

LEGEND

DESCRIPTION EXISTING PROPOSED

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists various infrastructure items like PROPERTY LINE, STORM SEWER, SANITARY SEWER, etc. with corresponding symbols for existing and proposed states.

Diagrammatic elements including a storm sewer manhole symbol (MH-S), a catchbasin symbol (CB), and a proposed silt fence symbol (SP-10 10.0m).

GENERAL NOTES:

- 1. ALL WORKS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS), WHERE APPLICABLE.
2. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY...
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION...

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL SANITARY SEWERS SHALL BE PVC SDR 35, IPEX "RING-TITE" (OR EQUIVALENT), AS PER CSA STANDARD 8182.2 OR LATEST AMENDMENT...

STORM SEWER NOTES

- 1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A297.2 (LATEST AMENDMENT)...

- 11. STORM MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24, S24.1 AND S25.
12. SAFETY PLATFORMS SHALL BE IN ACCORDANCE WITH OPSD 404.02.
13. DROP STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA SPECIFICATIONS AND OPSD 1003.01.

WATERMAIN NOTES

- 1. ALL WATERMAIN MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE. WATERMAIN CONNECTIONS BY CITY OF OTTAWA FORCES WITH ALL EXCAVATION BACKFILL AND ROAD REINSTATEMENT BY CONTRACTOR.

ROADWAY SPECIFICATIONS

- 1. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONCRETE CURB SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. SCI.1.1 (BARRIER CURB) AND SCI.3 (MOUNTABLE CURB)...

GENERAL NOTES FOR GRADING

- 1. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ENSURE THAT GRADING AROUND HYDRANTS, TRANSFORMERS, AND UTILITY PEDESTALS, ETC., MEET CURRENT CITY OF OTTAWA, HYDRO AND UTILITY COMPANY REQUIREMENTS.
2. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.

CAUTION THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS...

Table with columns: REV, REVISION DESCRIPTION, DATE, BY, APPD. Contains revision entries for the drawing.

Table with columns: SCALE, DESIGNED BY, REVIEWED BY, CLIENT. Contains project metadata.

Professional Engineer stamp for M.A. Ansari, License No. 1492, Province of Ontario, dated 2023-08-07.

Client information for Ambassador Realty Inc., 185 Somerset St. W., Ottawa, ON, K2P 0J2. Includes logo and contact details.

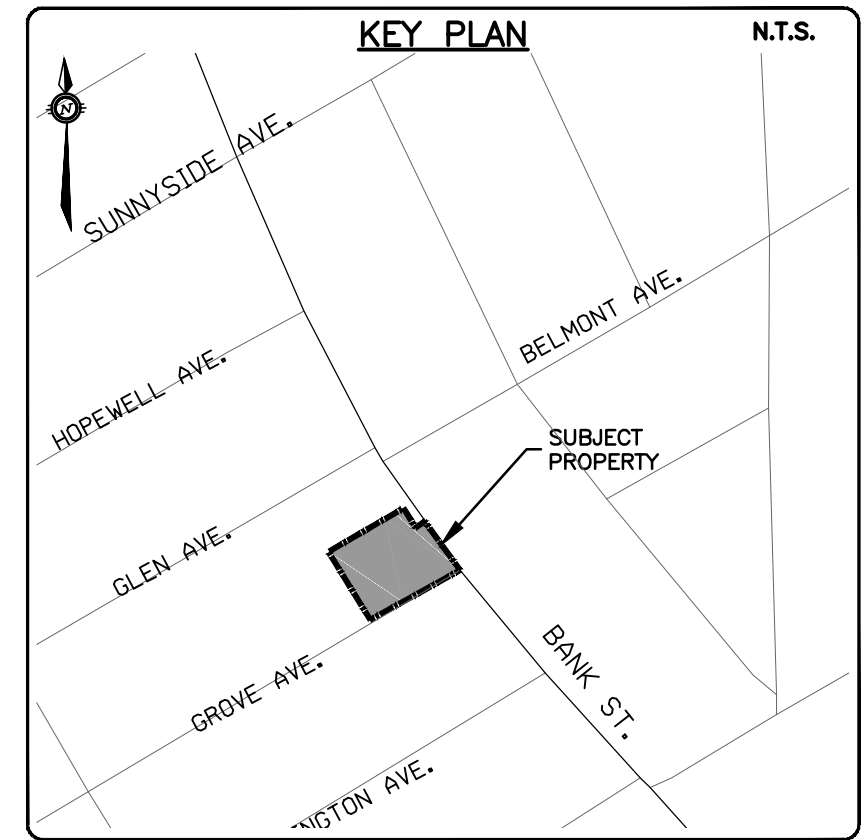
Table with columns: BASE PLAN, DESIGN, CHECKED, CAD, PROJECT MANAGER, APPROVED. Lists project roles and approvals.

PROJECT No. OTT-22018175-AD SURVEY ADV DATE JANUARY 2023 DRAWING No. C000

1166 BANK STREET OTTAWA, ONTARIO. NOTES AND LEGEND SHEET #18947

Vertical text on the left margin: I:\projects\2023\12\11\18 PM... References: Keyplan-MTH-N033.dwg; SURVEY.dwg; 2023-08-30_dkhan.dwg; 2023-07-24_Bouf_Plan_rev.dwg

Vertical text on the right margin: 07-12-23-0035



EXISTING WATERMAIN TO BE BLANKED AT MAIN BY CITY OF OTTAWA FORCES. EXCAVATION, BACKFILL AND REINSTATEMENT BY CONTRACTOR.

EXISTING SERVICES TO BE REMOVED AND CAPPED AT THE MAIN TO THE SATISFACTION OF THE CITY'S SEWER OPERATIONS

EXISTING SERVING TO BUILDING TO BE REMOVED. EXISTING BUILDING AND FOUNDATION TO BE REMOVED FROM THE SITE. BUILDING DEMOLITION SHALL BE COMPLETED IN CONSULTATION WITH GEOTECHNICAL ENGINEER.

EXISTING ASPHALT PARKING LOT TO BE DEMOLISHED

EXISTING CURB AND/OR SIDEWALK TO BE REMOVED.

GROVE AVENUE

BANK STREET

EXISTING CURB TO BE REMOVED AND REPLACED WITH BARRIER CURB AND SIDEWALK AS PER CITY STND. SC2. REFER TO EXP GRADING PLAN C200.

NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE UNTIL SUCH TIME AS THE SERVICE PROVIDER HAS CONFIRMED IN WRITING THE SERVICE IS ABANDONED AND CAN BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
3. FOR ADDITIONAL PROJECT NOTES REFER TO DRAWING C001.

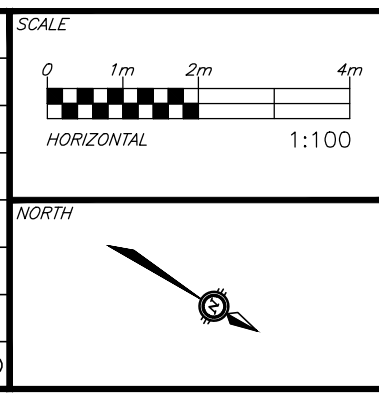
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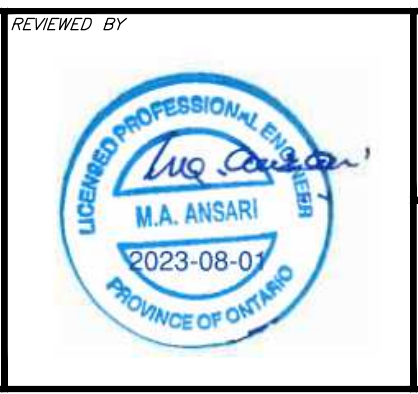
JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE.
 ELEVATION=62.58

TOPOGRAPHIC INFORMATION
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
 SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY: M.A. ANSARI
 2023-08-01
 PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO



CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W.
 OTTAWA, ON, K2P 0J2

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 2500 Queen Street East, Unit 100
 Ottawa, ON K1M 1R6
 Canada
 www.exp.com

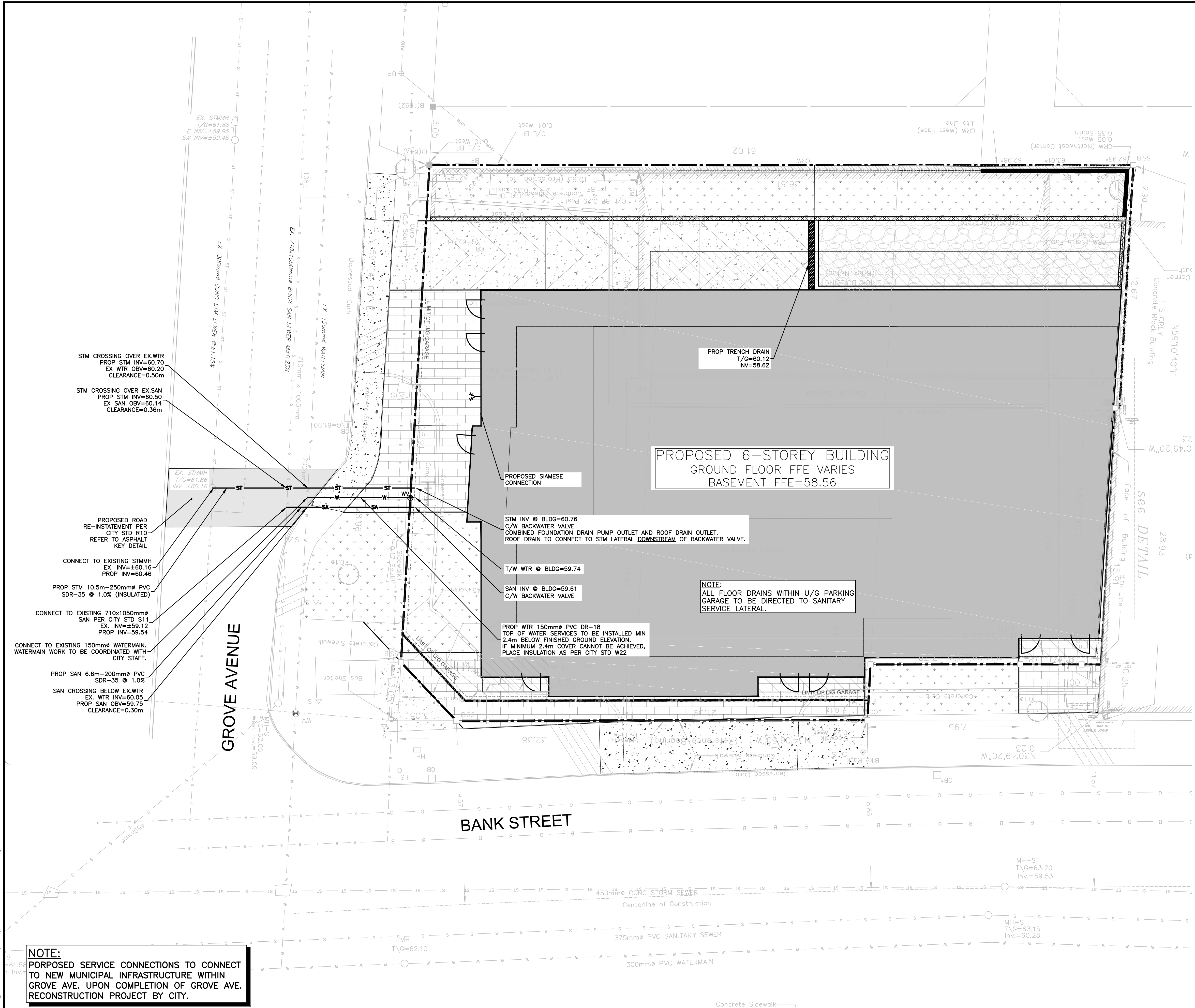
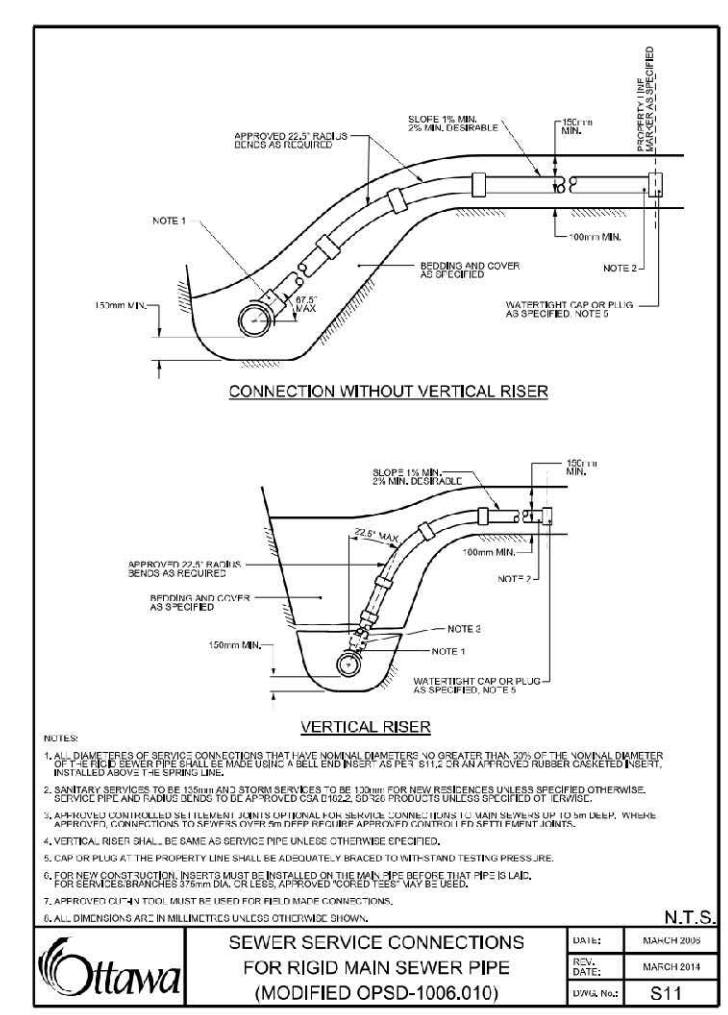
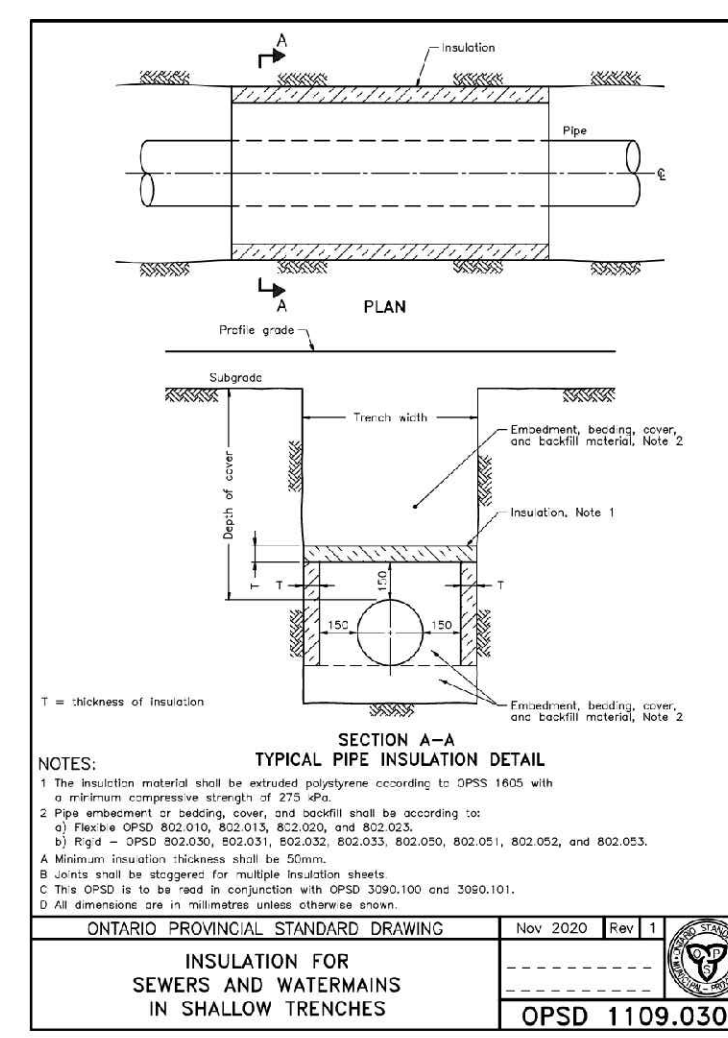
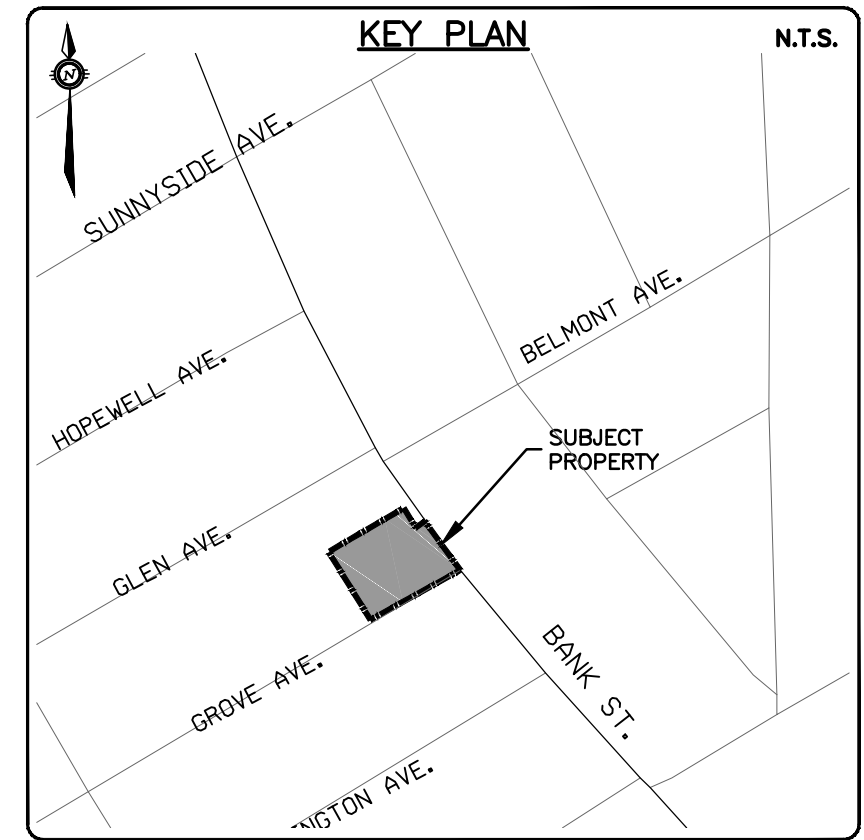
• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

