

LEGEND

DESCRIPTION

EXISTING

PROPOSED

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists various utility symbols and materials like Storm Sewer, Sanitary Sewer, Water Main, Storm Manhole, Catchbasin, etc.

SP-10
10.0m³

S01-A
0.156
0.34

GENERAL NOTES:

- 1. ALL WORKS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS), WHERE APPLICABLE.
2. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION...

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL SANITARY SEWERS SHALL BE PVC SDR 35, IPEX "RING-TITE" (OR EQUIVALENT), AS PER CSA STANDARD 8182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE NOTED.
3. SANITARY SEWER TRENCH AND BEDDING SHALL BE AS PER CITY OF OTTAWA STD. S6 AND S7, CLASS 'B' BEDDING UNLESS OTHERWISE NOTED.

STORM SEWER NOTES

- 1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A297.2 (LATEST AMENDMENT). ALL NON-REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A297.1 (LATEST AMENDMENT).
3. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. 8182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.

- 11. STORM MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24, S24.1 AND S25.
12. SAFETY PLATFORMS SHALL BE IN ACCORDANCE WITH OPSD 404.02.
13. DROP STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA SPECIFICATIONS AND OPSD 1003.01.
14. STORM SEWER MANHOLES SERVING LOCAL SEWERS LESS THAN 900MM SHALL BE CONSTRUCTED WITH A 300MM SUMP FOR STORM SEWERS 900MM AND OVER USE BENCHING IN ACCORDANCE WITH OPSD 701.021.

WATERMAIN NOTES

- 1. ALL WATERMAIN MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE. WATERMAIN CONNECTIONS BY CITY OF OTTAWA FORCES WITH ALL EXCAVATION BACKFILL AND ROAD REINSTATEMENT BY CONTRACTOR.
3. ALL PVC WATERMANS SHALL BE EQUAL TO AWWA C-900 CLASS 150, SDR 18, OR APPROVED EQUAL.

ROADWAY SPECIFICATIONS

- 1. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONCRETE CURB SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. SC1.1 (BARRIER CURB) AND SC1.3 (MOUNTABLE CURB), AS NOTED. PROVISION SHALL BE MADE FOR CURB DEPRESSIONS AT SIDEWALKS AND DRIVEWAYS.
3. ROAD SUBDRAINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R1. SUBDRAINS SHALL BE 6M IN LENGTH AT CATCHBASINS. SUBDRAINS SHALL BE INSTALLED BOTH SIDES AT LOWPOINTS AND ON THE HIGH SIDE AT FLOWBY CATCHBASINS.

GENERAL NOTES FOR GRADING

- 1. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ENSURE THAT GRADING AROUND HYDRANTS, TRANSFORMERS, AND UTILITY PEDESTALS, ETC., MEET CURRENT CITY OF OTTAWA, HYDRO AND UTILITY COMPANY REQUIREMENTS.
2. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.
3. CONTRACTOR TO ADJUST EXISTING CATCH BASINS, MANHOLES, FIRE HYDRANTS, VALVE CHAMBERS AND VALVE BOXES TO FINAL GRADE AS REQUIRED.

CAUTION
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

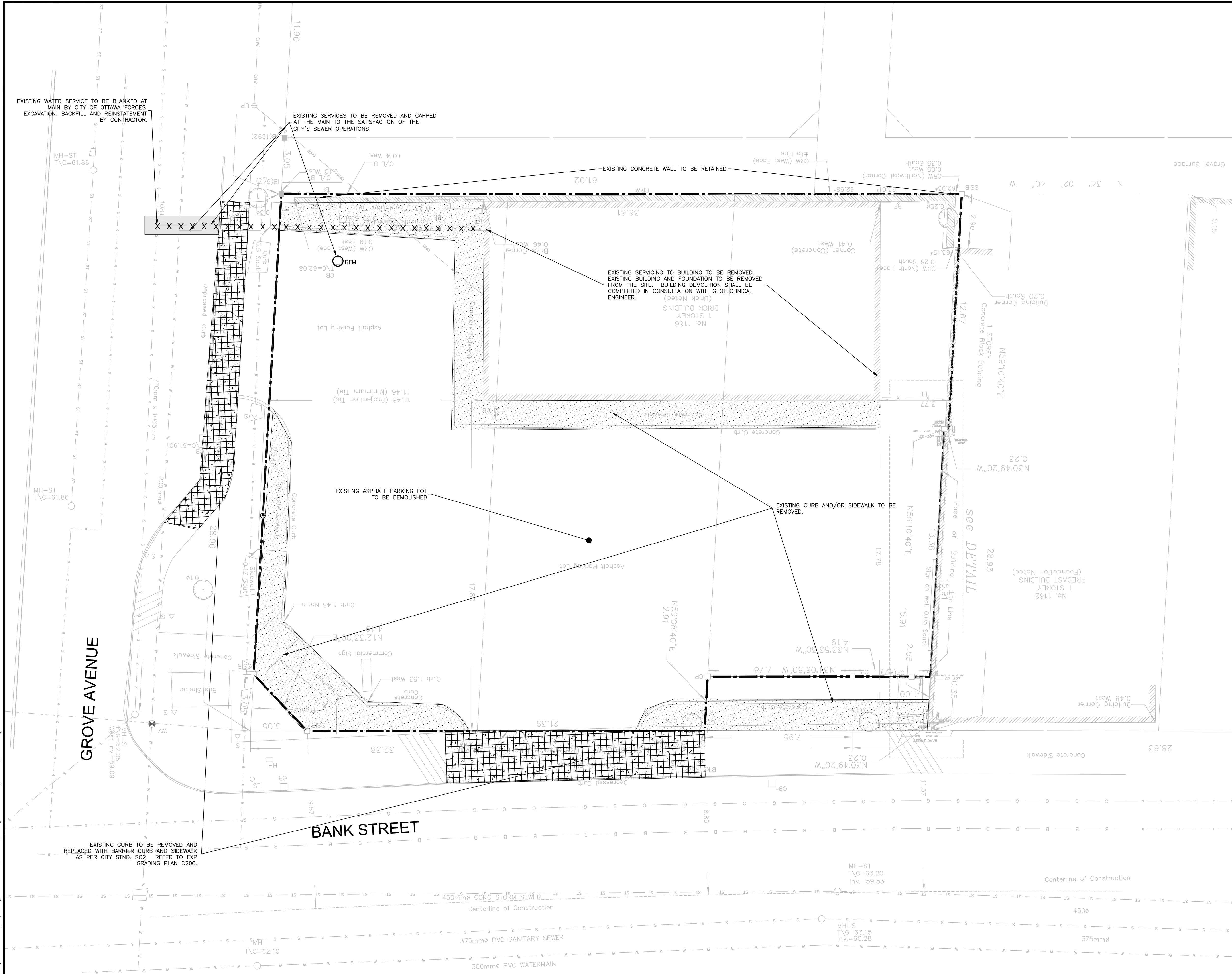
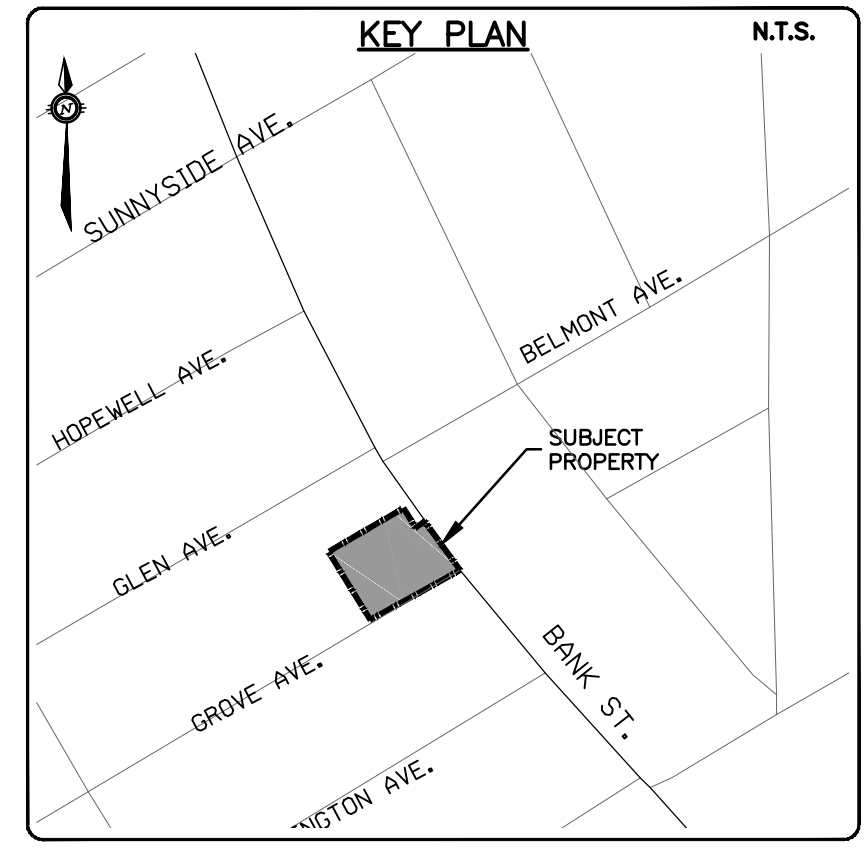
Table with 5 columns: REV, REVISION DESCRIPTION, DATE, BY, APPD. Contains revision history for the drawing.

