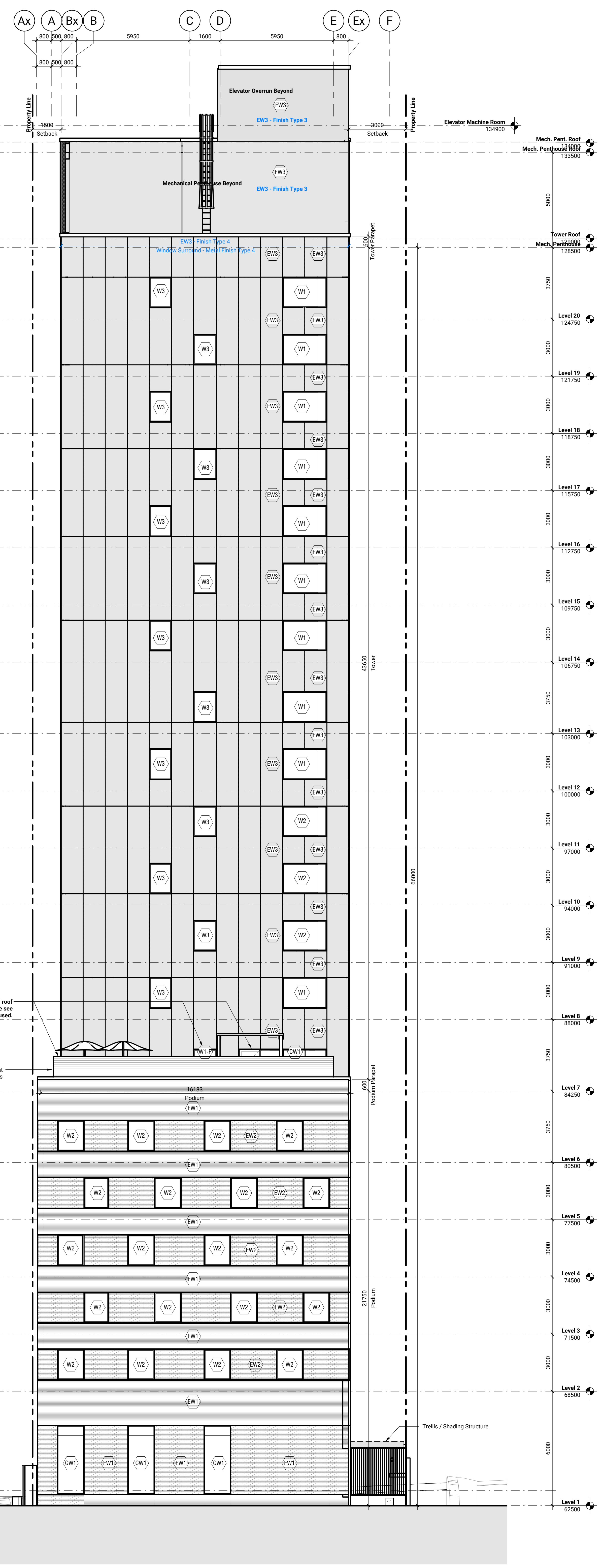
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OCH Friel Street / Chapel
 200-201 Friel Street (200 Beausoleil), Ottawa, ON K1
 221021

North Exterior Building Elevation
 As indicated
A301

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West Building Elevation 1:100

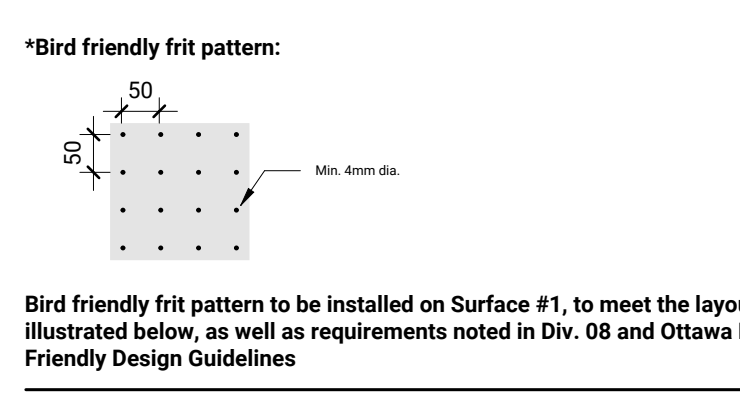


East Building Elevation 1:100

Issued

No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1
3	13 JUL 2023	Issued for Site Plan Control - Resubmission #2
4	25 AUG 2023	Issued for 100% Design Development
5	18 SEP 2023	Issued for Site Plan Control - Resubmission