BASEPLAN	PROJECT
AS	1166 BANK STREET
AS	OTTAWA, ONTARIO.
KH	EXISTING CONDITIONS AND REMOVALS PLAN
AA	

1166 BANK STREET
 OTTAWA, ONTARIO.

EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT No.	DRAWING No.
OTT-22018175-AD	C001
SURVEY ADV	
DATE: JANUARY 2023	



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JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

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REV	REVISION DESCRIPTION	DATE	BY	APPD
2	ISSUED FOR SITE PLAN CONTROL	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH

SCALE
 0 1m 2m 4m
 HORIZONTAL 1:100

DESIGNED BY
 M.A. ANSARI
 2023-08-01
 PROVINCE OF ONTARIO

CLIENT
AMBASSADOR REALTY INC.
 185 SOMERSET ST. W.
 OTTAWA, ON, K2P 0J2

exp. SERVICES INC.
 2500 DUNDAS ST. W. UNIT 100
 OTTAWA, ON K1G 3H6
 TEL: 613-225-7330
 WWW.EXP.CA

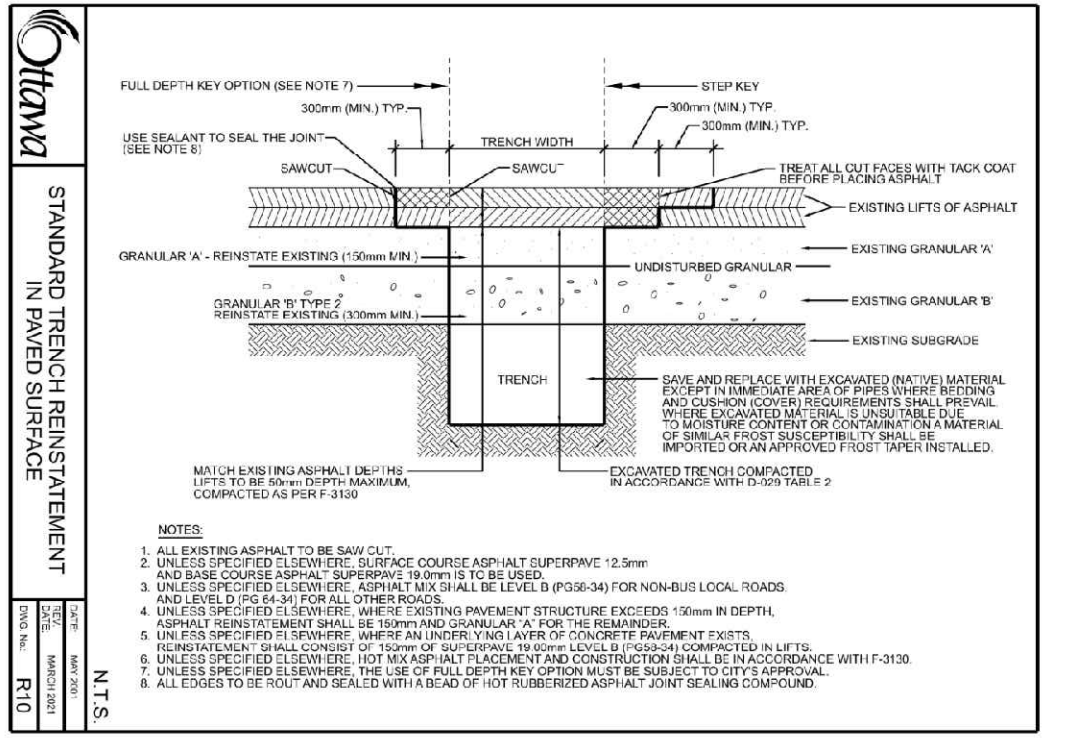
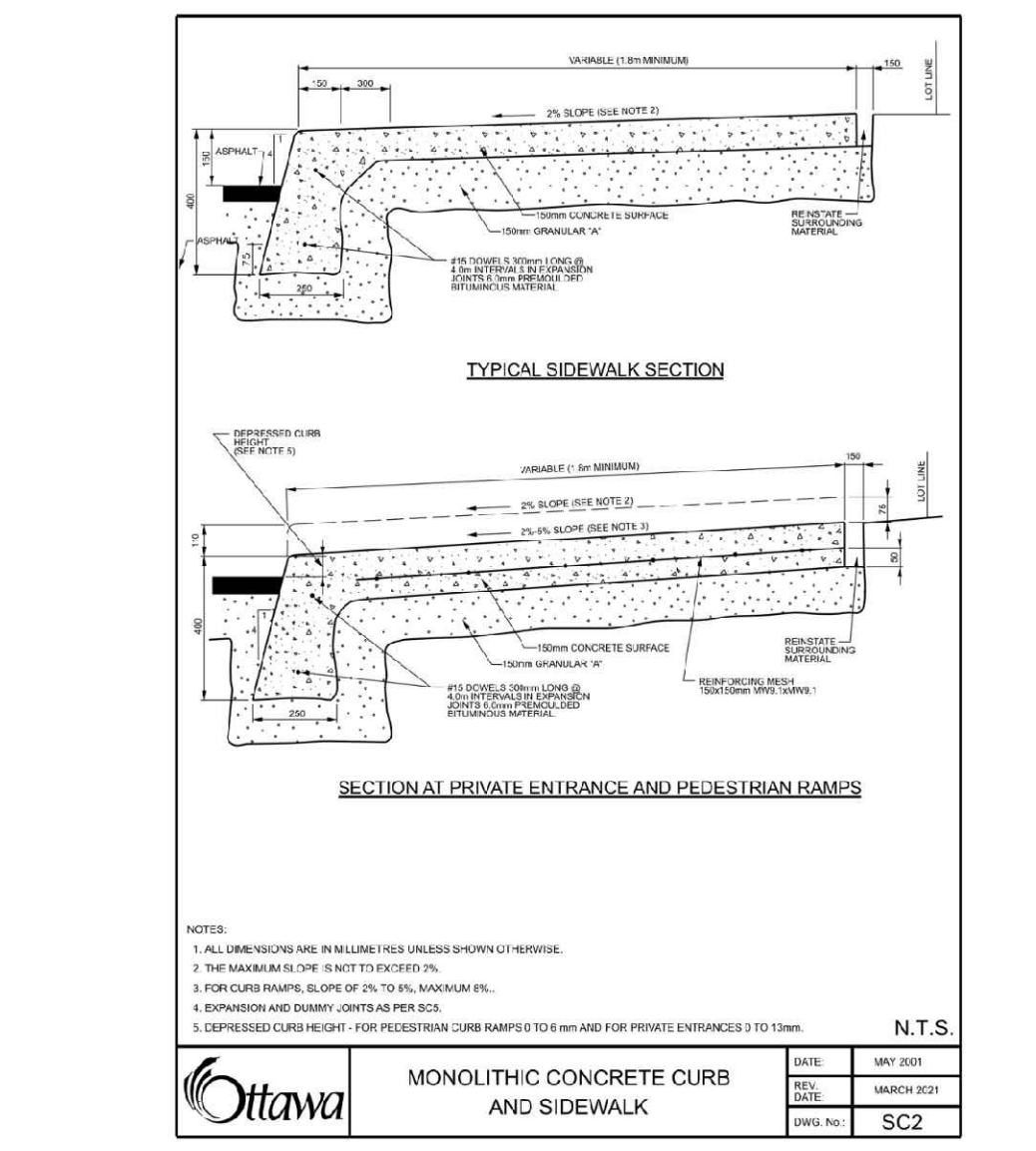
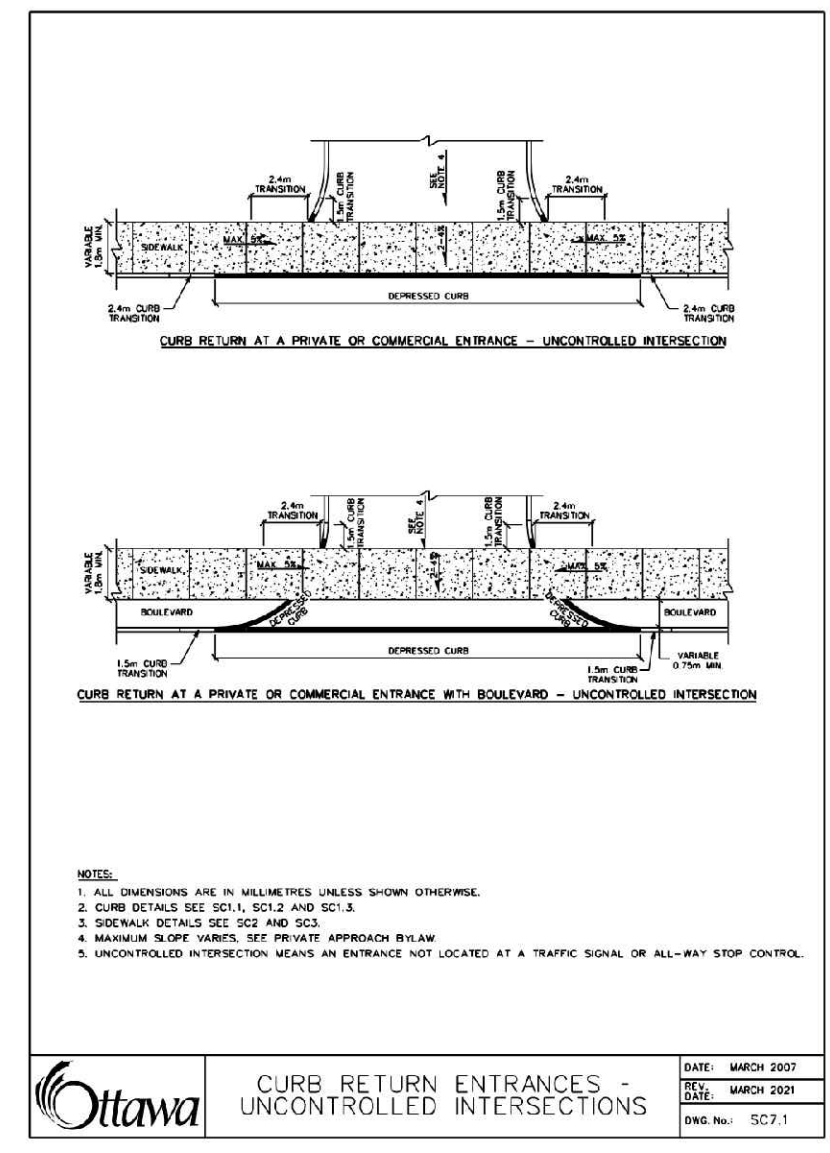
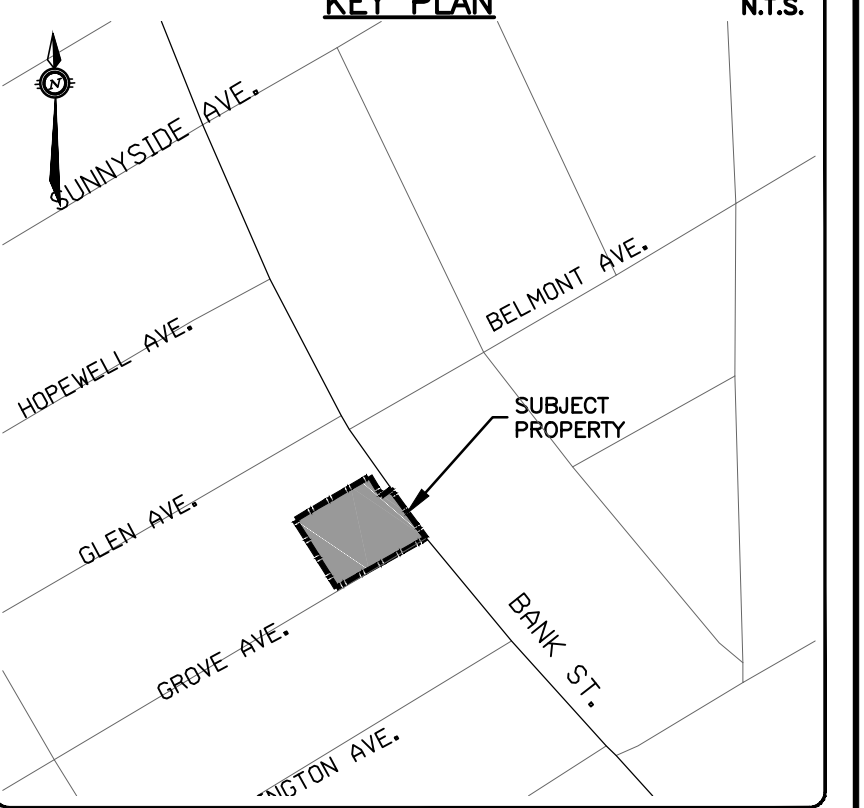
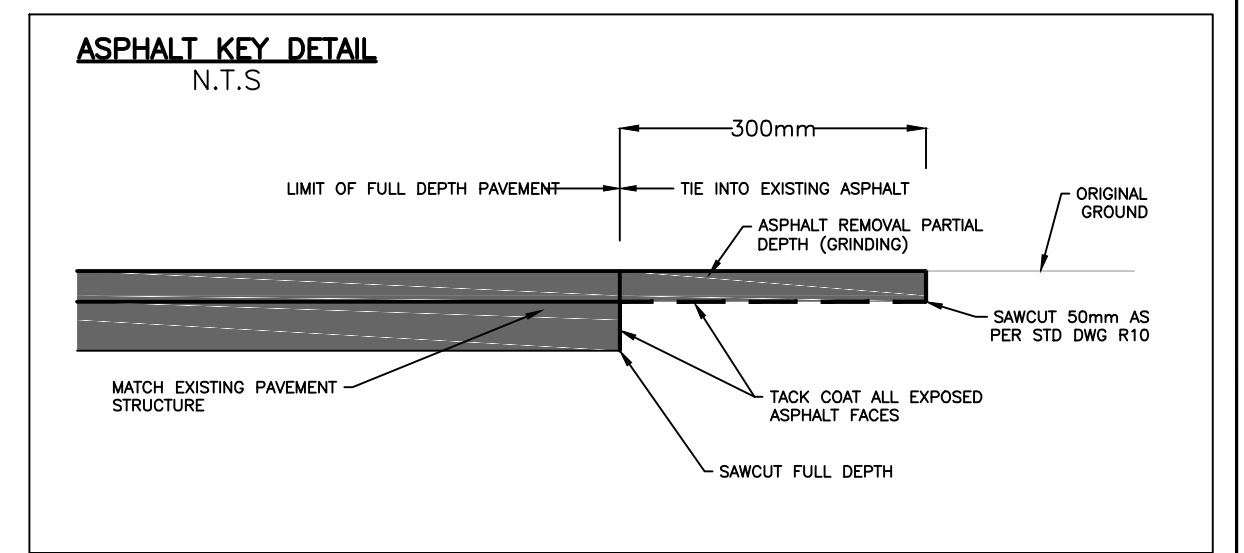
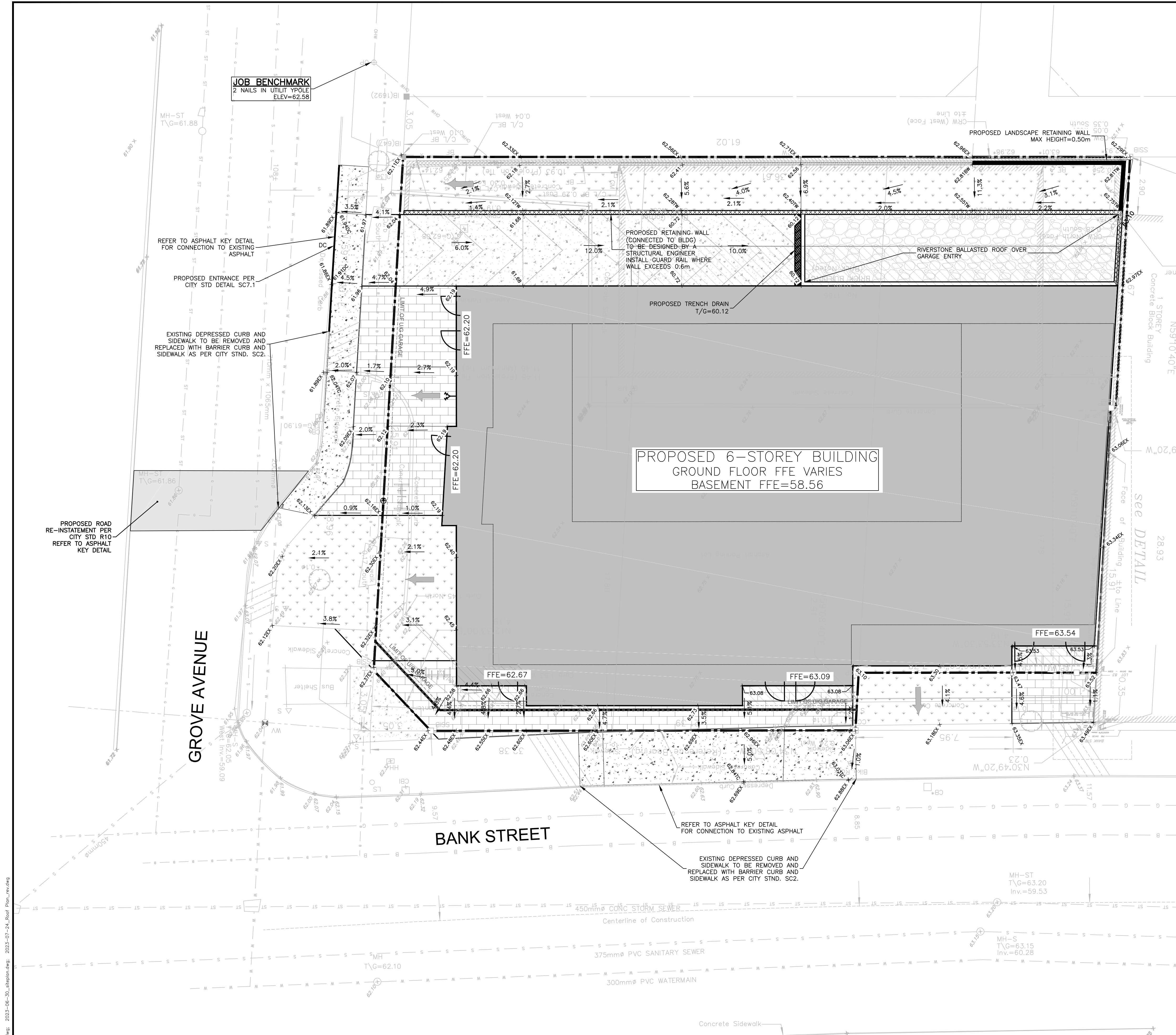
BASE PLAN AS
 DESIGN AS
 CHECKED KH
 CAD AS
 PROJECT MANAGER KH
 APPROVED AA