SCALE, DESIGNED BY, REVIEWED BY, CLIENT, and a professional seal for M.A. Ansari, Licensed Professional Engineer, Province of Ontario.

CLIENT: AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2. PROJECT: 1166 BANK STREET OTTAWA, ONTARIO. NOTES AND LEGEND SHEET. C000. APPROVED By Andrew McCreight at 9:55 am, Jul 16, 2024.

Vertical text on the left margin: C:\Users\mccreigh\OneDrive\Documents\1166 Bank Street\1166 Bank Street.dwg, 2024-07-16, 9:55 AM, Andrew McCreight

Vertical text on the right margin: #18947



- NOTES:**
1. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE UNTIL SUCH TIME AS THE SERVICE PROVIDER HAS CONFIRMED IN WRITING THE SERVICE IS ABANDONED AND CAN BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
 2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
 3. FOR ADDITIONAL PROJECT NOTES REFER TO DRAWING C001.

A. McCreight
ANDREW MCCREIGHT
 MANAGER, DEVELOPMENT REVIEW CENTRAL
 PLANNING, DEVELOPMENT & BUILDING SERVICES
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Andrew McCreight at 9:55 am, Jul 16, 2024

CAUTION
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

TOPOGRAPHIC INFORMATION
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
 SITE GRID SYSTEM MTM NAD 83, ZONE 9,

| REV | REVISION DESCRIPTION | DATE | BY | APPD |
|-----|------------------------------|----------|-----|------|
| 4 | REVISED PER CITY COMMENTS | 24/03/12 | AAS | AA |
| 3 | REVISED PER CITY COMMENTS | 24/01/16 | AAS | AA |
| 2 | REVISED PER CITY COMMENTS | 23/08/01 | AAS | AA |
| 1 | ISSUED FOR SITE PLAN CONTROL | 23/02/07 | AAS | KH |

SCALE

 DESIGNED BY: M.A. ANSARI
 REVIEWED BY: M.A. ANSARI
 LICENSED PROFESSIONAL ENGINEER
 M.A. ANSARI
 2024/03/13
 PROVINCE OF ONTARIO

CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W,
 OTTAWA, ON, K2P 0J2

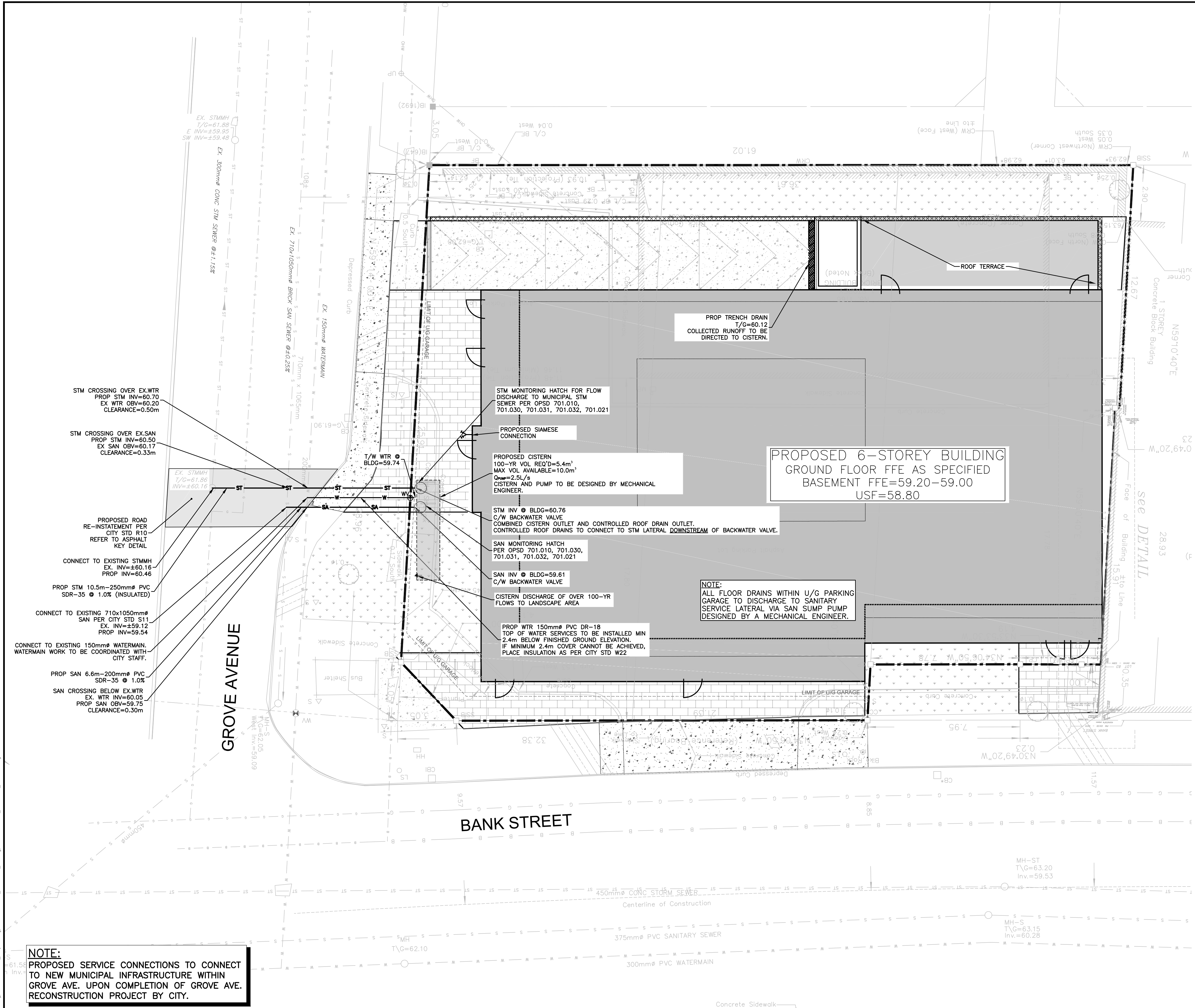
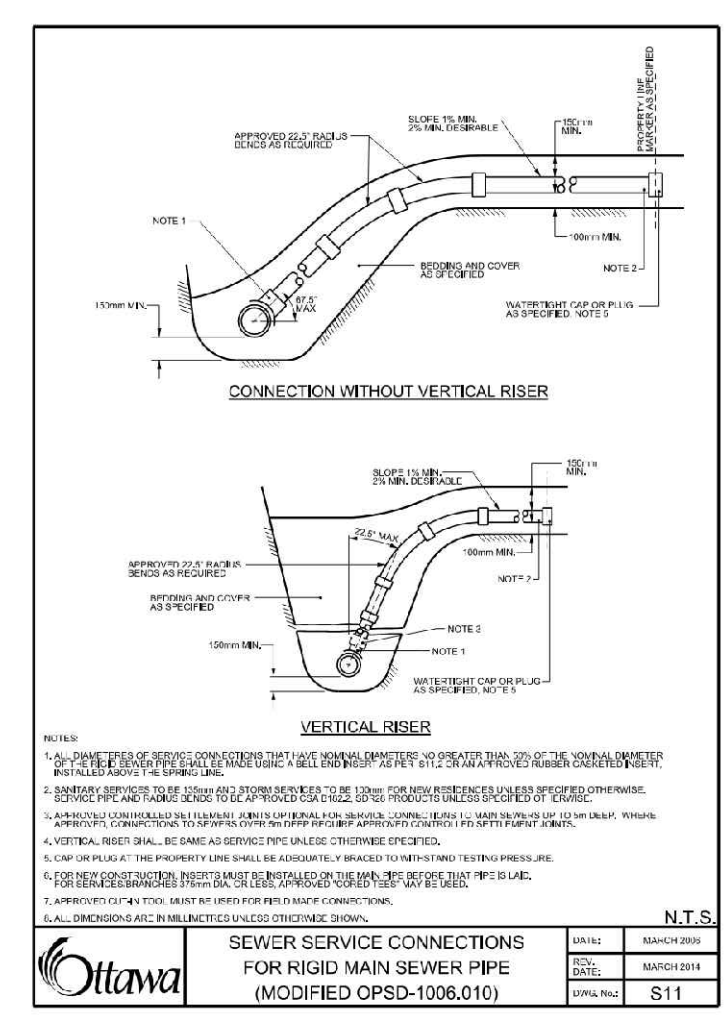
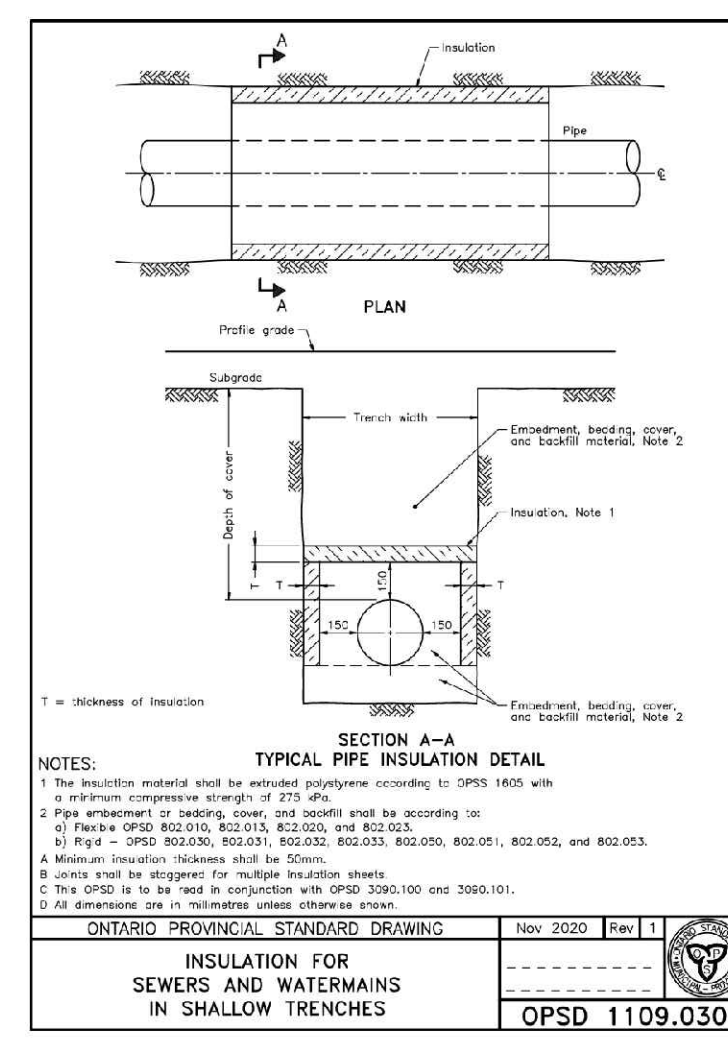
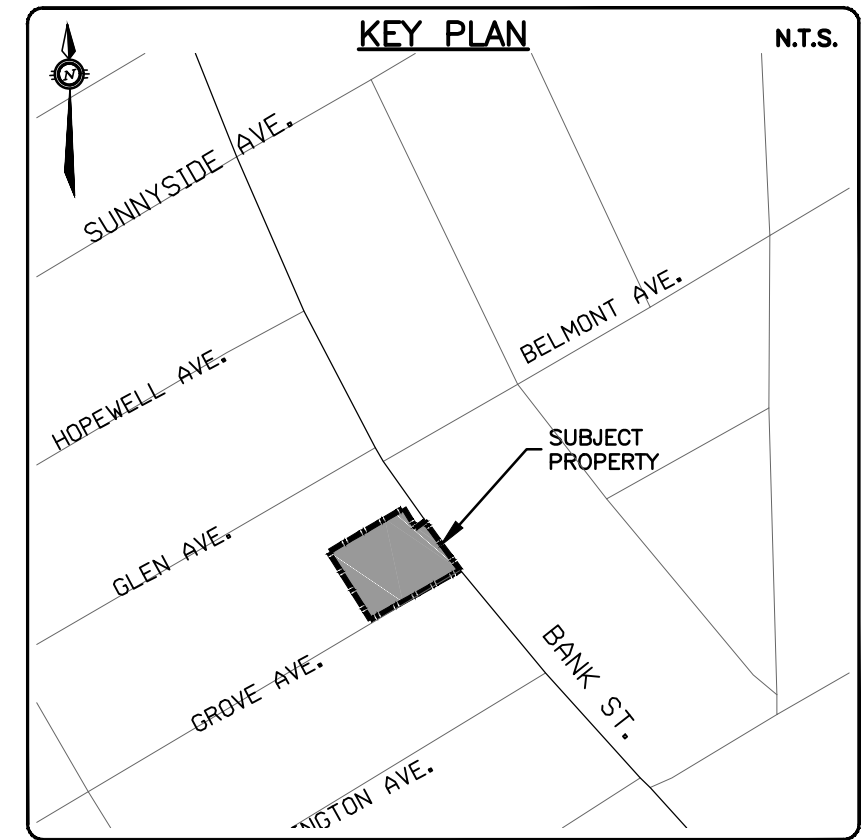
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PROJECT: **1166 BANK STREET**
 OTTAWA, ONTARIO.