- Legend - Cladding Materials
- (EW1) Exterior Wall Type 1 - Masonry Cladding
 - (EW2) Exterior Wall Type 2 - Sintered Stone Cladding
 - (EW3) Exterior Wall Type 3 - Metal Panel Cladding
 - (CW1) Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
 - (W1) Punched Window Type 1 - Triple Glazed Fiberglass Window Clear glazing without frit.
 - (W1-F) Frit to contain bird-friendly frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
 - (W2) Punched Window Type 2 - Triple Glazed Fiberglass Window Clear glazing without frit.
 - (W3) Punched Window Type 3 - Triple Glazed Fiberglass Window Clear glazing without frit.



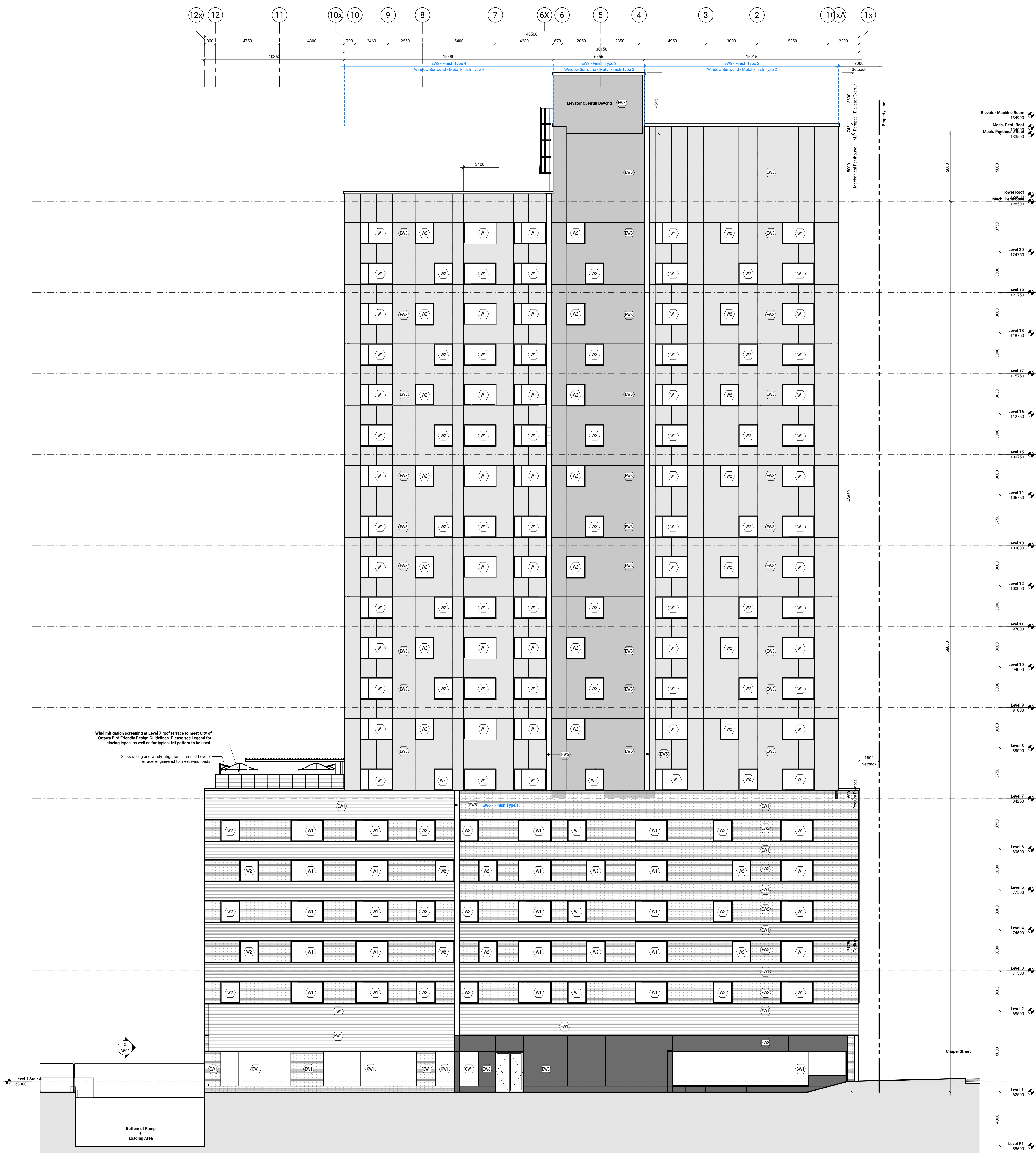
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200-201 Friel Street (200 Beauséjour), Ottawa, ON K1P 1Y1
221021