PROJECT
1166 BANK STREET
 OTTAWA, ONTARIO.

TITLE
SITE SERVICING PLAN

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE JANUARY 2023
 DRAWING No. C100

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE JANUARY 2023
 DRAWING No. C100

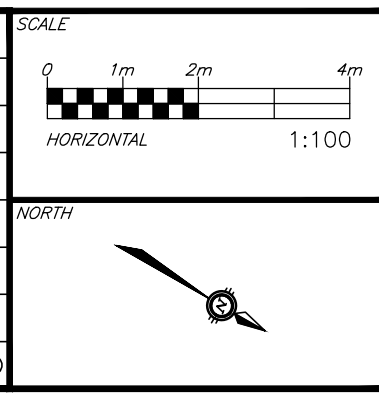


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JOB BENCH MARK
JBM ▲
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2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY: [Signature]

REVIEWED BY: [Signature]

CLIENT: AMBASSADOR REALTY INC.
185 SOMERSET ST. W.
OTTAWA, ON, K2P 0J2

exp. Services Inc.
1101 COLLEGE RD. S. #113, OTTAWA, ON K1R 6S7
2050 DUNDAS ST. W. UNIT 100, OTTAWA, ON K1R 6S7
Canada
www.exp.ca
1-877-297-0332

PROJECT No: OTT-22018175-AD
SURVEY: ADV
DATE: JANUARY 2023
DRAWING No: C200

PROJECT No: OTT-22018175-AD
SURVEY: ADV
DATE: JANUARY 2023
DRAWING No: C200

1166 BANK STREET
OTTAWA, ONTARIO.

SITE GRADING PLAN

C200

exp. SERVICES INC. 2050 DUNDAS ST. W. UNIT 100 OTTAWA, ON K1R 6S7 CANADA 1-877-297-0332

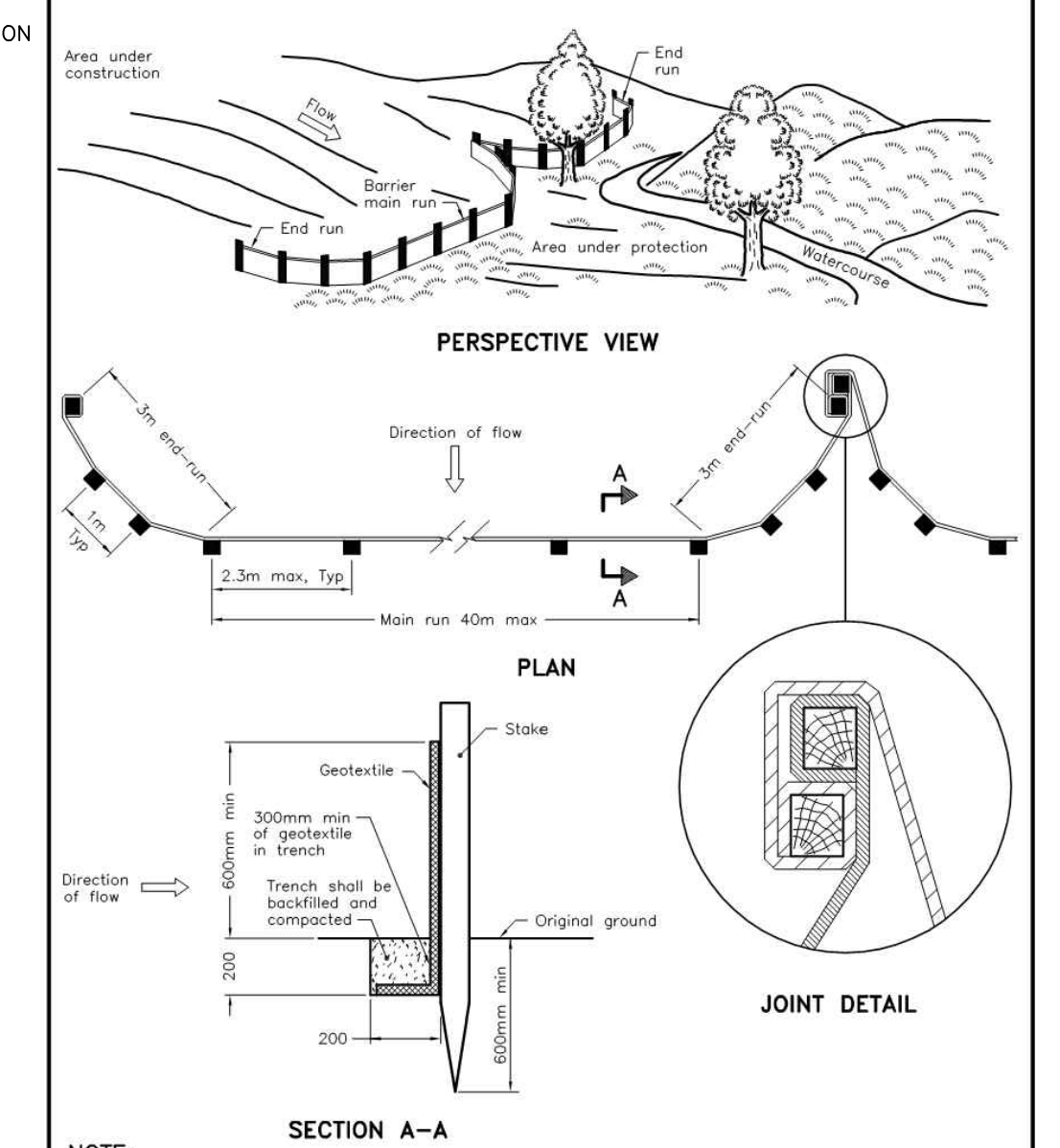
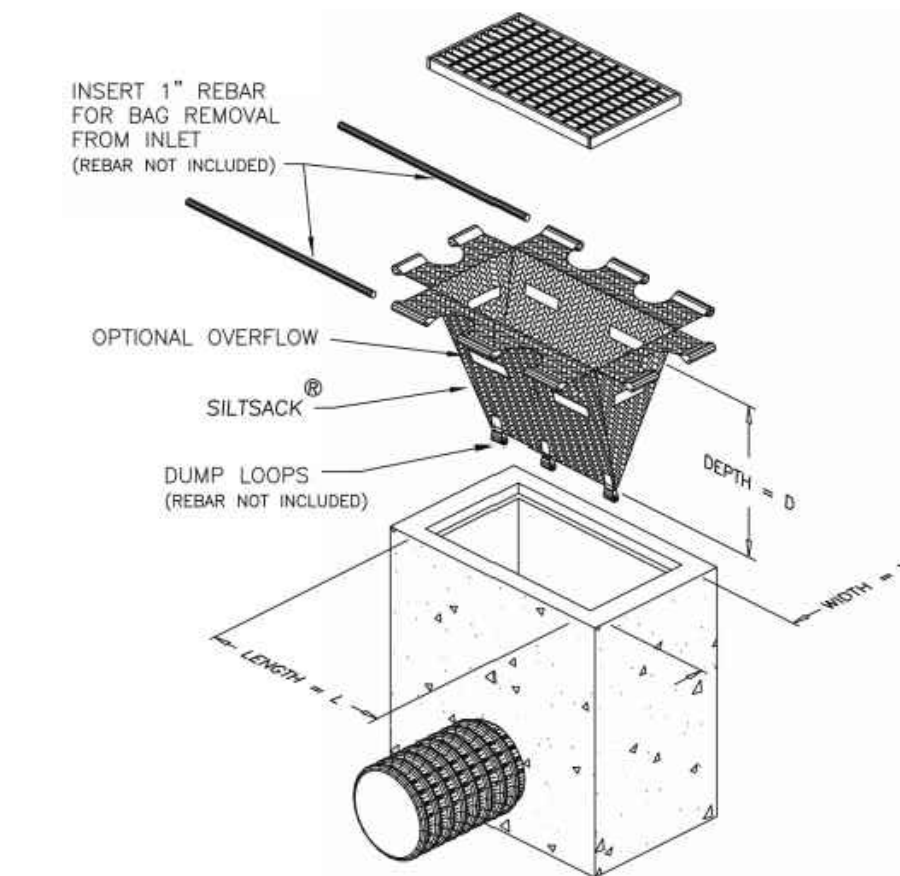
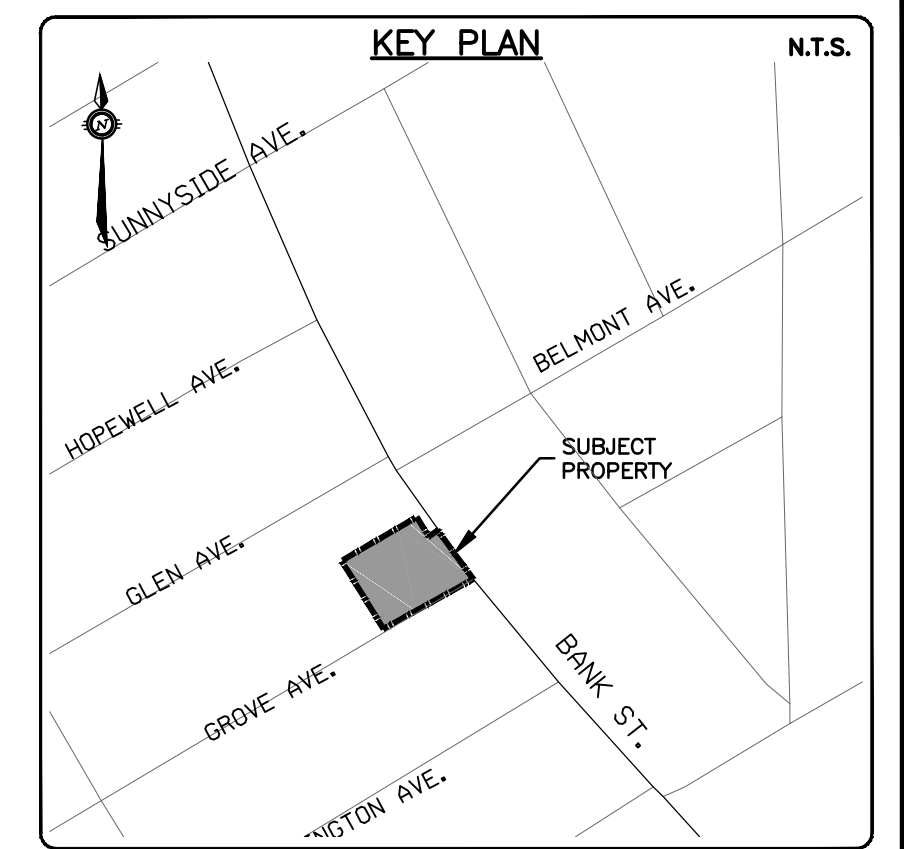
• BUILDINGS • EARTH & ENVIRONMENT • ENERGY • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