EXISTING CONDITIONS AND REMOVALS PLAN

C001

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE JANUARY 2023
 DRAWING No.



NOTE:
 PROPOSED SERVICE CONNECTIONS TO CONNECT TO NEW MUNICIPAL INFRASTRUCTURE WITHIN GROVE AVE. UPON COMPLETION OF GROVE AVE. RECONSTRUCTION PROJECT BY CITY.

Andrew McCreight
ANDREW MCCREIGHT
 MANAGER, DEVELOPMENT REVIEW CENTRAL
 PLANNING, DEVELOPMENT & BUILDING SERVICES
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Andrew McCreight at 9:55 am, Jul 16, 2024

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JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE.
 ELEVATION=62.98

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| 2 | ISSUED FOR SITE PLAN CONTROL | 23/08/01 | AAS | AA |
| 1 | ISSUED FOR SITE PLAN CONTROL | 23/02/07 | AAS | KH |

SCALE
 0 1m 2m 4m
 HORIZONTAL 1:100

DESIGNED BY
 M.A. ANSARI
 2024/03/13
 PROVINCE OF ONTARIO

REVIEWED BY
 M.A. ANSARI
 2024/03/13
 PROVINCE OF ONTARIO

CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W.
 OTTAWA, ON, K2P 0J2

exp. SERVICES INC.
 2500 DUNDAS ST. W. UNIT 100
 OTTAWA, ON K1G 3H6
 CANADA
 www.exp.ca