East and West Exterior Building Elevations
As Indicated

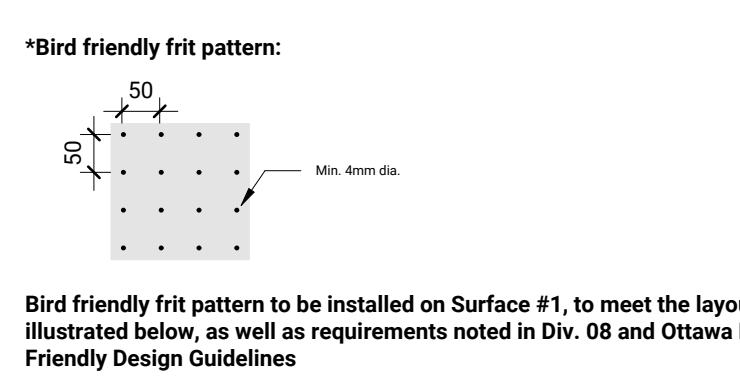
A302 007-12-23-0034 (SPC)



No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1
3	13 JUL 2023	Issued for Site Plan Control - Resubmission #2
4	25 AUG 2023	Issued for 100% Design Development
5	18 SEP 2023	Issued for Site Plan Control - Resubmission

Legend - Cladding Materials

	Exterior Wall Type 1 - Masonry Cladding
	Exterior Wall Type 2 - Sintered Stone Cladding
	Exterior Wall Type 3 - Metal Panel Cladding
	Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
	Punched Window Type 1 - Triple Glazed Fiberglass Window Clear glazing without frit.
	Punched Window Type 2 - Triple Glazed Fiberglass Window W1 F to contain bird-friendly frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
	Punched Window Type 3 - Triple Glazed Fiberglass Window Clear glazing without frit.



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Perspective No. 1 - North elevation illustrating facade materiality, colour highlights and patterning from across Beausoleil Drive.



Perspective No. 2 - Detailed view of north podium elevation illustrating masonry facade coursing pattern, and window surround highlight, alongside entryway and community space highlights.