#18947

EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

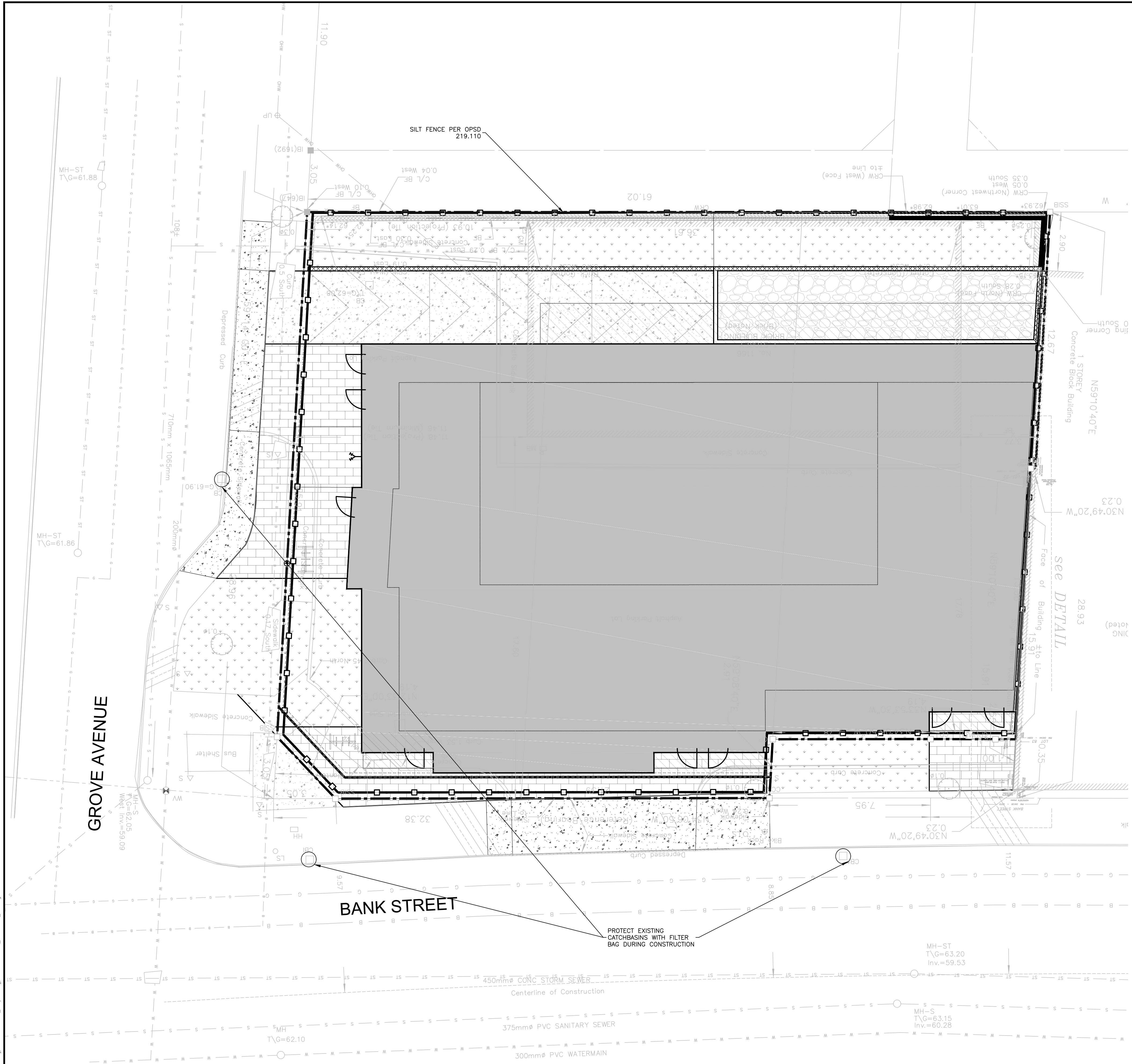
1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON THIS DRAWING.
6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE THE CONSTRUCTION OPERATIONS, THE AFFECTED BARRIERS WILL BE REINSTATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITIONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
10. CONSTRUCTION AND MAINTENANCE REQUIREMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA SPECIFICATIONS.
11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.



NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING		Nov 2015	Rev 2
LIGHT-DUTY SILT FENCE BARRIER		OPSD 219.110	

- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
 2. POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
 6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND.
 7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
 8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS COMPLETE.
 9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

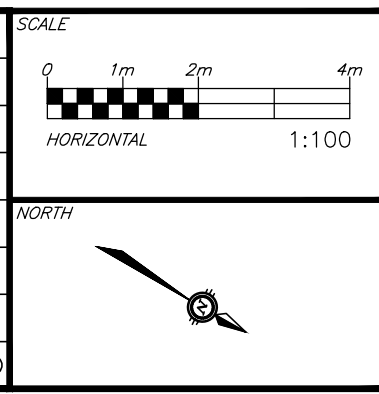


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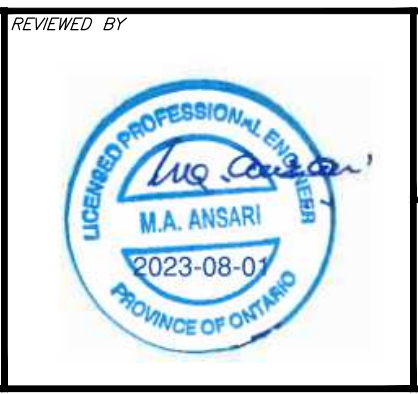
JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

TOPOGRAPHIC INFORMATION
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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY: M.A. ANSARI
REVIEWED BY: M.A. ANSARI
DATE: 2023-08-07