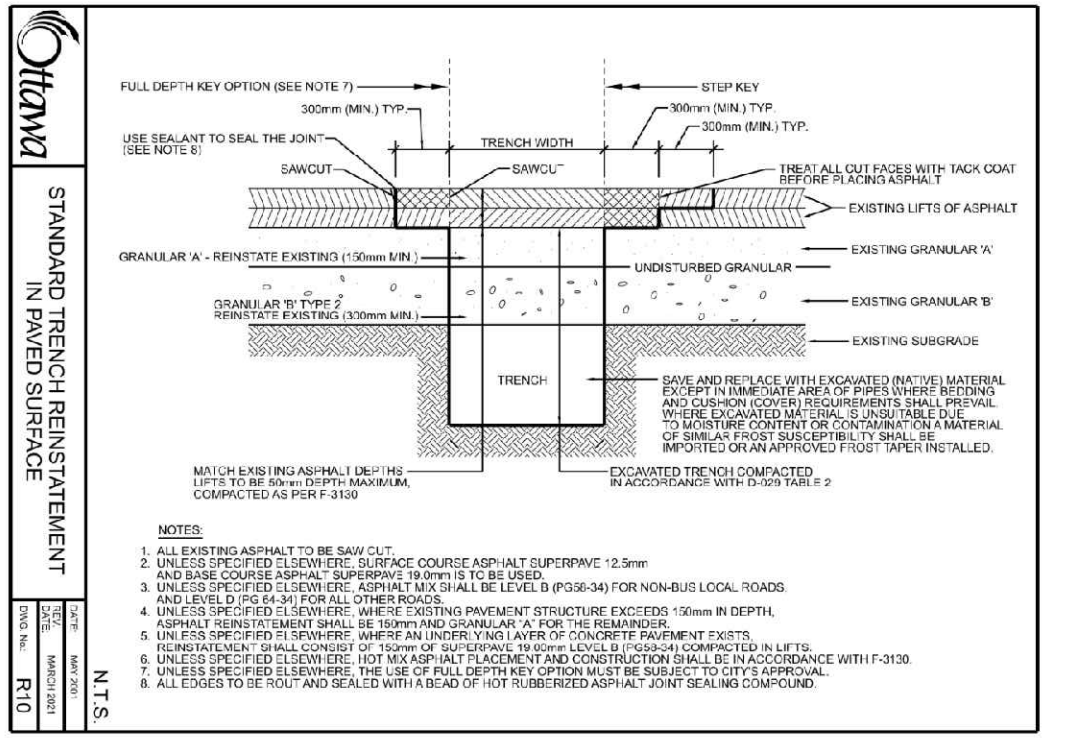
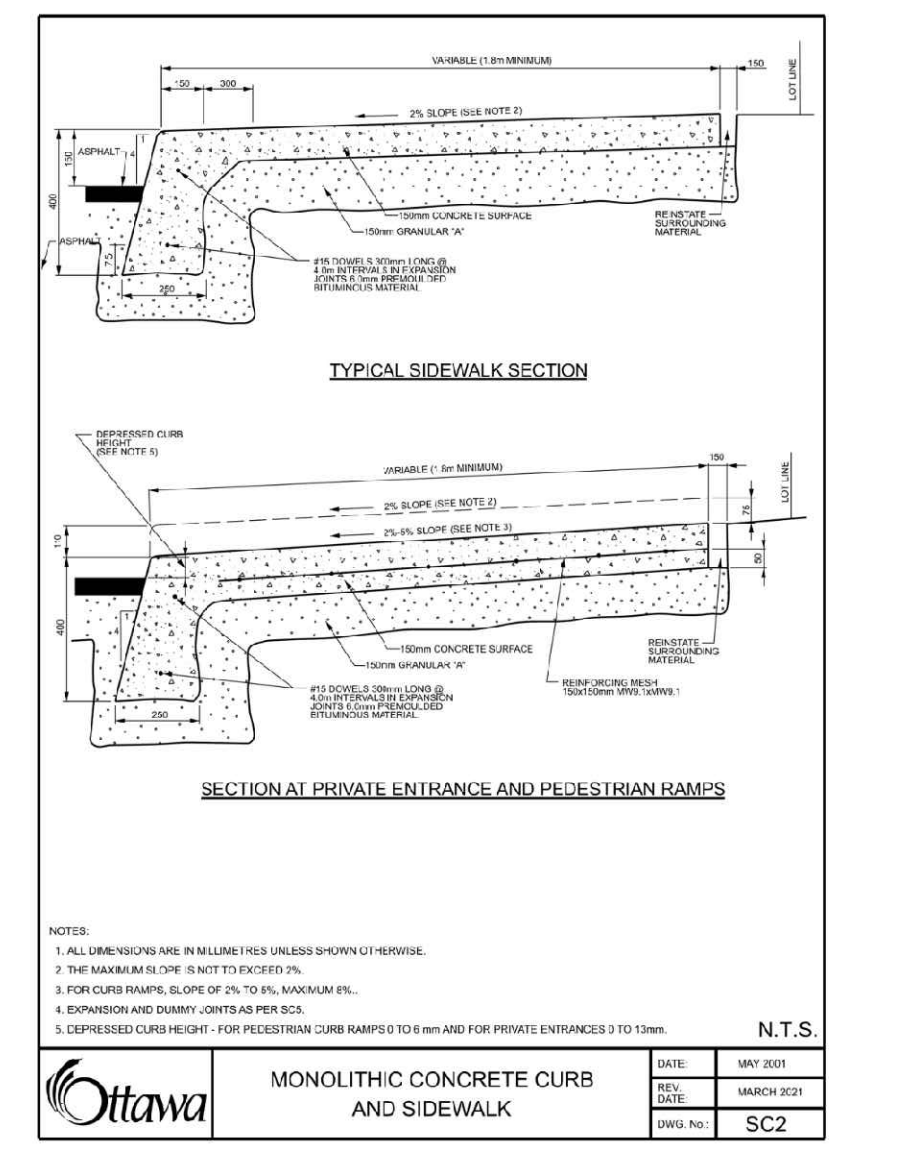
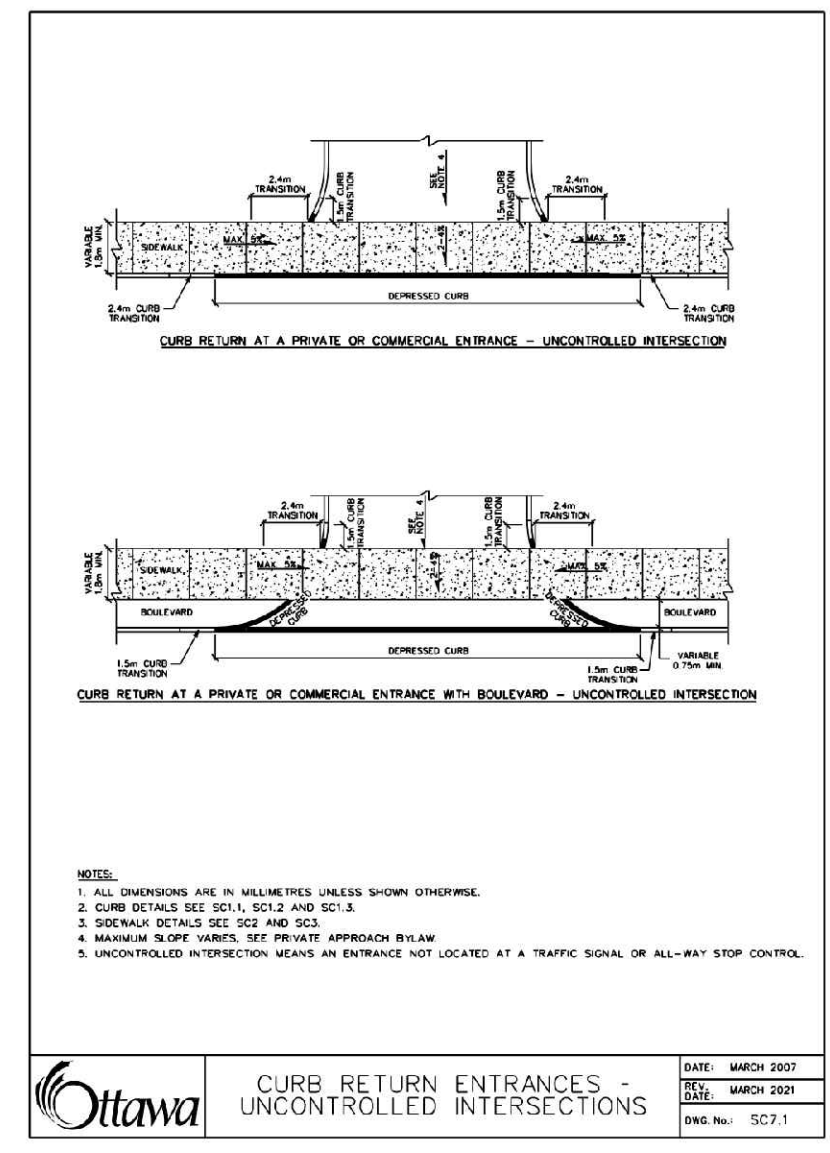
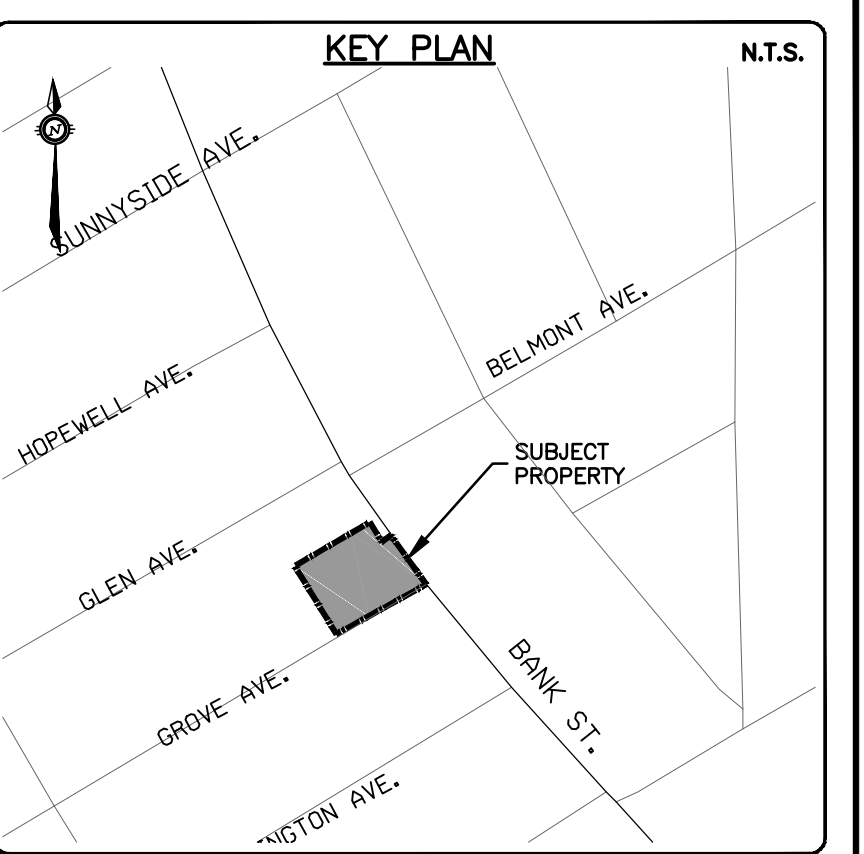