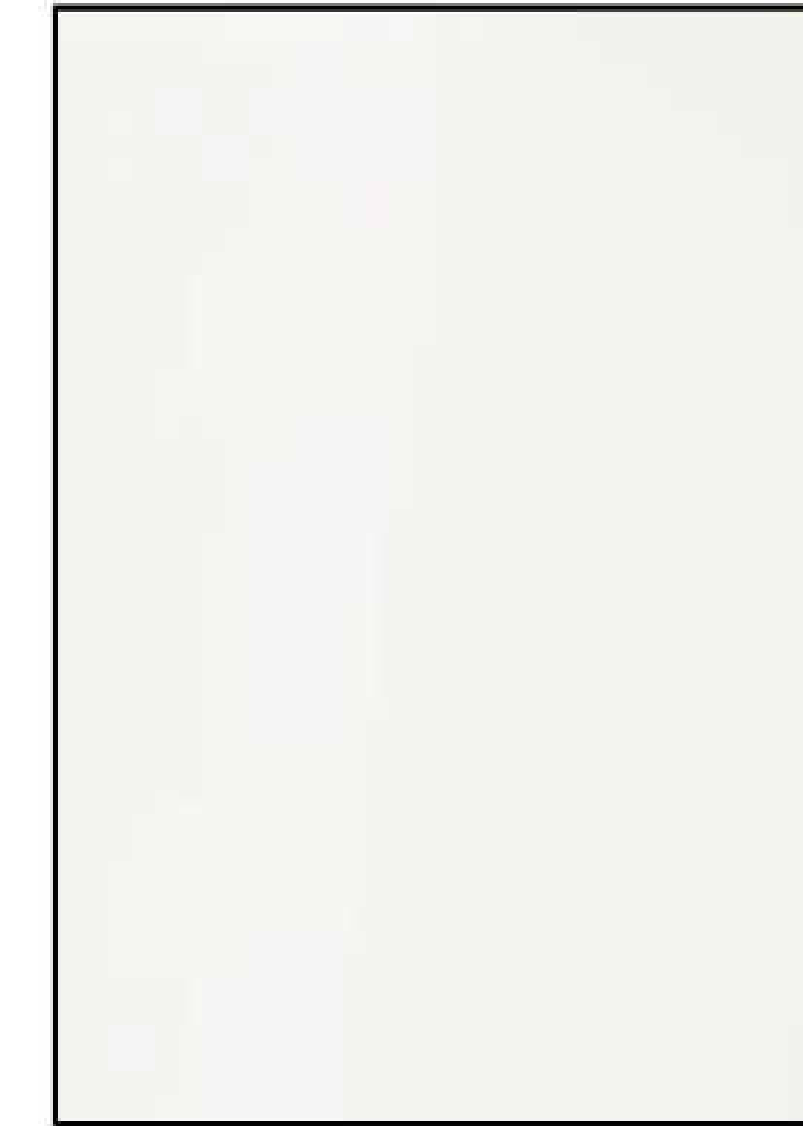
Perspective No. 3 - View from west side of Beausoleil Drive illustrating facade materiality, POPS space, as well as ground level transparency.



Perspective No. 3 - Detailed view of east portion of podium along Chapel Street, illustrating plantings, linear park and large glazing into community and amenity spaces at grade.

Cladding Materials

Tower



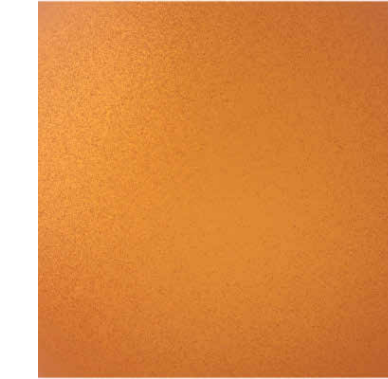
EW3 Sintered Stone Finish Type 2
Ceramitex Uyuni Chromica



EW3 Sintered Stone Finish Type 3
Ceramitex Steel Marengo



EW3 Sintered Stone Finish Type 4
Ceramitex Aeris Natural



EW5 Window Surround Finish Type 2
Fluropon Continuum Ablaze



EW5 Window Surround Finish Type 3
Fluropon Continuum Snake Eyes



EW5 Window Surround Finish Type 4
Fluropon Continuum Agate

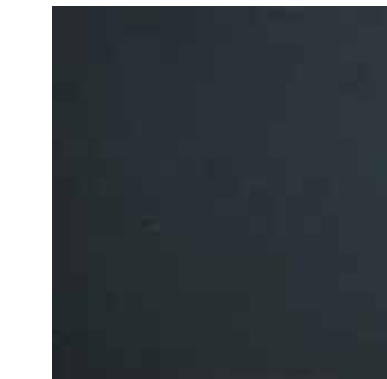
Podium



EW3 Sintered Stone Finish Type 1
Ceramitex Nero Zimbabwe



EW5 Window Surround Finish Type 1
Fluropon Continuum Radiant Spark



CW1 Mullions
Duranar Cosmic Gray Mica



EW1 Masonry Cladding
Interstate Brick, Ash

Issued No.	Date	Description
1	18 SEP 2023	Issued for Site Plan Control - Re-submission

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OCH Friel Street / Chapel
200-201 Friel Street (200 Beausoleil), Ottawa, ON K
221021

Renderings & Material References

A350