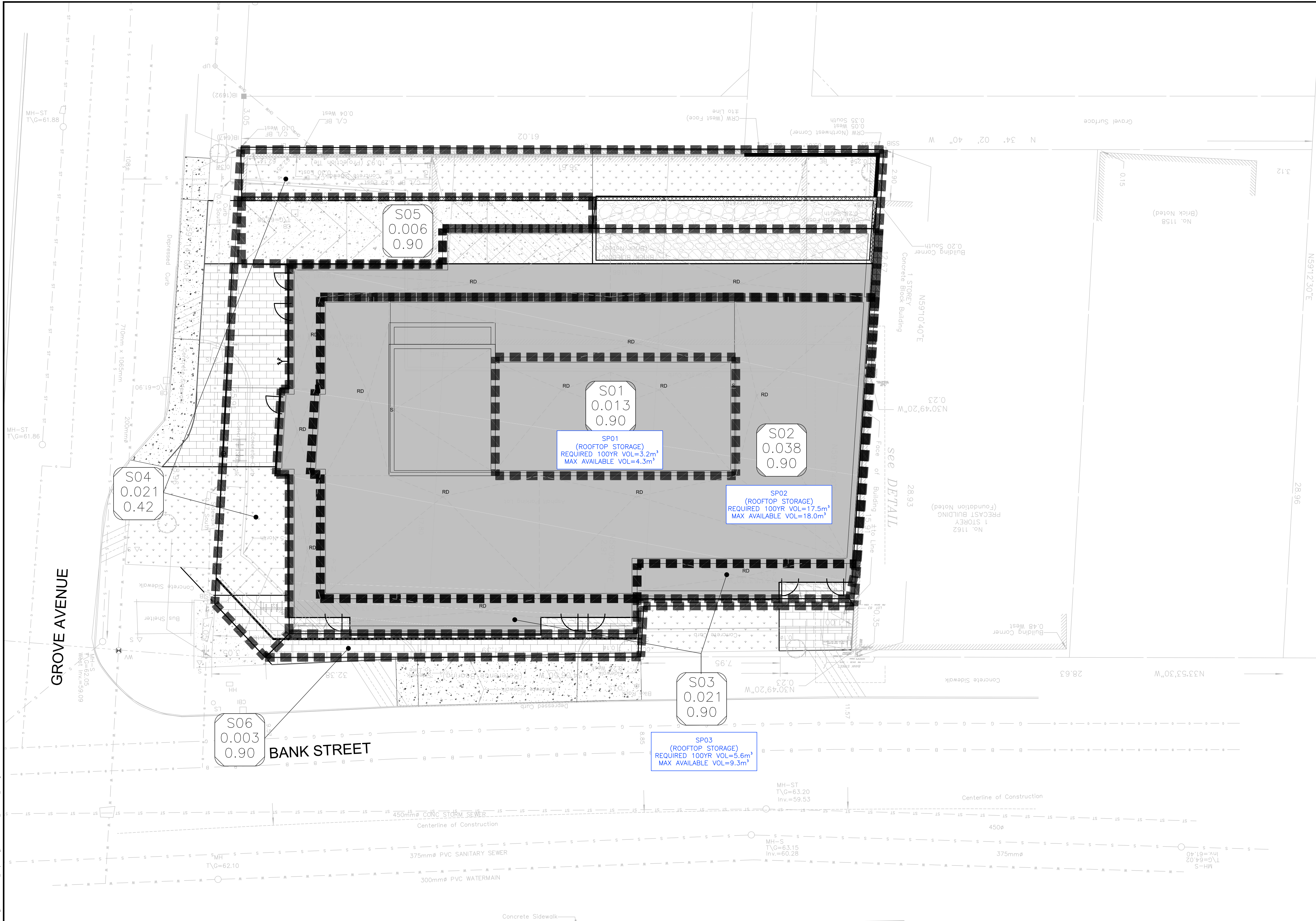
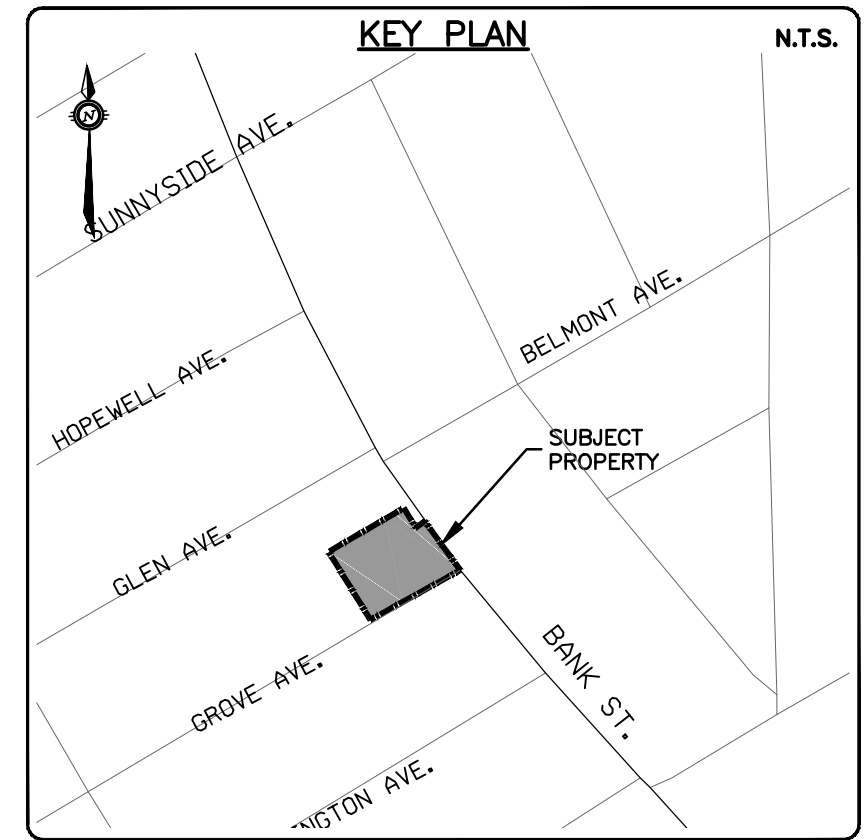
CLIENT
AMBASSADOR REALTY INC.
185 SOMERSET ST. W.
OTTAWA, ON, K2P 0J2

BASE PLAN	AS
DESIGN	AS
CHECKED	KH
CAD	AS
PROJECT MANAGER	KH
APPROVED	AA

PROJECT
1166 BANK STREET
OTTAWA, ONTARIO.

TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE JANUARY 2023
DRAWING No. C300



S04
0.021
0.42

S05
0.006
0.90

S01
0.013
0.90

S02
0.038
0.90

S03
0.021
0.90

S06
0.003
0.90

SP01
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=3.2m³
MAX AVAILABLE VOL=4.3m³

SP02
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=17.5m³
MAX AVAILABLE VOL=18.0m³

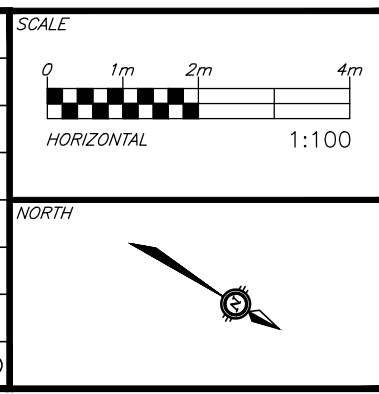
SP03
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=5.6m³
MAX AVAILABLE VOL=9.3m³

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JOB BENCH MARK JBM ▲
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ELEVATION=62.58

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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
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DESIGNED BY: [Signature]

REVIEWED BY: [Signature]



CLIENT: **AMBASSADOR REALTY INC.**
185 SOMERSET ST. W.
OTTAWA, ON, K2P 0J2

exp. Services Inc.
2000 Desparre Drive, Unit 100
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