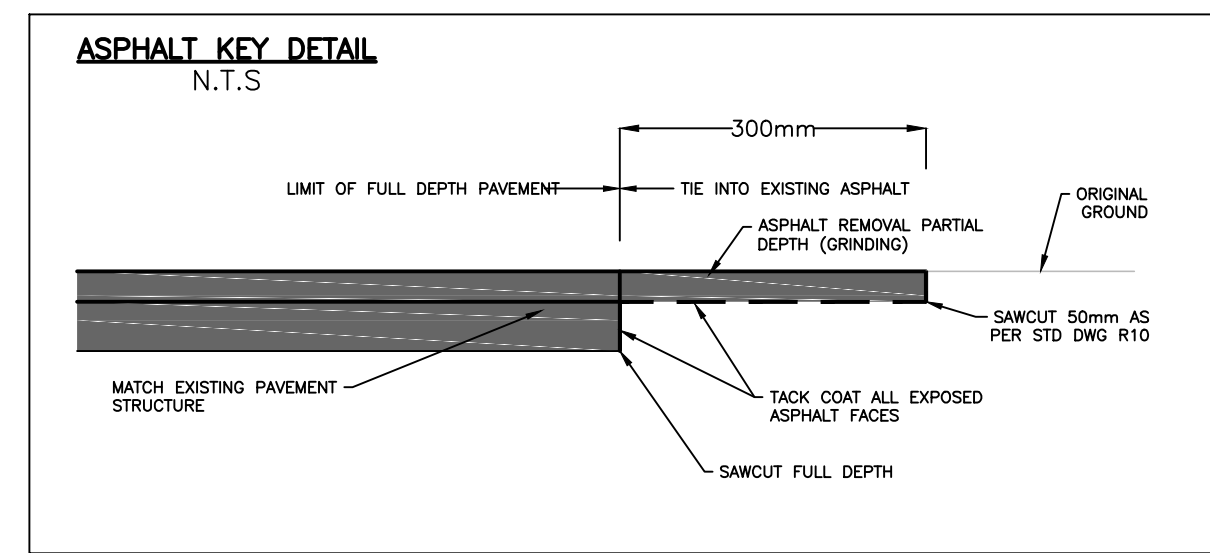
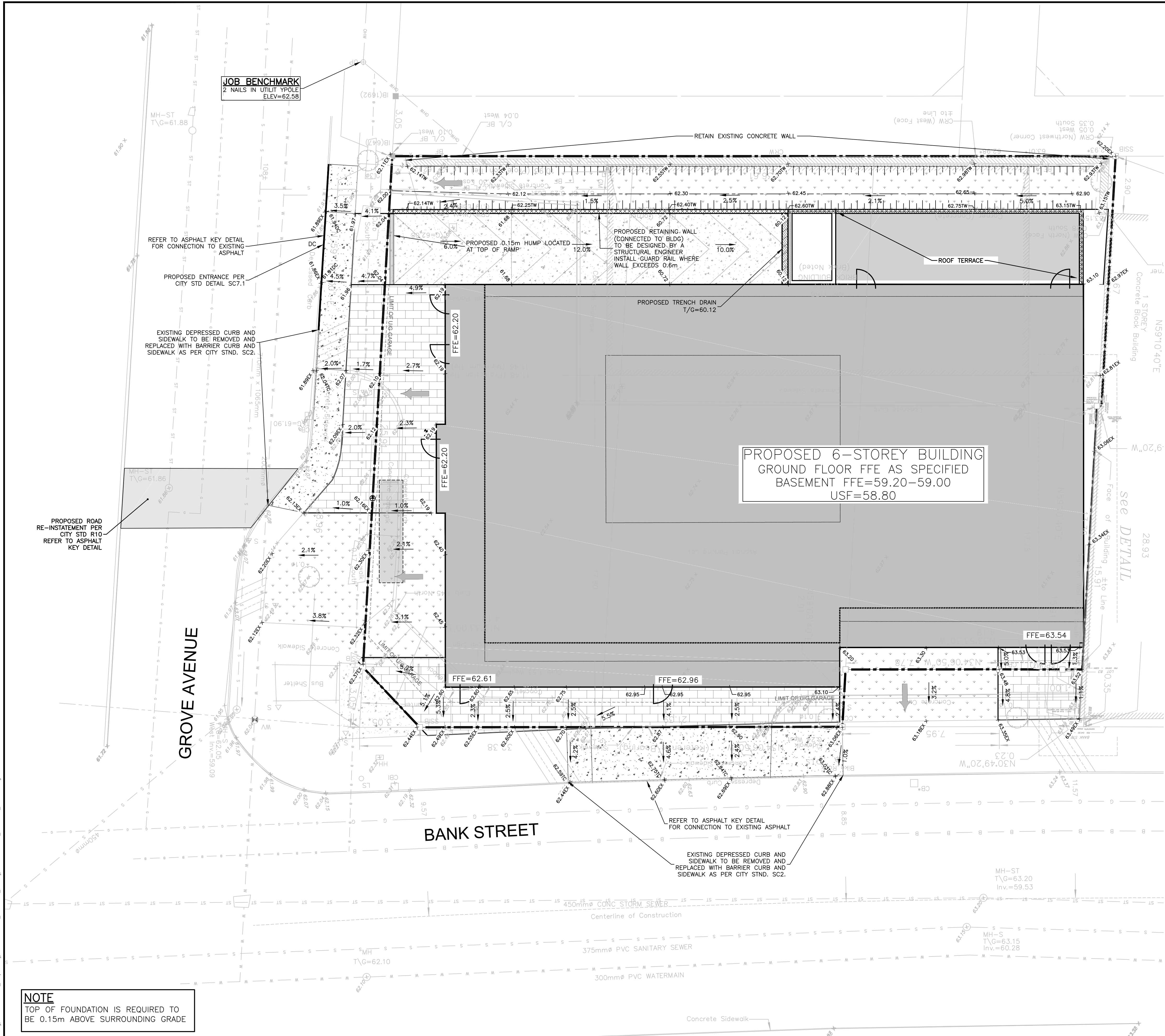
BASE PLAN AS
 DESIGN AS
 CHECKED KH
 CAD AS
 PROJECT MANAGER KH
 APPROVED AA

PROJECT: **1166 BANK STREET**
 OTTAWA, ONTARIO.

TITLE: **SITE SERVICING PLAN**

PROJECT No: 22018175-AD
 SURVEY ADV
 DATE: JANUARY 2023
 DRAWING No: **C100**

#18947



NOTE
TOP OF FOUNDATION IS REQUIRED TO BE 0.15m ABOVE SURROUNDING GRADE

Andrew McCreight
ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 9:55 am, Jul 16, 2024

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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

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| 1 | ISSUED FOR SITE PLAN CONTROL | 23/02/07 | AAS | KH |

SCALE: 1:100

DESIGNED BY: M.A. ANSARI

REVIEWED BY: M.A. ANSARI

CLIENT: AMBASSADOR REALTY INC. 185 SOMERSET ST. W, OTTAWA, ON, K2P 0J2

exp. Services Inc. 2550 Dufferin St. Unit 100 Ottawa, ON K1H 8R6

PROJECT: 1166 BANK STREET OTTAWA, ONTARIO.

TITLE: SITE GRADING PLAN

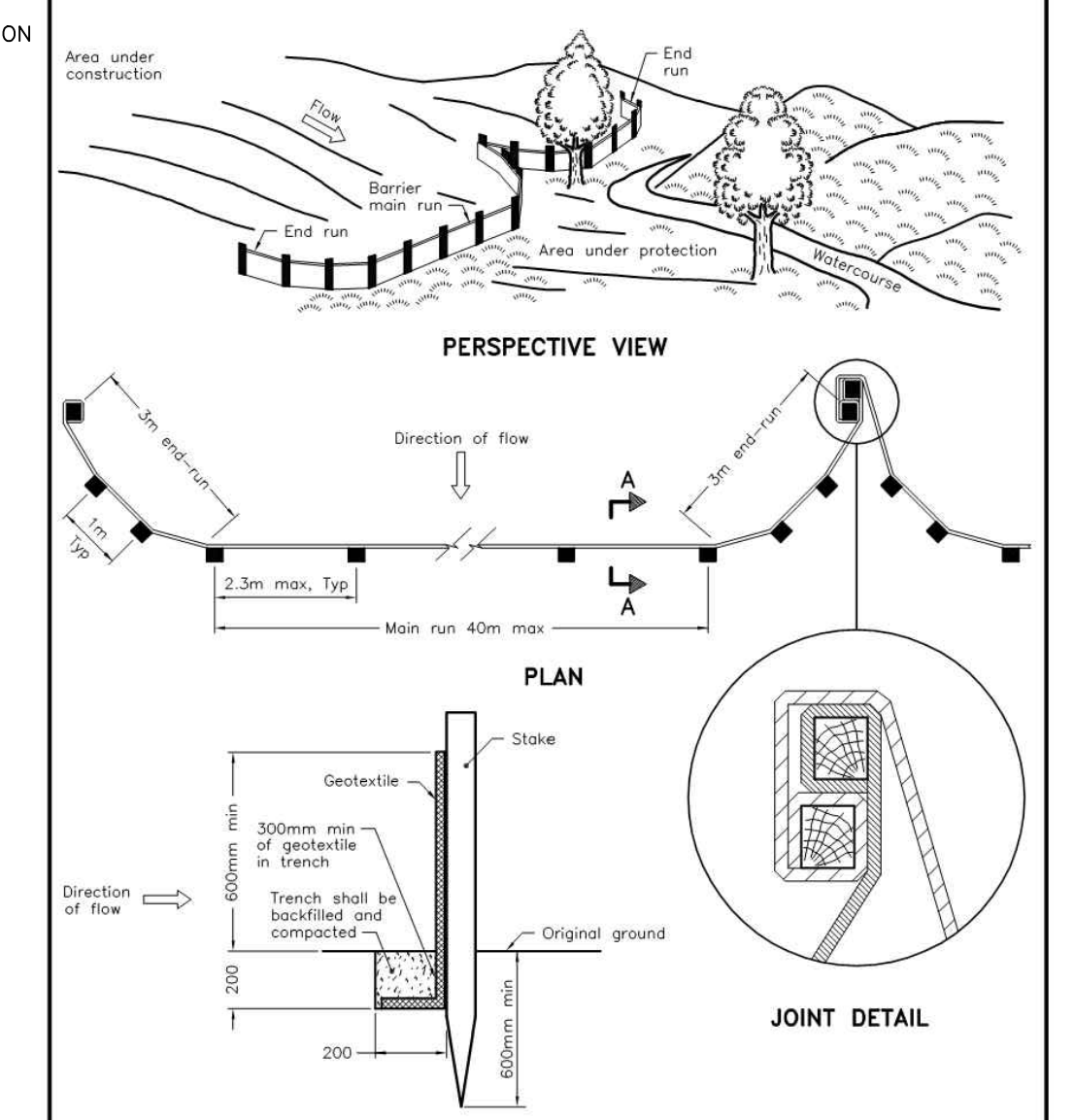
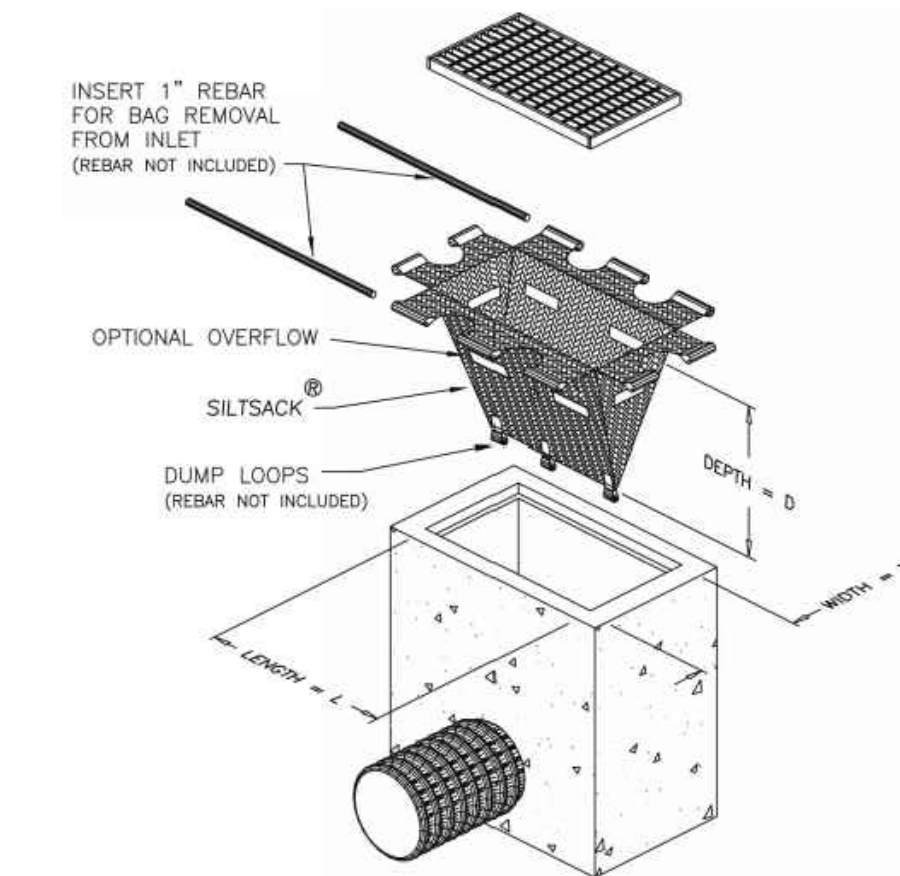
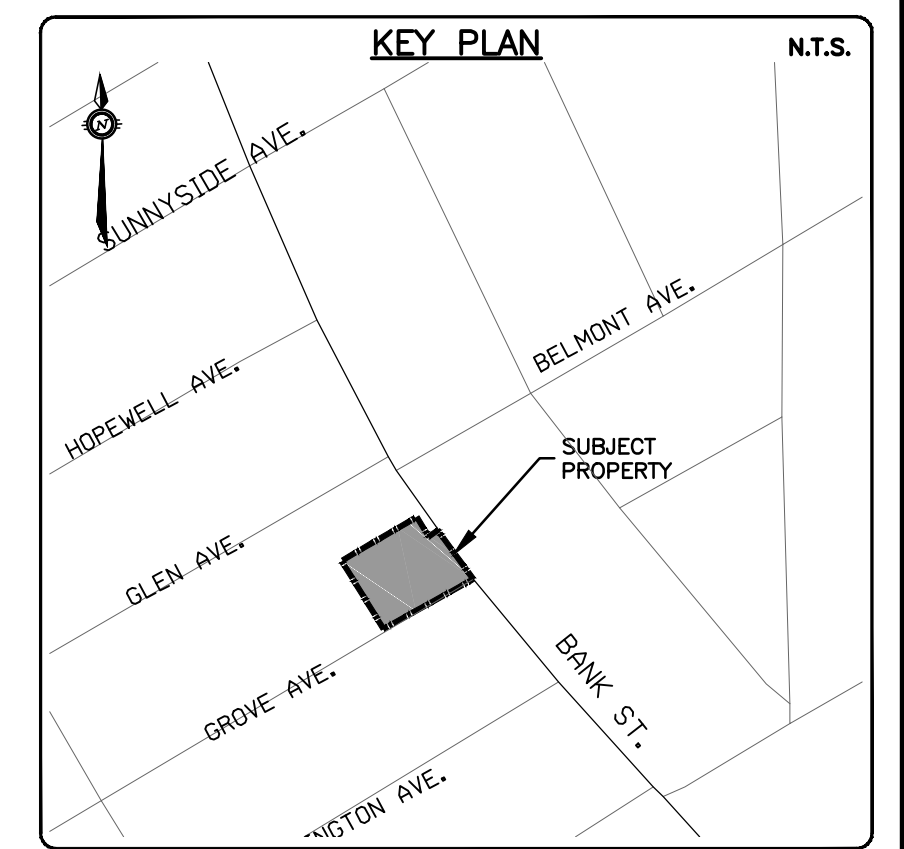
DATE: JANUARY 2023

DRAWING No.: C200

EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON THIS DRAWING.
6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE THE CONSTRUCTION OPERATIONS, THE AFFECTED BARRIERS WILL BE REINSTATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITIONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
10. CONSTRUCTION AND MAINTENANCE REQUIREMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA SPECIFICATIONS.
11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.



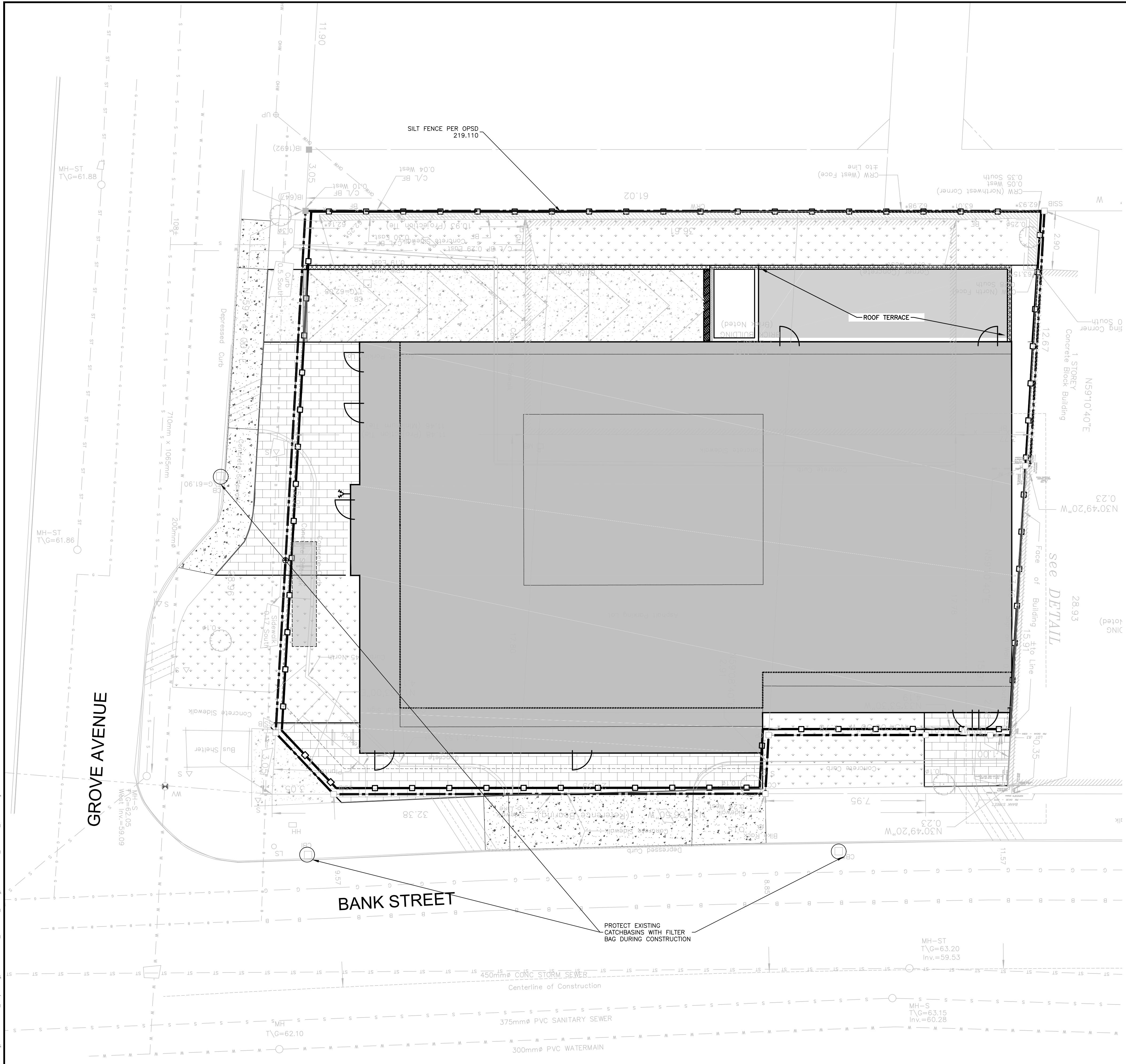
NOTE:
A All dimensions are in millimetres unless otherwise shown.

| | | |
|--------------------------------------|----------|-------|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2015 | Rev 2 |
| LIGHT-DUTY SILT FENCE BARRIER | | |
| OPSD 219.110 | | |

- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
 2. POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
 6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND.
 7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
 8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS COMPLETE.
 9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

Andrew McCreight
ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 9:55 am, Jul 16, 2024

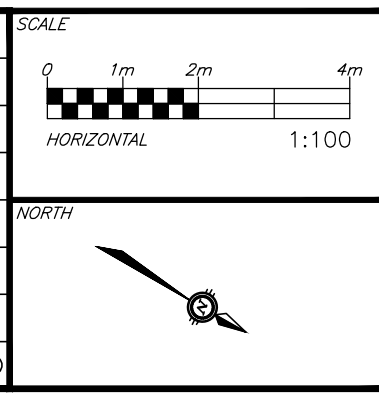


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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

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| 2 | REVISED PER CITY COMMENTS | 23/08/01 | AAS | AA |
| 1 | ISSUED FOR SITE PLAN CONTROL | 23/02/07 | AAS | KH |



DESIGNED BY: [Signature]
REVIEWED BY: [Signature]
CLIENT: **AMBASSADOR REALTY INC.**
185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

exp.
exp Services Inc.
2000 Deseronto Drive, Unit 100
Ottawa, ON K2E 6R6
Canada
www.exp.com

| | | | | |
|-----------------|----|---------|--------------------------------------|--------------------------------|
| BASE PLAN | AS | PROJECT | 1166 BANK STREET OTTAWA, ONTARIO. | PROJECT No. OTT-22018175-AD |
| DESIGN | AS | DATE | JANUARY 2023 | SURVEY |
| CHECKED | KH | DATE | JANUARY 2023 | ADV |
| CAD | AS | DATE | JANUARY 2023 | ADV |
| PROJECT MANAGER | KH | DATE | JANUARY 2023 | ADV |
| APPROVED | AA | DATE | JANUARY 2023 | ADV |

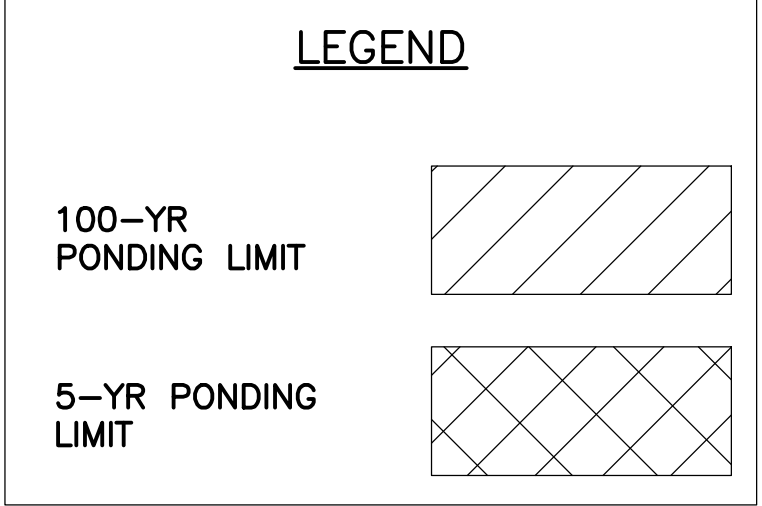
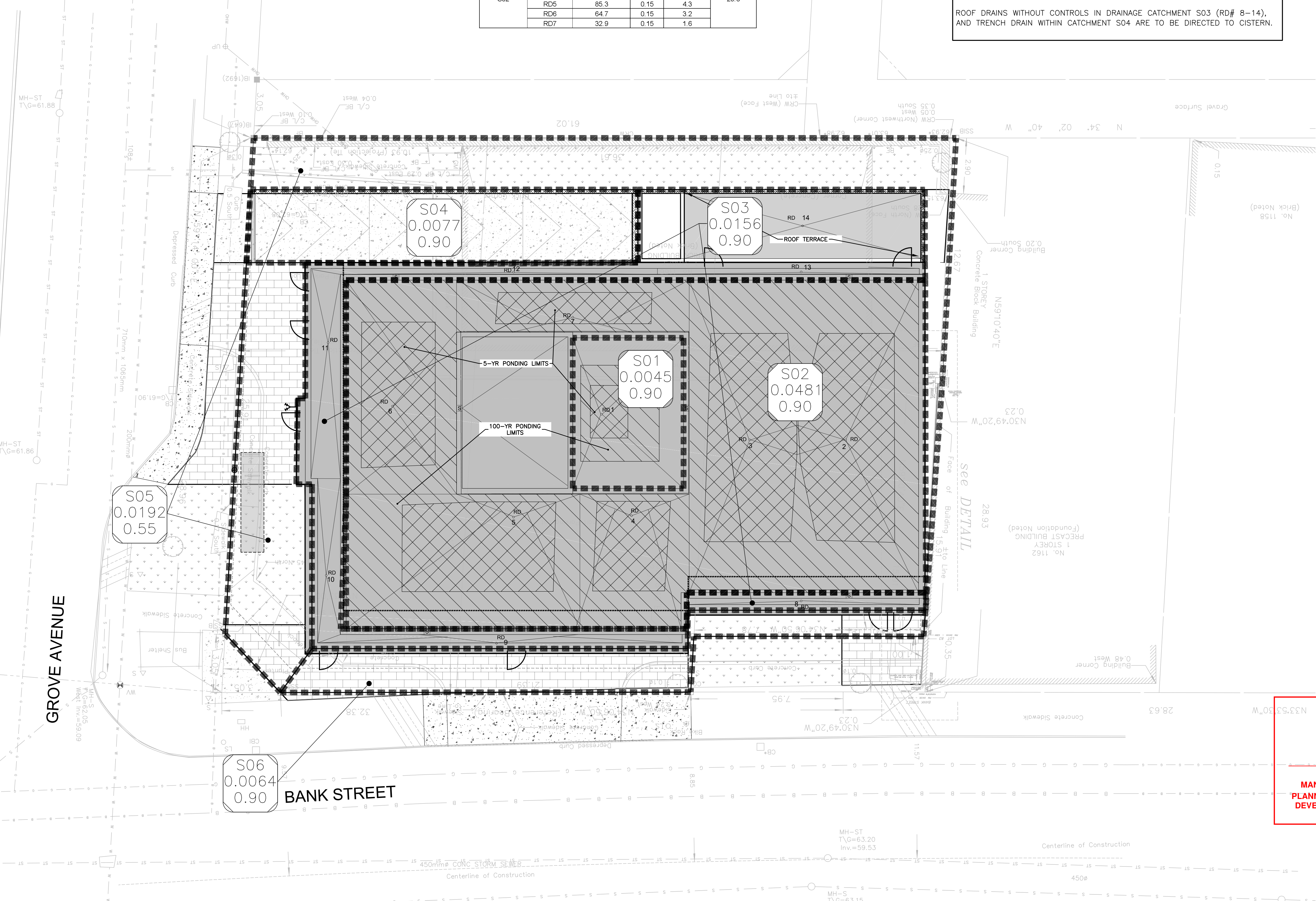
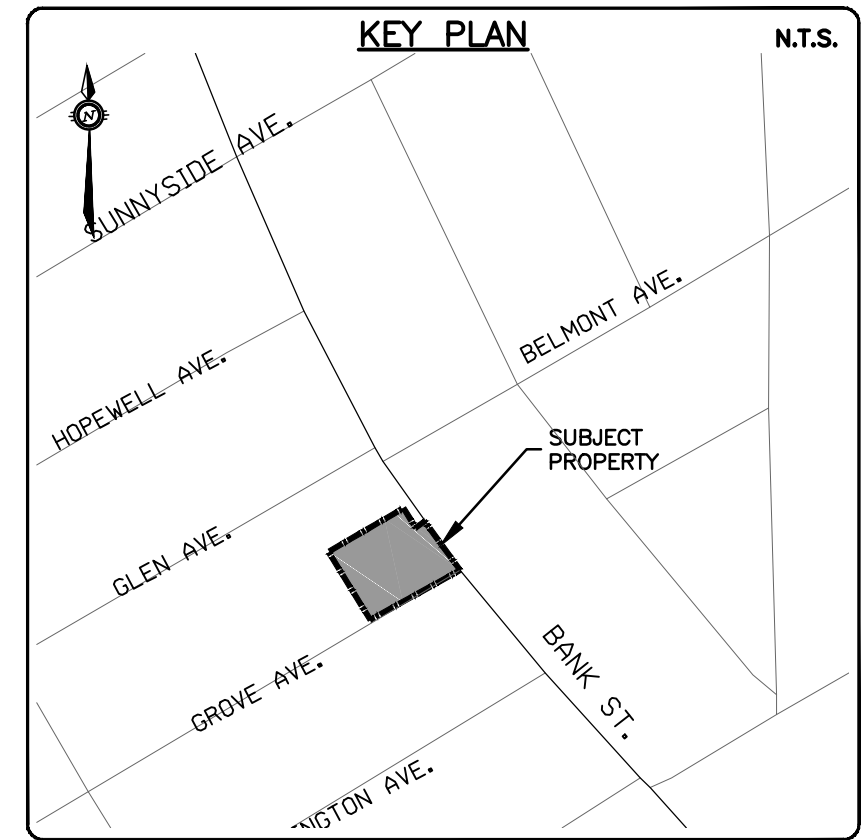
EROSION AND SEDIMENT CONTROL PLAN

C300

| Area No. | Storage Type | WATTS Roof Drains w/controls | | | | WATTS Roof Drains w/out/controls | | Total Controlled Flow (L/s) | 5-Yr Vol Req'd (m3) | 100-Yr Vol Req'd (m3) | Max Vol Available (m3) |
|----------|-----------------|------------------------------|--------------|----------------------|----------------|----------------------------------|---|-----------------------------|---------------------|-----------------------|------------------------|
| | | # of Drains | Weir Opening | Flow per Drain (L/s) | 100-Yr HGL (m) | # of Drains | | | | | |
| S01 | Rooftop Ponding | 1 | closed | 0.32 | 0.11 | - | - | 0.32 | 0.6 | 1.5 | 2.3 |
| S02 | Rooftop Ponding | 6 | closed | 0.32 | 0.15 | - | - | 1.92 | 8.2 | 20.0 | 20.8 |
| S03 | Cistern | - | - | - | - | 6 | - | 2.5 | 2.1 | 6.3 | 10 |
| S04 | Cistern | - | - | - | - | - | - | (pumped) | | | |

| Total Roof Volume Available: | | | | | |
|------------------------------|-------------|-------------------|-------------------|-----------------------|-------------------|
| Catchment Area | Roof Drain# | Ponding Area (m2) | Ponding Depth (m) | Volume per Drain (m3) | Total Volume (m3) |
| S01 | RD1 | 45 | 0.15 | 2.3 | 2.3 |
| | RD2 | 100.5 | 0.15 | 5.0 | |
| | RD3 | 94.3 | 0.15 | 4.7 | |
| S02 | RD4 | 38.8 | 0.15 | 1.9 | 20.8 |
| | RD5 | 85.3 | 0.15 | 4.3 | |
| | RD6 | 64.7 | 0.15 | 3.2 | |
| | RD7 | 32.9 | 0.15 | 1.6 | |

NOTE
 ROOF DRAINS WITH CONTROLS IN DRAINAGE CATCHMENTS S01 & S02 (RD# 1-7) ARE TO CONNECT TO STORM SERVICE OUTLET DOWNSTREAM OF CISTERN AND BACKWATER VALVE.
 ROOF DRAINS WITHOUT CONTROLS IN DRAINAGE CATCHMENT S03 (RD# 8-14), AND TRENCH DRAIN WITHIN CATCHMENT S04 ARE TO BE DIRECTED TO CISTERN.



Andrew McCreight
ANDREW MCCREIGHT
 MANAGER, DEVELOPMENT REVIEW CENTRAL
 PLANNING, DEVELOPMENT & BUILDING SERVICES
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

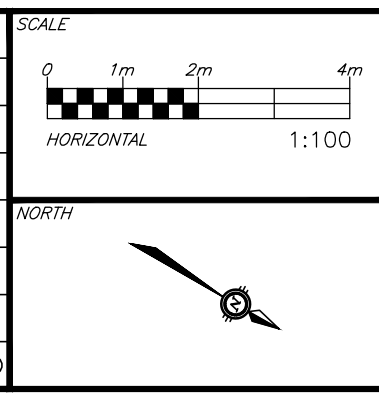
APPROVED
 By Andrew McCreight at 9:55 am, Jul 16, 2024

CAUTION
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE.
 ELEVATION=62.58

TOPOGRAPHIC INFORMATION
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
 SITE GRID SYSTEM MTM NAD 83, ZONE 9.

| REV | REVISION DESCRIPTION | DATE | BY | APPD |
|-----|------------------------------|----------|-----|------|
| 4 | REVISED PER CITY COMMENTS | 24/03/12 | AAS | AA |
| 3 | REVISED PER CITY COMMENTS | 24/01/16 | AAS | AA |
| 2 | REVISED PER CITY COMMENTS | 23/08/01 | AAS | AA |
| 1 | ISSUED FOR SITE PLAN CONTROL | 23/02/07 | AAS | KH |



DESIGNED BY: [Signature]
 REVIEWED BY: [Signature]

CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W,
 OTTAWA, ON, K2P 0J2

exp Services Inc.
 2500 Somerset Drive, Unit 100
 Ottawa, ON K2P 0J2
 Canada
 www.exp.com

• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

| DESIGN | PROJECT |
|--------|---------|
| AS | AS |
| AS | AS |
| KH | KH |
| AS | AS |
| KH | KH |
| AA | AA |

1166 BANK STREET
 OTTAWA, ONTARIO.

POST-DEVELOPMENT CATCHMENTS

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE JANUARY 2023
 DRAWING No. **C400**